



CITY OF EASTVALE

CHANDLER AREA COMMUNITY VISION PLAN

May 2015



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CHAPTER 1: INTRODUCTION



1 INTRODUCTION

The Chandler area of Eastvale is one of the oldest parts of the city. This area has a mix of large-lot residential, commercial, agricultural, and semi-industrial uses that reflects the area’s original use as a place where dairy workers and their families lived, shopped, ate, and worked. It is one of the two primary areas in Eastvale (the other being the Swan Lake mobile home community) that were already devoted to residential and agricultural-related uses (other than dairies) when the development of the community’s new neighborhoods began in the late 1990s. See **Figure 1.1** for an aerial photo showing the Chandler Area.



Chandler residents enjoy a rural residential lifestyle.

Figure 1.1: Chandler Plan Area



CHAPTER 1 – INTRODUCTION

Because this area was already mostly developed when the conversion from dairies to homes began in Eastvale, and because it had been subdivided into smaller parcels than the surrounding dairies, it was not as suited for the type of development that occurred in most of Eastvale. As a result, the developers who built the residential neighborhoods and commercial areas that make up most of Eastvale bypassed the Chandler Area, which today remains much as it was before development within Eastvale occurred.



Existing farming operations



Unpaved portion of Walters St. (recently paved by the City since this photo was taken)



Cucamonga Creek Channel and trail

1.1. WHAT IS A VISION PLAN?

A Vision Plan is a long-range planning document that identifies the community's long-term vision over the next 20 to 30 years and outlines an implementation strategy for realizing the community's vision. This Vision Plan summarizes the outcome of the community visioning process and identifies priorities and programs that the City, property owners, local residents, and other interested members of the public can spearhead to preserve or improve the community. This document will serve as a guide for decision-making in the Chandler Area over the next few decades.

A Vision Plan does *not* change the General Plan land use designation or zoning for any properties—this will be initiated by individual property owners and reviewed individually by the Planning Commission and/or City Council.



Eclectic fencing styles within Chandler area

1.2. GENERAL PLAN GOAL FOR CHANDLER AREA

In 2012, the City adopted the City’s first General Plan, which identified the goals and policies for the vision of Eastvale. The General Plan listed the Chandler Area (named for the roadway that forms its southern boundary) as one of the three areas in the city where future planning efforts are needed.¹



Many residents keep horses or other livestock.

The Chandler Area Community Vision Plan implements the following General Plan goal and policy:

Goal LU-4: An improved Chandler Area that provides a better environment for residents and business through a comprehensive planning process.

Policy LU-17: Chandler Area – In this area, the City supports master planning in cooperation with landowners and residents to address the issues present in this area, including:

- *Inadequate infrastructure*
- *Incompatible land uses*
- *Housing condition problems*

Future land uses that should be considered include residential, commercial, office, and public (including parks).



Agricultural uses provide open spaces and business opportunities

¹ The other areas are Swan Lake and the Leal Property. A master planning process is currently (2015) under way for the Leal Property.

1.3. PURPOSE OF THE CHANDLER AREA COMMUNITY VISION PLAN

This Chandler Area Community Vision Plan (hereafter, “Chandler Area Vision Plan” or “Vision Plan”) is the first step in implementation of the General Plan goal and policy above. It guides decisions and facilitates new private and public investments in this part of the city.

This Chandler Area Vision Plan:

- Identifies local issues and concerns and sets out a vision for the area.
- Identifies opportunities for the City, landowners, and public agencies to make short-, mid-, and long-term investments in infrastructure and services to improve the quality of life in the area.
- Identifies areas where little change is feasible, improvements are needed, and where transformation potential is highest in the Chandler Area.

This Vision Plan sets forth a vision for the area and sets the stage for future public/private investments, and development at a pace desired by residents and property owners.

Because the adoption of this Chandler Area Vision Plan did not include any General Plan or zoning changes, no environmental review is required at this time. Review of individual applications for land use or zoning changes will be performed at the time they are submitted.



Chandler Avenue looking east.



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CHAPTER 2: **BACKGROUND INFORMATION**



2 BACKGROUND INFORMATION

Numerous research and data gathering tasks were conducted to better understand the development opportunities and constraints of the community. This research indicates that several constraints and opportunities may impact potential improvements in the Chandler Area.

2.1. EXISTING LAND USE DESIGNATIONS

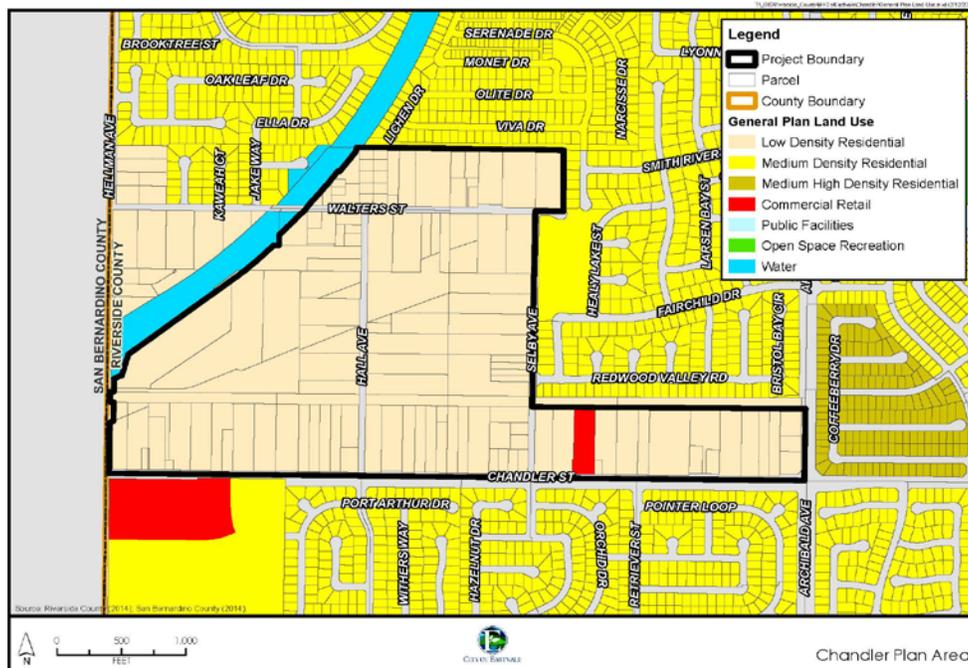
The Chandler Area is one of three areas in the City of Eastvale with a General Plan land use designation of Low Density Residential (LDR) (**Figure 2.1**).¹ Per the General Plan:

The Low Density Residential land use designation provides for the development of detached single-family residential dwelling units and ancillary structures on large parcels. The density range is from 2 dwelling units per acre to 1 dwelling unit per acre, which allows a minimum lot size of one-half acre.

General Uses: Single-family detached residences on large parcels of at least one-half acre in size. Limited agriculture and animal keeping.

Several zoning classifications exist within the Chandler Area. Some are consistent with LDR and some are not. The LDR General Plan designation allows a variety of residential, agricultural, and commercial uses, as shown in **Appendix A**.

Figure 2.1: Eastvale General Plan (2015)



¹ The other two areas are located along the Santa Ana River: the first from Kendra Lane to Grapewin Street and the second south of Citrus Street just west of Eastvale Community Park.

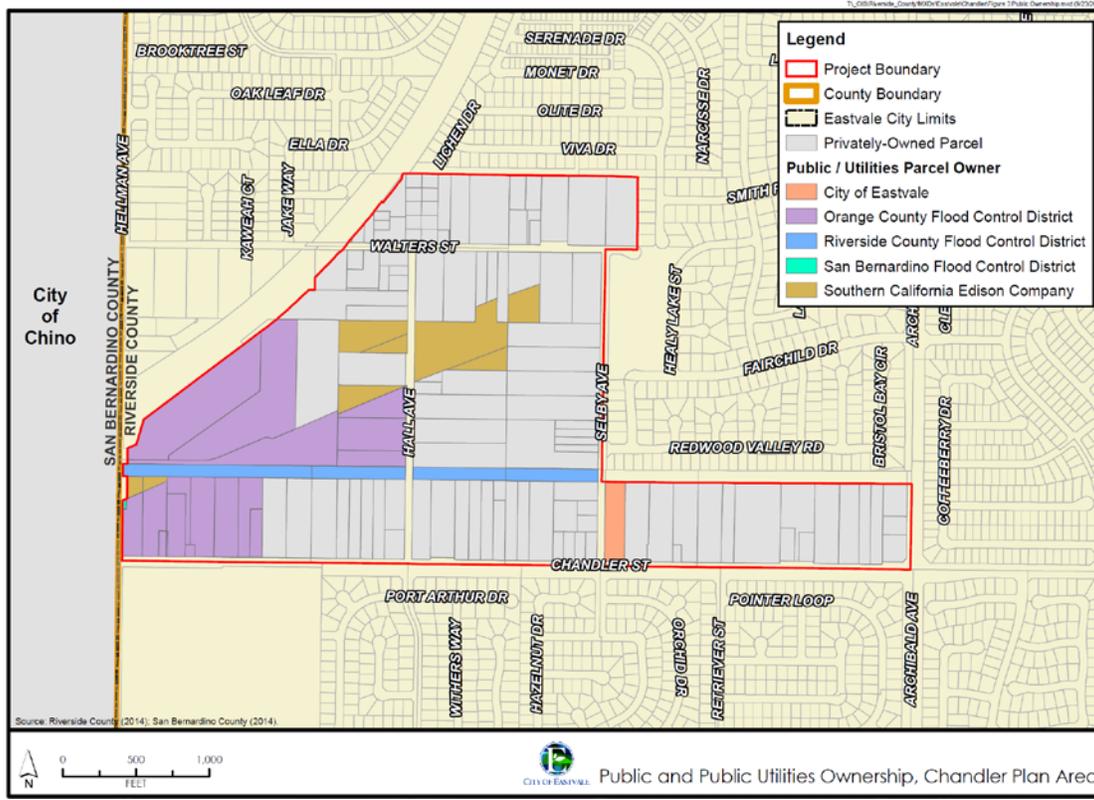
2.2. PUBLIC OWNERSHIP

A large number of the parcels in the Chandler Area are owned by the Orange County Flood Control District (OCFCD), Southern California Edison (SCE), Riverside and San Bernardino County Flood Control Districts, and the City of Eastvale (see **Figure 2.2**). In total, these agencies own approximately 53 of the 178 acres in the Chandler Area which represents nearly 30 percent of the land (see **Table 2.1**).

Table 2.1: Acres Owned by Public Agencies

Agency	Acreage
Orange County Flood Control District	35
Southern California Edison	10
Flood Control Districts	6
City of Eastvale	2
Total	53

Figure 2.2: Public Ownership Map



These public lands present various opportunities and constraints for development. The lot owned by the City of Eastvale is planned for a fire station which will add a prominent civic presence to the neighborhood.

The land owned by SCE is presently vacant, and could potentially be sold. (SCE has indicated that at the time a purchase is requested, it conducts a formal process to determine if the land will be of use to SCE within 10 years. If not, it can be sold.) These parcels blend seamlessly into the other vacant parcels, paddocks and adjacent large-lot residential. This presents an opportunity for private landowners or public entities to acquire and consolidate lots without disrupting existing residents.

Generally, the parcels owned by the OCFCD cannot be developed because they are within the Prado Basin flood plain. However, this area could be a great location for creating a large open space area or park designed to maintain the rural character for the Chandler Area, such as horse and pedestrian trails and natural landscape.

2.3. AIRPORT COMPATIBILITY

The entire Chandler Area is located within Compatibility Zone D of the Chino Airport Land Use Compatibility Plan. Therefore, all future development in the area will require Airport Land Use Commission review. Zone D is not overly restrictive for residential uses, but discourages some uses such as schools and nursing homes which would place larger numbers of people together in buildings.

2.4. SEWER AND WATER

Property owners whose parcels are located within 200 feet of Jurupa Community Services District (JCSD) sewer and water lines would be required to hook up to these facilities (as shown in **Figures 2.3** and **2.4**) if they chose to improve or develop their property. This requirement affects most parcels in the Chandler Area, all parcels fronting on Chandler, Selby, and Hall Streets, and some parcels fronting Walter Street. This may be a constraint for these property owners to make additional improvements to their properties, since the cost to connect to these facilities is significant.

The current JCSD fees associated with connections to water or sewer are about \$9,000 each (\$18,000 if a property had to connect to both lines). This does not include the construction costs associated with installation, which are the responsibility of the property owner and must be done by a contractor. JCSD staff also indicates that there is no payment plan for these connections, so all fees have to be paid at one time.

Figure 2.3: Sewer Infrastructure and Required Connection Areas



Chandler Community Area Sewer Lines



Figure 2.4: Water Infrastructure and Required Connection Areas



Chandler Community Area Water Lines



2.5. TRAILS AND PARKS

The JCSD Parks division operates Mountain View Park, located on Selby Street, which serves the Chandler Area and surrounding neighborhoods. In addition, JCSD’s trails plan includes local trails along Chandler Avenue and Walters Avenue to connect to its future trail along the Cucamonga Creek Channel. Any future development along these roads should include these trails.

The existing conditions along the Cucamonga Creek Channel already allow for trail access, as shown, although the trail is informal and not technically open to the public.

Eastvale is currently (2015) preparing a Bicycle Master Plan for the city. The draft of the Bicycle Master Plan proposes a number of bicycle lanes, and other facilities in and around the Chandler Area. The Bicycle Master Plan that is adopted at the time an owner comes to the City for permits and approvals should be implemented.



Mountain View Park and adjacent tract homes



Cucamonga Creek Channel adjacent to Chandler area



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CHAPTER 3: COMMUNITY OUTREACH AND RESPONSE



3 COMMUNITY OUTREACH AND RESPONSE

3.1. COMMUNITY WORKSHOP

A community workshop was held on Saturday, August 30, 2014, at the future site of Fire Station #2 in the Chandler Area. Invitations were mailed to residents/tenants and property owners in the planning area and to property owners within 600 feet of the planning area.

About 80 people attended the workshop, from both the Chandler Area and surrounding parts of Eastvale.



Attendees indicate how much change is good.

A brief presentation about the purpose of the workshop was given and several work stations were set up to allow people to provide ideas and answer the following questions:

- How much change is right for the Chandler Area?
- What do we like about our community?
- What do we wish for the future?
- Other bright ideas to share?

The feedback received indicates that most (49%) who attended like the rural character of the Chandler Area and want to see “No Change.” Even those who want “No Change” expressed a desire to see improvements in community amenities such as paved streets, curbs, sidewalks, water/sewer infrastructure, landscaping improvements, increased police presence and code enforcement, and more commercial development in this part of the city.

One third (33%) of attendees indicated a desire for “A Lot of Change.” The remaining attendees voted for “Some” level of change.



Attendees actively engage in dialogue, verbally and in writing, about what they like about the Chandler area

CHAPTER 3 – COMMUNITY OUTREACH AND RESPONSE

Tables 3.1 and **3.2** summarize input provided by attendees about their ideas and desires for the Chandler Area. The feedback received indicates that many people like the rural character of the Chandler Area, but want to see improvements in community amenities such as paved streets, curbs, sidewalks, water/sewer infrastructure, landscaping improvements, increased police presence and code enforcement, and more commercial development in this part of the city. Based on the comments received, very few participants were interested in additional master planned housing developments for the area.

Table 3.1: What people currently like about the Chandler Area

“Likes”	Number of Responses
Rural atmosphere, current zoning, large lots	13
Quiet and calm area compared to newer parts of city	5
The existing park	2
The neighbors who work together	2
Area provides for diversity	1

Table 3.2: What people wish to see in the future for the Chandler Area

“Wishes”	Number of Responses
More commercial development including grocery, retail, restaurants, banks, credit unions, gas stations, and opportunities for mom and pop shops	21
Police substation alongside the future fire station; increased police presence	19
Trails (walking, biking, horse)	13
Improved infrastructure including paving dirt roads, traffic control (speed bumps), sidewalks, lighting, and landscaping	13
Community facilities including a library, schools, YMCA, senior center/housing, church, and community garden	12
Increased code enforcement and neighborhood cleanup efforts	10
Parks (dog, nature, and horse)	5
NO apartments/high density housing	5
Recreational amenities such as bowling alley and indoor swimming pool	4
Residential/housing to blend in with “new” Eastvale; more master-planned communities	4
NO connection of Walters Street to west over channel	2

3.2. TARGETED OUTREACH TO PROPERTY OWNERS

The workshop feedback was from both owners in the Chandler Area and within the 600-foot buffer area. Following the workshop, a letter and postcard were mailed to only property owners with land located inside the Chandler Area. The purpose of this process was to determine the desirable degree of change from the people actually owning property in the Chandler Area. It was thought that this might be important since many workshop participants lived or owned property outside the study area.

The letter provided details on the planning process and ways in which property owners could provide feedback/discuss their concerns. The letter also asked property owners to answer two questions on the postcards and return the postcards to the City. The questions were:

- 1) Do you live/work here or do you own this parcel and live/work elsewhere?
- 2) What do you want the City to do?
 - Nothing/no change
 - Help solve existing neighborhood issues/some change
 - Plan future land uses that may change the area over time/different future

Letters were sent to 63 property owners (some persons own multiple parcels). Twenty postcards were returned and three property owners called in their answers, which represents a 37 percent property owner response rate. However, these 23 owners hold 30 (nearly half) of the parcels in the Chandler Area.

Figure 3.1 and **Table 3.3** show that most (84%) of those who own property and responded want some sort of change for the Chandler Area to improve their community, with support for the most change among the owners along Chandler Street.

Table 3.3: Owners Desire for Change

Level of Change	Number of Parcels	Percent (%) of Parcels that Responded
No Change	4	13
Very Little Change	1	3
Some Change	9	30
Major Change	9	30
Different Future	7	24

Figure 3.1: Property Owners “Desire for Change” (Based on Mail-Back Results)

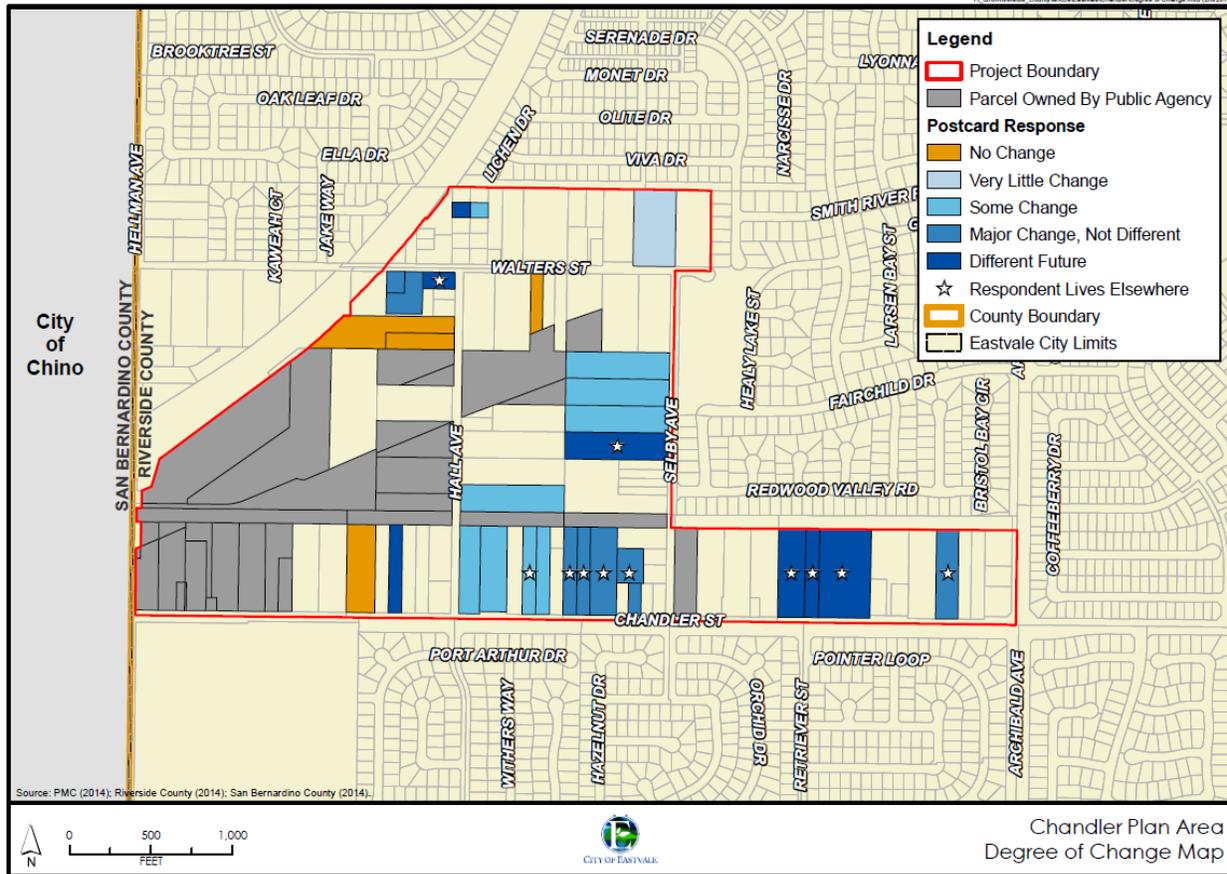
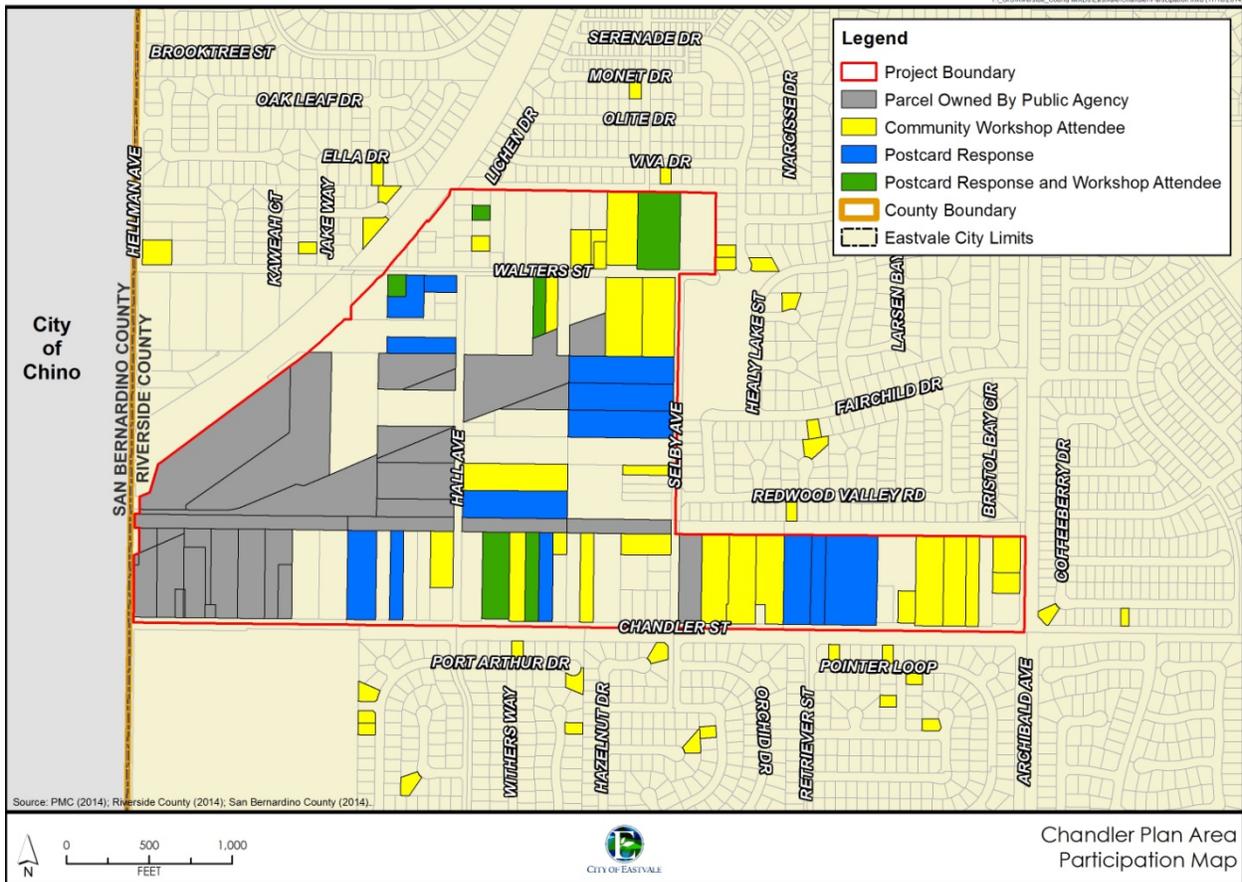


Figure 3.2 identifies the participation of the community that lives and/or owns property in the Chandler Area and those community members from surrounding neighborhoods who participated. Of the 108 privately owned parcels in the study area, owners of 46 parcels (43%) have given direct feedback at the community meeting and/or through the mail-in reply process. An additional 31 property owners from all the neighborhoods surrounding the study area gave their input at the community meeting. This process garnered a valid representation of the community’s interests and the desire for change, over time, in the study area.

Figure 3.2: Participation Based on Location



Comparing the results from the community workshop and postcard mailing, most people living and owning in the Chandler Area would like to see some level of change starting with improvements in their community. However, those who own property but no longer live in the community are most ready for dramatic change. Those residents who attended the workshop from surrounding neighborhoods also expressed a desire for change in the study area.



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CHAPTER 4: THE FUTURE OF THE CHANDLER AREA



4 THE FUTURE OF THE CHANDLER AREA

4.1. VISION FOR THE CHANDLER AREA

The City envisions the Chandler Area retaining its large-lot, rural character while moving toward becoming a more integrated part of the Eastvale community. The vision for the Chandler Area includes some commercial, recreation, and civic uses which support and integrate with the low-density residential lifestyle. The City and community expect that any changes in the development of the area will occur over time, as individual property owners choose, with the greatest expectations for change occurring on Chandler Street, especially between Selby and Archibald Avenues.

The overall vision for the Chandler Area, as expressed by landowners, residents, and City leaders, is that the Chandler Area will:

- Be a desirable place to live, work, and play for generations to come.
- Remain generally a low density rural neighborhood within the city that accommodates rural and equestrian lifestyles not possible in most of Eastvale.
- Move toward being a safer area that includes a municipal water supply, maintained roads, and vigilance regarding code enforcement and policing issues, such as those required in the Neighborhood Preservation section of the City zoning ordinance (Section 5.8).
- Include some nonresidential uses, such as commercial, civic, and recreational, in locations where the continuity of the neighborhood is uninterrupted.
- Incorporate consistent design standards of streets, street trees, and pedestrian and equestrian walkways and trails.
- Use land within the flood plain and along flood control channels for open space and recreation uses that benefit all.
- Become connected to the Santa Ana River trails system.
- Intentionally seek and utilize a variety of funding opportunities to achieve desired neighborhood improvements.
- Be sensitive to and compatible with surrounding neighborhoods.

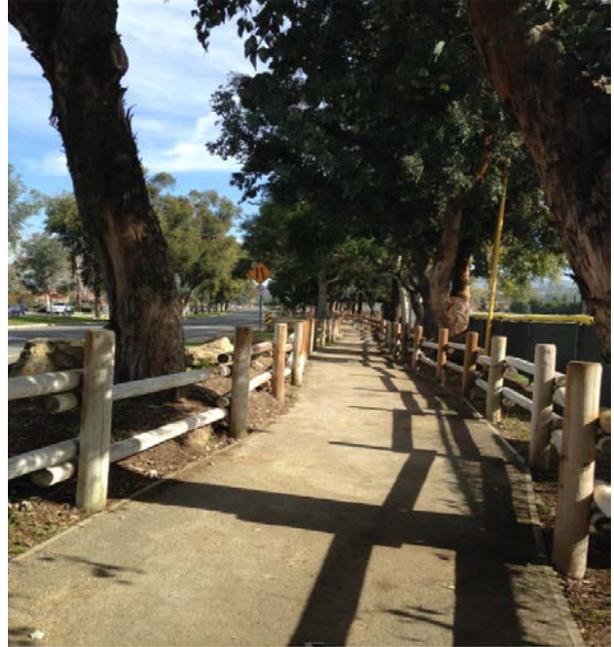
The City's vision for the area and the level of quality that is expected through various aspects of the neighborhood, are reflected in the following examples for upgrades and new structures such as:

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- *Public improvements such as streets, sidewalks, and landscaping*



- *Trails and recreational spaces*



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- Civic buildings such as the fire station
- Nonresidential uses



- Utilities
- Signs



- *Buffers, screens, fences, and walls*

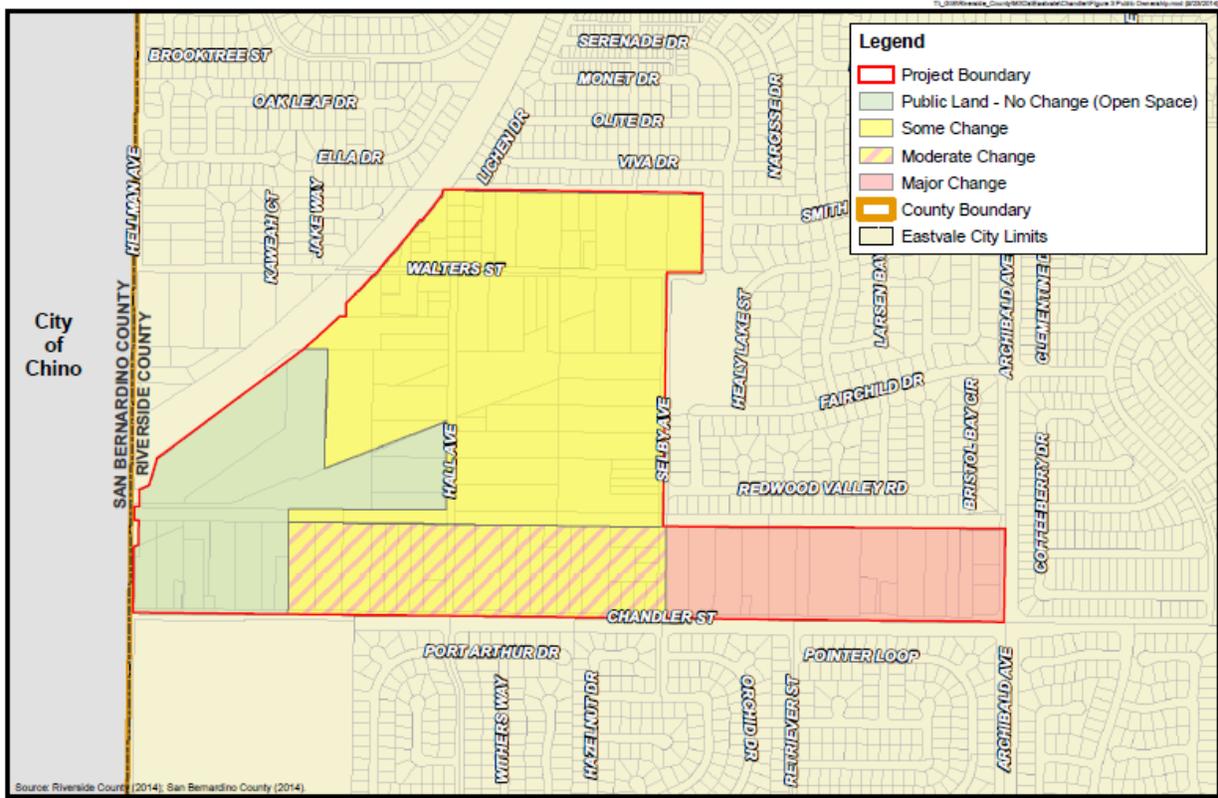


4.2. POTENTIAL CHANGES TO LAND USE

Based on feedback from the community and background research by Planning Department staff into area opportunities and constraints, the “Considerations for Future Decisions” map (Figure 4.1) shows the long-term trends in land use that would support the vision of the community and the City for the Chandler Area.

The red shaded area on Chandler Street is the area envisioned for the most change from current land uses. The central (yellow shaded) area is envisioned to retain the rural residential character of this community with some improvements to roads, sidewalks, etc., and limited change in future allowable land uses. The western (green shaded) area is in the flood plain owned by the Orange County Flood Control District (“OCFCD”); however, that area could provide space for recreation, trails, and open space in keeping with the rural character of the neighborhood.

Figure 4.1: Considerations for Future Decisions



The vision for these three areas is described below.

4.2.1. Red (Sub-Area 1) – “Transformation”

This portion of the Chandler Area is adjacent to two arterial streets, newer tracts, and a flood control channel. More dramatic change in this area would not directly impact the heart of the Chandler Area.

A number of factors support this vision for Sub-Area 1 including:

- Proximity of these properties to the more intensely developed portions of Eastvale.
- Probability of property owners wanting to see change within this area.
- Some existing businesses and the future fire station located within the sub-area.
- Feasibility of possible nonresidential uses closer to the corner of Archibald and Chandler Streets.
- The requirement that all parcels connect to sewer and water.
- Interest from the development community and current application for a church in this sub-area.

Based on these factors, the City would look favorably on future private development applications that support the Vision Plan for Chandler Area and which are different from rural residential such as retail, civic, and religious uses or somewhat higher density residential consistent with the surrounding tracts.



4.2.2. Yellow (Sub-Area 2) – “Enhancement”

Currently, this area is a mixture of private properties and properties owned by SCE. The vision for Sub-Area 2 is to retain its rural residential character through implementation of the City’s General Plan LDR designation. Only two other areas within the City are designated for Low Density Residential (LDR) which allows a minimum lot size of one-half acre.

As shown in the following photos, both these other areas of Eastvale are already built out: one with suburban half-acre lots and the other with more rural character, animal keeping and horse trails. The more urban street scene (curb, gutters, sidewalks) may be most appropriate on Chandler Street while the more rural approach could work well within the main portion of Sub-Area 2.

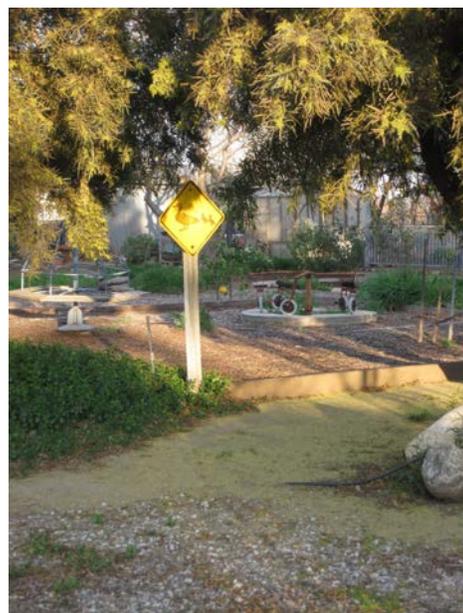
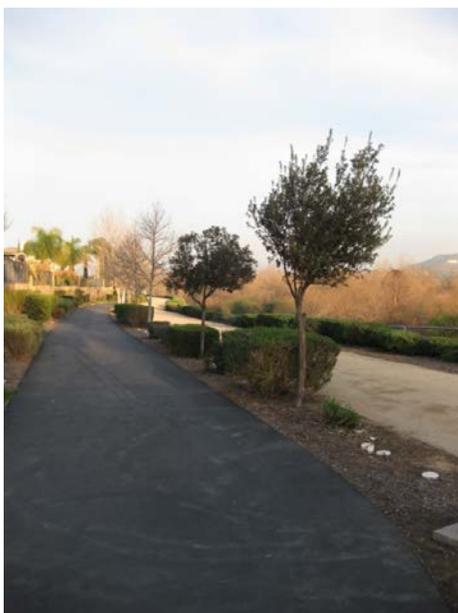
In **Figure 4.1**, the cross-hatched area along Chandler Avenue is the portion of Sub-Area 2 that makes sense for more urban improvements such as curb and gutter. Due to its position between Chandler Street and the flood control channel, it may also afford the opportunity for some “Transitional” uses such as those contemplated for Sub-Area 1.

Sub-Area 2 can be enhanced by the City working closely with residents to provide basic services such as sidewalks, water, and sewer or local/regional trails, which implement JCSD’s master plans for trails. (See short-term and mid-term solutions in the following section.)

The factors that support this vision for the Sub-Area 2 include:

- The existence of homes and agricultural uses currently within the sub-area.
- The limited number of larger lot residential areas in Eastvale.
- Surrounding uses which are compatible with rural residential such as open space, Cucamonga Creek channel, and Mountain View Park in addition to Chandler Street.
- The lots fronting on Chandler Street are separated from the rest of Sub-Area 2 to the north by the Riverside County Flood Control channel.
- The existence of nonresidential uses and some commercial zoning in Sub-Area 2 along Chandler Street west of Selby Avenue.

Grapewin Street Area



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Kendra Lane Area



4.2.3. Green (Sub-Area 3) – “Open Space”

This area encompasses 35 acres that are currently owned by OCFCD and are prohibited to include any habitable structures because of the potential for flooding. This sub-area could provide long-term open space, parks and trails, however. The City will work with JCSD and OCFCD to determine what recreational opportunities could be provided.



To achieve many of the envisioned changes and improvements, the City will encourage “lot consolidation” in all three sub-areas. Lots can be consolidated by one owner holding many lots and reconfiguring them to work together in a more cohesive plan –or- multiple owners can cooperate to gain more options for the use and size of their respective parcels.

Some of the improvements anticipated by the City and identified as desired by the community include improved roads, sidewalks/trails, landscaping, etc. **Figure 4.2** shows recommended locations for various types of bicycle, pedestrian and equestrian connections that should be considered as new residences and/or businesses are developed in the Chandler Area. The trail locations are consistent with exiting JCSD trails planning and/or the City’s draft bicycle plan. All proposed trails will be reviewed for consistency with these plans.

Figure 4.2: Trail Map



4.3. SERVICES AND INFRASTRUCTURE: SHORT-TERM, MID-TERM, AND LONG-TERM STRATEGIES TO IMPROVE THE QUALITY OF LIFE

A summary of the concerns, issues, and input received from the community outreach process is included as **Appendix B**. The information has been further sorted by short-term, mid-term, and long-term issues and categorized by city service, infrastructure, and land use sub-groupings to determine which City departments should provide input and begin identifying implementation actions that are desired for the Chandler Area.

Based on the summary of the community input received, the following actions are recommended to address short-term and mid-term issues:

- City departments including Planning, Police, Code Enforcement, and Public Works should meet with community representatives quarterly regarding site cleanup, crime-related issues, and speeding. The meetings are intended to allow discussion and potential resolutions for addressing the short-term concerns received from the public outreach process.
- Planning and Public Works Departments should create a list of desirable Chandler Area neighborhood improvements with cost estimates and prepare a recommended Capital Improvements Program budget for consideration by the City Council. These improvements are considered as mid-term goals for the City.
- As applications for development in the Chandler Area are received by the City, the applicants should be required to connect to the sewer and water system as required by JCSD if they are located within 200 feet of an existing service line. In addition, City staff will encourage existing residences and businesses to connect to sewer and water regardless of whether they are within 200 feet of an existing service line. These connections are considered as mid-term and long-term goals for the City.

To address the long-term issues:

- The City will refer to the Chandler Area Community Vision Plan, along with the General Plan, Zoning Code and other applicable planning documents, when reviewing future improvements in this area.
- Lot consolidation will be encouraged.
- City staff will continue to work with Riverside County Flood Control District (“RCFCD”), JCSD and OCFCD to find ways and means to develop trails and open space uses for Eastvale within the Chandler community. This will include providing a welcoming “edge” for the Cucamonga Creek trail, replacing the existing chain-link fence with a more attractive option such as a three-rail fence.
- City staff will look for grant funding opportunities to assist homeowners with connections to the sewer and water systems.

4.4. FUTURE IMPLEMENTATION OPPORTUNITIES FOR COMMUNITY, PROPERTY OWNERS, AND/OR CITY

The implementation of this plan will occur in many ways over time:

- Individual property owners may improve their existing homes or businesses.
- Outside businesses or developers may purchase one or more lots to improve design opportunities and warrant larger investment.
- The City may invest in public improvements such as roads, sidewalks, landscaping, and trails.
- Properties will be connected to the existing sewer and water systems.

The investment needed to see the above happen will come from private owners or investors, public resources, and grants. One such grant that has already been used for temporary sidewalks and paving of dirt roads in Chandler is the Community Development Block Grant (CDBG).

“The Community Development Block Grant (CDBG) is a Federally funded block grant program created by Congress in 1974, with the overall goal to develop viable urban communities by providing decent housing and a suitable living environment primarily for low to moderate income persons.

CDBG-funded projects must satisfy one of three national program objectives:

- 1) *Provide a benefit to low and moderate income persons,*
- 2) *Prevent or eliminate slums and blight, or*
- 3) *Meet other urgent community development needs due to natural disasters or other emergencies.*

Examples of Eligible activities:

- *Public Improvements: streets, curbs, gutters, sidewalks, streetlights, sewers, storm drains, traffic signals, parks and recreation facilities, health facilities, and fire station improvements ...”*

Other regional, state and federal agencies that fund infrastructure, pedestrian and bike facilities or trails include Southern California Association of Governments (SCAG), South Coast Air Quality Management District (SCAQMD), and the Environmental Protection Agency’s Clean Water State Revolving Fund (CWSRF).

“CWSRFs Offer:

- ***Low Interest Rates, Flexible Terms***—Nationally, interest rates for CWSRF loans average 1.7 percent, compared to market rates that average 3.7 percent. For a CWSRF program offering this rate, a CWSRF funded project would cost 17 percent less than projects funded at the market rate. CWSRFs can fund 100 percent of the project cost and provide flexible repayment terms up to 20 years.
- ***Assistance to a Variety of Borrowers***—The CWSRF program has assisted a range of borrowers including municipalities, communities of all sizes, farmers, homeowners, small businesses, and nonprofit organizations.
- ***Partnerships with Other Funding Sources***—CWSRFs partner with banks, nonprofits, local governments, and other federal and state agencies to provide the best water quality financing source for their communities.”



CITY OF EASTVALE

APPENDIX A: LOW DENSITY RESIDENTIAL ZONING CLASSIFICATIONS



ZONING CLASSIFICATIONS CONSISTENT WITH LOW DENSITY RESIDENTIAL (LDR)

P = Permitted; C = Conditional Use Permit Required

Actual permitted land uses are subject to the Eastvale Zoning Code in effect at the time of development.

Land Use	A-1	A-2	R-A	R-R
Agricultural Uses				
Animal Keeping, Noncommercial	P	P	P	P
Animal Keeping, Poultry	P	P	P	P
Animal Keeping, Small	P	P	P	P
Commercial Breeding	C			C
Commercial Fertilizer Operation	P	P		
Commercial Poultry Operation	C	C		
Crop Production	P	P	P	P
Dairy Farm	C	P		C
Farm Stand, Temporary	P	P	P	P
Farm Stand, Permanent	P	P		
Grazing	P	P		P
Grazing, Temporary			P	
Kennel, Class I	P	P	P	P
Kennel and Cattery, Class II	P	P	P	P
Kennel and Cattery, Class III	P	P		P
Kennel and Cattery, Class IV	C	C		C
Livestock Sales Yard		C		
Packaged Dry Fertilizer Storage, not including Processing	C			C
Pen-Fed Beef Cattle Operation		C		
Residential Uses				
Agricultural Workers Housing	P	P	P	C
Bungalow Courts				

APPENDIX A– LAND USE AND ZONING

Land Use	A-1	A-2	R-A	R-R
Congregate Care Facilities (7 or more persons)				
Dwelling, Multiple Family				
Dwelling, Second Unit	P	P	P	P
Dwelling, Single Family	P	P	P	P
Dwelling, Two Family				
Family Day Care, Large			P	P
Family Day Care, Small			P	P
Group Homes (6 or fewer persons)			P	P
Home Occupations	P	P	P	P
Mobile Home	P	P	P	P
Mobile Home Parks	C		C	C
Planned Residential Developments			P	
Supportive and Transitional Housing			P	P
Recreation, Education, and Public Assembly Uses				
Community Auction and Sales Yards	C	C		C
Fraternal Lodges, including Grange Halls	P	P		P
Hunting Clubs		C		C
Libraries	P	P		P
Museum and Art Galleries				P
Private Recreation or Event Facilities			C	
Public Recreation, Nonprofit Community Centers, Social Halls, Parks, Community Recreation Facilities	P	P	P	P
Religious Institutions	P	P	C	
Schools, Private ¹	P	P		P
Retail and Consumer Service Uses				
Beauty Shops	P	P	P	P
Feed and Grain Sales	P	P		P

¹ Public schools are not regulated by this code.

Land Use	A-1	A-2	R-A	R-R
Nurseries	P	P	P	P
Business Operations and Services Uses				
Agricultural Equipment Sales and Repair		P		
Animal Hospitals, Large and Small		P		C
Commercial Stables and Riding Academies	C	P		C
Hotels and Motels				C
Landing Strip or Heliport		C		
Professional Offices				C
Real Estate Offices	P	P		P
Real Estate Offices, Temporary			P	P
Truck Transfer Stations		P		
Winery, not associated with Vineyard		C		
Winery, with On-site Vineyard	P			P
Industrial, Manufacturing, and Processing Uses				
Abattoirs		C		
Canning, Freezing, and Packing Plants		P		
Meat Cutting and Packaging Plants		P		

APPENDIX A– LAND USE AND ZONING

Development Standards	A-1	A-2	R-A	R-R
<u>Lot Dimensions</u>				
Lot Size per Dwelling	–	–	–	–
Minimum Lot Size	20,000sf	20,000sf	20,000sf	21,780sf
Minimum Lot Width	100ft	100ft	100ft	80ft
Minimum Lot Depth	150ft	150ft	150ft	150ft
<u>Setbacks</u>				
Front	20ft	20ft	20ft	20ft
Side – Interior	5ft	10ft	10ft	10ft
Side – Street	5ft	10ft	10ft	10ft
Rear	10ft	10ft	10ft	10ft
Separation	–	–	–	–
<u>Height</u>				
Primary Building	40ft	40ft	40ft	40ft
Primary Building (per Section 5.1)	75ft	75ft	75ft	75ft
Maximum Lot Coverage	–	–	–	–
Density	Established by the Eastvale General Plan, Land Use Map			



CITY OF EASTVALE

APPENDIX B: **SUMMARY OF COMMUNITY INPUT**



APPENDIX B – SUMMARY OF COMMUNITY INPUT

SHORT TERM

City Services	Frequency
Police substation next to future fire station	10
- Police presence	1
- Noise Control	2
- More safety on Selby and Walters Street	2
- Reduced crime/added security/patrols	2
- Clean up drug problem	1
- Less fireworks	1
- Car racing	1
Animal Keeping Issues	
- Need horse arena	1
- No chickens/horses	1
- Better dog control	2
Code Enforcement	1
- Loud music	1
- Clean up rental properties along Chandler Street; run down properties	2
Schools	
- Library	3
- New high school	1
- Community college	1
Recreation/Amenities	
- Bowling alley	1
- More churches	3
- Senior Citizen Center	1
- Indoor YMCA	1
- Community Garden	1
- Indoor swimming pool	1
Jobs	
- Industry (non-service) jobs	1

MID-TERM

Infrastructure	Frequency
Street Improvements	
- Sidewalks	3
- Landscaping	1
- Speed bumps on Selby	1
- Speed limit signs/enforcement/traffic control	2
- Curb and gutter	1
- Sewers	1
- Better lighting on Selby	1
- Fencing along trails (wrought iron fence and/or stone pillars along sidewalks on Chandler) Ex: Across Jurupa High School.	1
- Remove unsightly power poles	1
- Paved roads	2
Trails/Parks	
- Park/horse and dog area at OC Flood Zone, East of Hellman	1
- O.C. Flood Plain as a nature park (not a sports park)	1
- Park and open space	3
- Shaded areas	1
- Walking Trails/Paths	2
- Bike Trails/Paths with DG surface	2
- Horse trails	8
- Golf cart friendly lanes	1

LONG TERM

Land Use	Frequency
No Change	
- Maintain current zoning	9
- No Wal-Mart	1
- New residents to accept rural atmosphere	9
- No extended street of Walters over the River to Hellman	2
- Quiet, calm area/community	2
- Area provides city with diversity	4
- No cell towers	3
- Revitalize existing homes/buildings to blend in; minimal change/upgrades	2
- No medical offices/clinics	1
- No churches	1
- No infill or retail	1
- No apartments or additional housing	2
-	
Retail/Commercial	8
- Grocery store/market	1
- Furniture store	1
- AMC Theater	1
- Small businesses (mom and pop shops)	1
- Self storage facility	1
- Self-serve car wash	2
- Gas station (Arco AM&PM)	1
- Additional banks/credit unions	1
- Health food stores	1
- Big box stores	1
- Renovate/remodel/open Brazil Market	1
- Grocery/shopping at the corner of Chandler/Archibald	1
More development	
- Master planned feeling of [new] Eastvale	2
- Old landowners to sell their property off	1
- Low density residential	2