



City of Eastvale

Draft User Fee Study Findings

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EXECUTIVE SUMMARY

Introduction

MGT of America (MGT) is pleased to present the City of Eastvale (City) with this summary of findings for the user fee study.

The City recently incorporated and many of its fees and/or initial deposits trace back to Riverside County. The City is now interested in knowing the true cost of providing user fee-related services, and exploring the options of modifying current fee and/or initial deposits to reflect Council policies. In November of 2012, the City contracted with MGT to perform this cost analysis using fiscal year 2013 budgets, staffing, contractor rates and operational information. MGT was also tasked with recommending fee and/or initial deposit adjustments for each department based on industry best-practices.

This report is the culmination of the past seven months of work between MGT and City management and staff. MGT would like to take this opportunity to acknowledge all management and staff who participated on this project for their efforts and coordination. Their responsiveness and continued interest in the outcome of this study contributed greatly to the success of this study.

Study Scope and Objectives

This study included a review of fee-for service activities within the following departments/divisions:

- Building and Safety
- Code Enforcement
- Engineering
- Finance
- Fire
- Planning
- Police

The study was performed under the general direction of the Finance Department with the participation of representatives from each department. The primary goals of the study were to:

- ❖ Define what it costs the city to provide various fee and/or initial deposit-related services.
- ❖ Recommend fee and/or initial deposit adjustments based on industry best practices, practices of comparable agencies, MGT’s professional opinion and other economic or policy considerations.
- ❖ Develop revenue projections based on recommended increases (or decreases) to fee and/or initial deposits.
- ❖ Compile information regarding fee and/or initial deposits charged by the following neighboring cities:
 - ▶ Chino, Norco and Calimesa.
- ❖ Provide user fee models and templates to City staff enabling staff to update the study results in future years and incorporate new fees as they occur. The industry standard is to conduct a comprehensive review of fee and/or initial deposits every three to five years and make annual adjustments based on an inflation index.

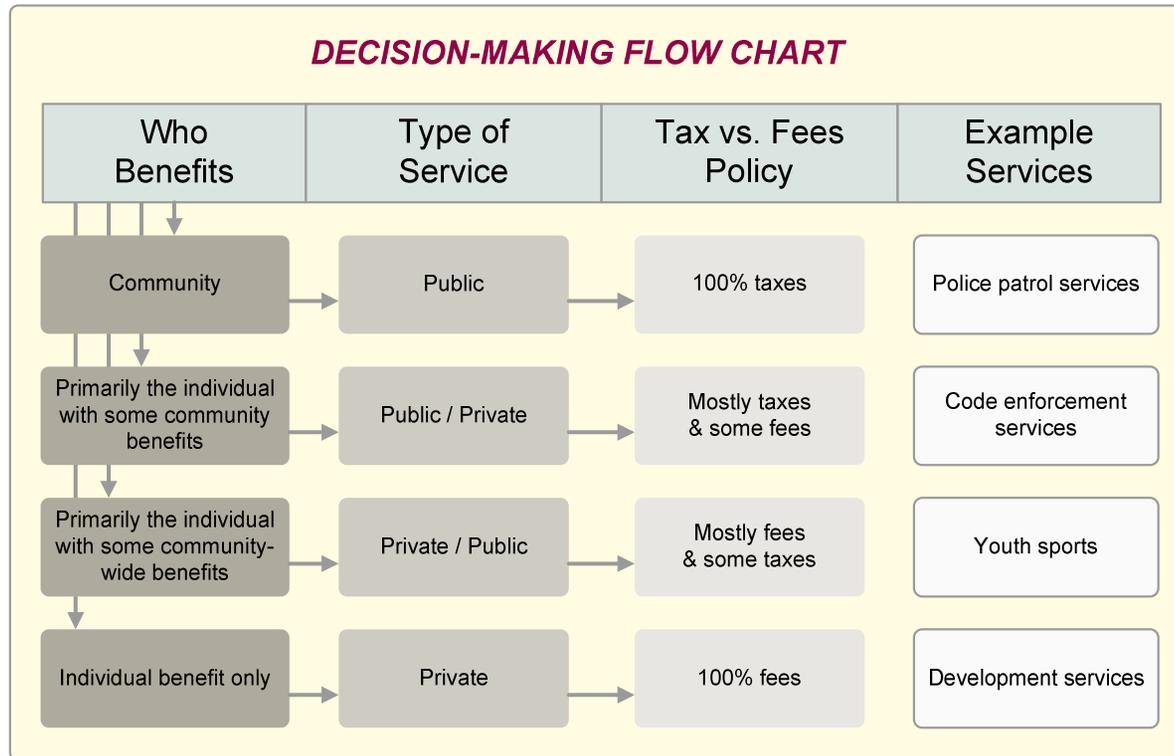
The information summarized in this report addresses each of these issues and provides the City with the tools necessary to make informed decisions about any proposed fee and/or initial deposit adjustments and the resulting impact on general fund revenues.

The following is a list of legal, economic and policy issues that governmental agencies typically take into consideration when determining cost recovery levels.

- ❖ **State Law** – In California user fees are limited to the “estimated reasonable cost of providing a service” by Government Code section 66014(a) and other supplementary legislation. Proposition 26 was approved by California voters in November of 2010 and clarified which charges are considered user fees and which are considered taxes. The significance of this distinction is that user fees may be raised by Council action up to the limit of actual cost, whereas taxes may not be increased without a majority vote of the public. None of the fee and/or initial deposit adjustments recommended by MGT are considered taxes per Proposition 26 guidelines. It should be noted that fee and/or initial deposits charged for the use of government property are exempt from Proposition 26.
- ❖ **Economic barriers** - It may be a desired policy to establish fees at a level that permits lower income groups to use services that they might not otherwise be able to afford.
- ❖ **Community benefit** - If a user fee service benefits the community as a whole to some extent, it is appropriate to subsidize a portion of the fee. Recreation fees typically fit this category.

- ❖ **Private benefit** – If a user fee primarily benefits the fee payer, the fee is typically set at, or close to 100% full cost recovery. Development-related fee and/or initial deposits generally fall into this category, however exceptions are sometimes made for services such as appeal fees or fees charged exclusively to residential applicants.
- ❖ **Service driver** - In conjunction with the third point above, the issue of who is the service recipient versus the service driver should also be considered. For example, code enforcement activities benefit the community as a whole, but the service is driven by the individual or business owner that violates city code.
- ❖ **Managing demand** - Elasticity of demand is a factor in pricing certain city services; increasing the price may result in a reduction of demand for those services, and vice versa.
- ❖ **Competition** - Certain services, such as recreation classes, may be provided by neighboring communities or the private sector, and therefore demand for these services can be highly dependent on what else may be available at lower prices. Furthermore, if the City's fee and/or initial deposits are too low, demand enjoyed by private-sector competitors could be adversely affected.
- ❖ **Incentives** – Fee and/or initial deposits can be set low to encourage participation in a service, such as water heater permitting or youth sports activities.
- ❖ **Disincentives** – Penalties can be instituted to discourage undesirable behavior. Examples include fines for constructing without a building permit and fines for excessive false alarms within a one-year period.

The flow chart below helps illustrate the economic and policy considerations listed above.



Methodology

The standard approach for analyzing the cost of providing fee-related services is commonly referred to as a “bottom up” approach. This is the approach that was utilized for all fee and/or initial deposits. A general description of the “bottom up” approach is as follows:

I. Identify all direct staff time spent on the fee related activity or service

MGT conducted a series of meetings with staff to identify every employee, by classification, who performs work directly in support of a fee and/or initial deposit related service. Direct staff costs are incurred by employees who are “on the front line” and most visible to the customers (e.g. plan checkers, fire inspectors, etc.). Once all direct staff are identified, departments estimate how much time those employees spend, on average, working on each particular fee and/or initial deposit-related service.

Developing time estimates for fee related services can be challenging and departments should be commended for the time and effort they put into this. Although MGT provided departments with templates and other tools to assist them in developing average or “typical” time estimates, these calculations were necessarily developed by the subject matter experts in each operating department.

2. Calculate direct cost of the staff time for each fee and/or initial deposit using productive hourly rates

Hourly Rates Used in Fee Analysis				
Position	Department	Hourly Rate	Hourly Rate with 18.45% Citywide Indirect Cost *	Current Rate Charged to Developers **
Assistant Planner	Planning	\$80	\$102	\$172
Associate Biologist/Ecologist	Planning	\$85	\$108	\$181
Associate Planner	Planning	\$95	\$121	\$172
Graphic Designer II	Planning	\$80	\$102	\$94
Landscape Architect	Planning	\$115	\$146	\$184
Planning Director	Planning	\$135	\$172	\$206
Planning Technician	Planning	\$55	\$70	\$66
Senior Biologist	Planning	\$115	\$146	\$181
Senior Planner I	Planning	\$105	\$134	\$184
Senior Planner II	Planning	\$125	\$159	\$206
City Engineer	Engineering	\$140	\$166	\$137 - \$206
Engineering Associate I	Engineering	\$100	\$118	\$80 - \$172
Permit Technician I	Engineering	\$60	\$71	\$80 - \$108
Permit Technician II	Engineering	\$70	\$83	\$80 - \$108
Public Works Observer I	Engineering	\$75	\$89	\$134
Public Works Observer II	Engineering	\$80	\$95	\$134
Senior Engineer	Engineering	\$125	\$148	\$134 - \$184
Supervising Engineer	Engineering	\$130	\$154	\$135 - \$206
Building Inspector I	Building & Safety	\$75	\$89	\$130
Building Inspector II	Building & Safety	\$85	\$101	\$130
Building Official	Building & Safety	\$135	\$160	\$159
Senior Building Inspector	Building & Safety	\$105	\$124	\$130
Supervising Plan Review Engineer	Building & Safety	\$120	\$142	\$159
City Attorney	City Attorney	\$225	\$267	\$225
Assistant City Clerk	City Clerk	\$43	\$51	n/a
Office Assistant	City Clerk	\$31	\$37	n/a
City Manager	City Manager	\$132	\$156	n/a
Public Information Officer	City Manager	\$43	\$51	n/a
Code Enforcement Officer	Code Enforcement	\$39	\$46	n/a
Account Clerk	Finance	\$37	\$44	n/a
Deputy Finance Director	Finance	\$83	\$98	n/a
Finance Director	Finance	\$240	\$284	n/a
Fire Safety Specialist	Fire Department	\$72	\$85	n/a

* Planning rates include additional indirect costs, including support from Building staff and amortized costs of the Housing and General Plan Updates.

** For positions with a range, the current rate charged depends on the task performed.

Productive hourly rates are used to support full cost recovery. A full-time employee typically has 2,080 paid hours per year. However, cost studies reduce that number to account for non-productive hours (sick leave, vacation, holidays, training, meetings, etc.). MGT calculated the productive hourly rate for each classification based on the salary and benefit information provided by the City and an analysis of annual productive hours (1,643) for City staff.

In Eastvale, many fee and/or initial deposit-related services are performed by contract staff. MGT added an 18.45% City-wide overhead factor to contract staff hourly rates to arrive at “fully-burdened” hourly rates. The Citywide overhead calculation is discussed in paragraph 3 below.

3. Determine indirect or “overhead” costs

A Citywide indirect cost rate was developed to reflect support provided by departments such as Finance and the Office of the City Manager. The following Citywide indirect rate is applied to all direct costs:

City of Eastvale Overhead Costs Projected Budget FY 13/14	
City Hall Lease	76,000
Utilities- Phone	9,000
Utilities- Electric	5,400
Janitorial Contract	2,600
Xerox Copier Lease	7,900
Pest Control (Bi-Monthly)	420
Insurance- General/Liability	36,851
City Manager Dept Personnel	265,619
PIO Personnel	99,120
Finance Dept Personnel	288,238
Technology (Software Maint/Hosting)	102,900
Revenue Neutrality Payment (30 yr term)	550,000
City Council Dept Personnel	141,489
City Attorney Operations	168,000
City Clerk/Office Assistant Personnel	166,060
Total General Government	1,919,597
Total General Fund Appropriations	10,402,200
Percent Overhead	18.45%

4. Crossover Support from other departments.

In several instances a direct department will provide support to another direct department. For example, several of Engineering’s fees require support from the Planning department. In this example Planning’s review cost has been incorporated into the Engineering fee analysis.

5. Compare total costs to the current fee and/or initial deposit schedule.

Once all direct, indirect and crossover support costs are calculated, MGT compared the total cost for each fee and/or initial deposit-related service to the fee and/or initial deposit currently charged to the public. In most cases we found the total cost of providing a service exceeded the fee and/or initial deposit charged. In these instances, the fee and/or initial deposit can be increased to recover these subsidies. However, there were a number of services for which the total calculated cost was less than the fee charged. In these cases the fee must be lowered to comply with State law.

6. Deposit-based fees.

Many of the City’s services are recovered on a deposit-based system in which contractor hourly rates are applied against a deposit. As the deposit is drawn-down, the developer is notified to replenish the deposit before additional review or inspection work can resume. The fully-burdened rates identified in paragraph 2 above should be used whenever charging time to developer projects in lieu of the hourly rates charged at the present time.

When reviewing the proposed Planning deposits, it is important to note that the amounts currently collected are based on the County of Riverside’s fee schedule, which collects an initial deposit when an application is filed and an additional (generally higher) deposit later on. The initial deposits, under this system, are basically a "down payment." The applicant will typically be asked for additional funds in accordance with the table identified below.

By comparison, the proposed deposits have been calculated to cover the *total* cost for most projects. Staff believes this is a more honest and transparent approach, since it gives applicants a better idea of the likely cost of processing their project.

The proposed deposit amounts, while higher than the initial deposits currently charged, are actually much *lower* than the amounts typically charged by the County. For example, the City’s proposed *total* cost for various project types is compared with the County’s estimated cost for the same applications:

Project Type	City Proposed Deposit (Full Cost for Most Projects)	County's Estimated Cost For Most Projects (per County Ord 671)
Conditional Use Permit	\$10,331	\$15,000 to \$30,000
Subdivision Map	\$22,661	\$50,000 to \$75,000
Development Review by Planning Commission	\$9,555	\$15,000 to \$30,000
Variance	\$3,750	\$7,500

The lower cost of processing applications through Eastvale Planning is the result of a more streamlined and efficient operation that generally takes far less time and involves far fewer staff than the same application at Riverside County.

7. Annual volume figures are incorporated.

Up to this point we have calculated fee and/or initial deposit costs and revenues on a per-unit basis. By incorporating annual volume estimates provided by each department into the analysis, we extrapolate the per-unit results into annual cost and annual revenue information. This annualization of results accomplishes two primary benefits:

- ❖ Management information: the annualized results give management an estimate of the fiscal impact of any fee and/or initial deposit adjustments. Because annual volume will change from one year to the next, these figures are estimates only. Actual revenue will depend on future demand level and collection rates, which for some services can be less than 100%.
- ❖ Cross checks and reasonableness tests: by annualizing the results we also annualize the time spent by staff on each service. These annualized results will surface any instances of over or under estimation of time. In these cases we review these results with staff and resolve any anomalies.

8. Recommend fee and/or initial deposit adjustments.

MGT provides fee and/or initial deposit adjustment recommendations based on industry best practices and practices of comparable agencies. Of course MGT's recommendations are advisory in nature only – ultimately Council must decide what fee and/or initial deposit levels are appropriate for Eastvale.

Study Findings

The study's primary objective is to provide the City's decision-makers with the basic data needed to make informed pricing decisions. This report details the full cost of services and presents recommended fee and initial deposit adjustments and their fiscal impact. Recommendations are based on careful consideration of the results of the cost analysis, industry best practices and market comparisons.

The results of the study identified that overall, Eastvale departments do a relatively good job of recovering fee-related costs. This is partially because the bulk of fee-related services are performed by contract staff whose rate is reimbursed through fees. While the city is above-average at recovering fee-related costs, significant opportunities do exist to raise additional funds via fee adjustments, bringing the city closer to self-sustainability.

New Fees. New fees have been proposed for services for which no fee exists, but which benefit individuals or private groups.

Restructured Fees. Several fees were restructured to better reflect Eastvale's processes and customers. For example, all of Fire Prevention new-construction fees were revised.

Simplified fee and deposit categories. Planning and Engineering's fee structure was simplified from the structure inherited from the County. Overall, fee categories were simplified and consolidated, making the resulting fee and deposit schedules more user-friendly.

Comparison analysis. A component of our analysis included a survey of user fees charged by neighboring cities. This survey gives City management a picture of the market environment for city services. This survey is imprecise in that a fee with the same name may involve slightly different services among the various cities surveyed. Some cities lump several services into one fee category, whereas other cities break fees down into a high level of specificity. Accordingly the purpose of this comparison analysis is to impart a sense of how Eastvale's fees levels compare with neighboring jurisdictions. The comparison analysis is provided in the last section of this report.

Fee Adjustment Recommendations. Recommendations reflect a policy of recovering 100% of the full cost of providing services with the following exceptions:

- ▶ Certain homeowner permits are recommended at 50% cost recovery.
- ▶ State mandated fees are recommended at the amount allowed by the State.

The exhibit on the following page displays the summary of costs and revenues for each department/division analyzed:

City of Eastvale User Fee Revenue Analysis Actual 2012

<i>Department/Division</i>	<i>Costs, User Fee Services (A)</i>				Recommended		
		<i>Current Revenue (B)</i>		<i>General Fund Subsidy (C)</i>	<i>Cost Recovery Policy (D)</i>	<i>Increased Revenue (E)</i>	
Building and Safety ¹	\$680,164	\$394,143	58%	\$286,021	\$634,981	93%	\$240,838
Code Enforcement	\$86,343	\$7,000	8%	\$79,343	\$86,343	100%	\$79,343
Engineering	\$797,406	\$278,956	35%	\$518,450	\$776,872	97%	\$497,916
Finance	\$166,192	\$87,000	52%	\$79,192	\$165,672	100%	\$78,672
Fire	\$72,005	\$72,005	100%	\$0	\$72,005	100%	\$0
Planning	\$831,093	\$831,093	100%	\$0	\$831,093	100%	\$0
Police	\$57,693	\$27,600	48%	\$30,093	\$57,693	100%	\$30,093
Grand Total:	\$2,690,896	\$1,697,797	63%	\$993,099	\$2,624,659	98%	\$926,862

1) *Building and Safety figures exclude deposit-based fees, which are set at full cost recovery.*

Column A, User Fee Costs – \$2.69 million of City costs were determined to be fee related.

Column B, Current Revenues – Based on current individual fee levels, the City generates fee related revenues of \$1.7 million and is experiencing a 63% cost recovery level. This rate is higher than most cities MGT has analyzed. Within each department, cost recovery levels range from 17% in Engineering to 218% in Building and Safety. In some cases fees will need to be reduced to comply with State law. The analyses of individual fees and deposits are presented in subsequent sections of this report.

Column C, General Fund Subsidy – Current fee levels recover 63% of full cost, leaving 37% or \$993,099 to be funded by other funding sources. This \$993,099 represents a “window of opportunity” for the City to increase fees and general fund revenues, with a corresponding decrease in the subsidization of services by the general fund.

There are two circumstances under which MGT recommends the continuation of cost subsidies:

- ▶ Certain homeowner permits are recommended to be subsidized up to 50% of processing costs.
- ▶ State mandated fees must not be increased beyond the maximum amount allowed by the State.

Column D, Recommend Recovery – It is estimated that adoption of the recommended cost recovery policy would generate fee revenues of \$2,624,659. This would bring the overall cost recovery level up to a nearly self-sustaining level of 98%.

Column E, Increased Revenue – Adoption of the recommended fee policy would generate approximately \$926,862 additional revenue. This represents a 55% increase over revenue currently being collected for these activities by the City on an annual basis.

Cost Recovery Comparisons

The table on the following page displays user fee cost recovery levels for several cities that MGT has studied. In order to provide Eastvale with the greatest “apples to apples” comparison, please note that these clients have undertaken the same study as Eastvale, using the same processes and methodologies. In most cases the recommended recovery rate was adopted by Council. The actual recovery levels realized may be less than recommended due to collection rate issues, fee waivers, etc.

City of Eastvale - Cost Recovery Comparisons

	<i>PLANNING</i>		<i>BUILDING</i>		<i>ENGINEERING</i>			
	Recovery rates		Recovery rates		Recovery rates			
	<i>Current</i>	<i>Recommended</i>	<i>Current</i>	<i>Recommended</i>	<i>Current</i>	<i>Recommended</i>		
Eastvale	100%	100%	Eastvale	58%	93%	Eastvale	35%	97%
Campbell	26%	50%	Dublin	70%	100%	Campbell	55%	63%
Chino Hills	12%	50%	Fortuna	50%	100%	Chino Hills	7%	66%
Cupertino	n/a	100%	Huntington Beach	91%	98%	Cupertino	n/a	100%
Emeryville	34%	100%	La Mesa	95%	100%	Emeryville	81%	100%
Huntington Beach	84%	100%	Livermore	67%	100%	Huntington Beach	86%	100%
La Habra	51%	n/a	Long Beach	77%	100%	La Habra	29%	n/a
La Mesa	54%	89%	Los Alamitos	82%	94%	La Mesa	76%	97%
Livermore	61%	84%	Modesto	51%	66%	Livermore	39%	64%
Long Beach	71%	99%	Newport Beach	69%	97%	Long Beach	53%	72%
Los Alamitos	7%	53%	Redondo Beach	80%	n/a	Los Alamitos	24%	92%
Los Gatos	65%	100%	Santa Clara	100%	n/a	Los Gatos	91%	100%
Modesto	52%	97%	Vallejo	80%	100%	Modesto	43%	99%
Newport Beach	62%	99%				Newport Beach	62%	93%
Pittsburg	19%	49%				Pittsburg	78%	82%
Redlands	78%	99%				Redlands	56%	96%
Santa Clara	77%	n/a				Santa Clara	11%	n/a
Santa Barbara	38%	n/a				Santa Barbara	62%	n/a
Vallejo	58%	96%				Vallejo	68%	100%
Whittier	41%	74%				Whittier	52%	100%

City of Eastvale - Cost Recovery Comparisons (continued)

<i>POLICE</i>			<i>FIRE - PREVENTION</i>		
	Recovery rates			Recovery rates	
	<i>Current</i>	<i>Recommended</i>		<i>Current</i>	<i>Recommended</i>
Eastvale	48%	100%	Eastvale	100%	100%
Flagstaff	26%	88%	Flagstaff	0%	50%
Folsom	15%	68%	Folsom	29%	100%
Fortuna	78%	100%	Hollister	47%	99%
Hollister	61%	98%	Huntington Beach	56%	68%
Huntington Beach	69%	79%	La Habra	22%	n/a
La Habra	10%	n/a	La Mesa	88%	99%
La Mesa	45%	55%	Lemoore	73%	100%
Livermore	46%	97%	Livermore	101%	100%
Lemoore	52%	87%	Long Beach	94%	94%
Los Alamitos	39%	70%	Modesto	41%	100%
Long Beach	25%	96%	Newport Beach	81%	100%
Newport Beach	22%	76%	Redlands	22%	33%
Pittsburg	59%	62%	Santa Clara	75%	n/a
Redlands	79%	97%			
Santa Barbara	32%	n/a			
Whittier	64%	70%			

Department Summary Charts

The subsequent pages display the results of our individual fee analysis. For each department the current charge, total cost and recommended fee are listed for each fee-related service.

The summaries are in the following order:

- ❖ Building and Safety
- ❖ Code Enforcement
- ❖ Engineering
- ❖ Finance
- ❖ Fire Prevention
- ❖ Planning
- ❖ Police

Building and Safety

User Fee Study Summary Sheet

City of Eastvale

Building Safety

FY 2012/13

		Current	Recommendation		
		Per Unit	Per Unit		
Service Name	Fee Description	Current Fee	Proposed Fee	Proposed Subsidy of Full Cost	% Change
Miscellaneous Permits					
1	Permit Issuance Fee	new, fixed	\$49		
2	Demolitions	fixed	\$194		-11%
3	Residential re-roof no structural changes	fixed	\$291		57%
4	Residential re-roof w/ structural changes	fixed	\$458		18%
5	Commercial re-roof, up to 5,000 sq. ft., no structural changes	fixed	\$385		108%
6	Commercial re-roof, over 5,000 sq. ft. up to 10,000 sq. ft., no structural changes	fixed	\$458		147%
7	Commercial re-roof, over 10,000 sq. ft.	fixed	\$624		237%
8	Commercial re-roof, up to 5,000 sq. ft., w/ structural changes	fixed	\$645		67%
9	Commercial re-roof, over 5,000 sq. ft. up to 10,000 sq. ft., w/ structural changes	fixed	\$811		109%
10	Commercial re-roof, over 10,000 sq. ft. w/ structural changes	fixed	\$1,217		214%
11	Sign	fixed	\$473		11%
12	Change of Tenancy/ C of O	fixed	\$239		27%
13	Re-Inspection Fee	fixed	\$81		24%
14	Duplicate Job Card	new, fixed	\$73		
Residential Accessory Structures:					
15	Deck	fixed	\$478		13%
16	Patio cover per City standard	fixed	\$338		34%
17	Patio cover (footing only)	new, fixed	\$156		
18	Swimming pool	fixed	\$723		53%
19	Garden wall, up to 100 lf	fixed	\$458		103%
20	Garden wall, each add'l 50 lf	fixed	\$120		69%

User Fee Study Summary Sheet

City of Eastvale

Building Safety

FY 2012/13

		Current	Recommendation		
		Per Unit	Per Unit		
Service Name	Fee Description	Current Fee	Proposed Fee	Proposed Subsidy of Full Cost	% Change
21	Retaining wall, up to 100 lf	fixed \$432	\$530		23%
22	Retaining wall, each add'l 50 lf	fixed \$71	\$120		69%
23	Shed, over 120 sq ft, no plumbing or electrical	fixed \$869	\$437		-50%
24	Window upgrade	fixed \$253	\$406		60%
<u>Mechanical Permits</u>					
25	Stand alone mechanical plan check	new, deposit + hourly	\$146		
26	Installation of FAU including ducts and vents attached thereto or each wall heater	fixed \$185	\$203		9%
27	Each air handling unit, including ducts attached thereto, up to 150,000 CFM.	fixed \$185	\$203		9%
28	Each air handling unit, including ducts attached thereto, over 150,000 CFM to 499,000 CFM.	fixed \$185	\$322		74%
29	Each evaporative cooler other than portable type.	fixed \$185	\$156		-16%
30	Each ventilation fan connected to a single duct or whole house fan.	fixed \$185	\$156		-16%
31	Each ventilation system, including ducts attached thereto, which is not a portion of any heating or air conditioning system.	fixed \$185	\$276		49%
32	Installation of each hood which is served by mechanical exhaust, including ducts for each hood.	fixed \$185	\$312		68%
33	Installation or relocation of any duct system.	fixed \$185	\$276		49%
34	Each process piping system up to 5 outlets.	fixed \$185	\$312		68%
35	Each additional 1-2 outlets	new, fixed	\$83		
<u>Plumbing Permits</u>					
36	Stand alone plumbing plan check	new, deposit + hourly	\$146		
37	For each plumbing fixture or trap	fixed \$188	\$120		-36%

User Fee Study Summary Sheet

City of Eastvale

Building Safety

FY 2012/13

		Current	Recommendation		
		Per Unit	Per Unit		
Service Name	Fee Description	Current Fee	Proposed Fee	Proposed Subsidy of Full Cost	% Change
38	For each building sewer	fixed \$188	\$120		-36%
39	Each water heater	fixed \$188	\$120		-36%
40	Each commercial/industrial pretreatment interceptor	fixed	\$239		
41	Repair or alteration of drainage or vent piping, per branch	fixed \$188	\$156		-17%
42	Atmospheric-type vacuum breaker backflow device	fixed \$188	\$109		-42%
43	Each additional device	new	\$36		
44	Each gas piping system of 1-4 outlets	new	\$203		
45	Each additional 1-2 outlets	new	\$83		
46	Residential water heater replacement	fixed \$188	\$120	\$120	-36%
<u>Electrical Permits</u>					
47	Stand alone electrical plan check	new, deposit + hourly	\$146		
48	Temporary power (each), temporary power service pole or pedestal including outlets and appurtenances (each)	fixed \$215	\$166		-23%
49	Each additional pole in a single installation	new, fixed	\$83		
50	temporary lighting system for Christmas tree lots, pumpkin patches, etc.	fixed \$215	\$203		-6%
51	120-240 volt receptacles, switches, lighting or other outlets for which current is used or controlled, except for servies and feeders, up to 10	fixed \$215	\$239		11%
52	Each additional 1-10 outlets	new, fixed	\$120		
53	120-240 volt lighting fixtures, sockets or other lamp-holding devices, up to 10	fixed \$215	\$239		11%
54	Pole mounted lighting fixtures, each	fixed \$215	\$166		-23%
55	Each additional pole mounted fixture in a single installation	new, fixed	\$83		

User Fee Study Summary Sheet

City of Eastvale

Building Safety

FY 2012/13

Service Name	Fee Description	Current	Recommendation		
		Per Unit	Per Unit		
		Current Fee	Proposed Fee	Proposed Subsidy of Full Cost	% Change
56 Each residential type appliance that utilizes electrical power, except HVAC units	fixed	\$215	\$120		-44%
57 Each commercial/industrial type appliance that utilizes electrical power. Rating in horsepower, kilowatts or kilovolt-amperes:	fixed	\$215			
58 Up to and including 1	fixed	\$215	\$203		-6%
59 Over 1 and not over 10	fixed	\$215	\$239		11%
60 Over 10 and not over 50	fixed	\$215	\$322		50%
61 Over 50 and not over 100	fixed	\$215	\$442		106%
62 Over 100	fixed	\$215	\$608		183%
63 Installation of panel board 600 volts or less up to 800 amperes, each	fixed	\$215	\$239		11%
64 Installation of panel board over 600 volts or over 800 amperes, each	fixed	\$215	\$406		89%
65 Residential solar panel installations, each structure	fixed	\$215	\$203	\$203	-6%
66 Electrical safety (meter reset only)	fixed	\$340	\$291		-14%
67 Residential electrical service upgrade	fixed	\$188	\$312		66%
68 Electric vehicle charging station, free standing	fixed	\$215	\$359		67%
69 Electric vehicle charging station, wall mounted	fixed	\$215	\$239		11%

Footnote: Permits for new construction (such as single family dwellings or room additions) will be treated as deposit-based in lieu of fixed fee. Additionally, the deposit-based system can be used in lieu of fixed fee at any time at the discretion of the applicant or when the City believes it will more fairly account for the time and cost of a larger project.

Code Enforcement

User Fee Study Summary Sheet

City of Eastvale

Code Enforcement

FY 2012/13

		Current	Recommendation		
		<i>Per Unit</i>	<i>Per Unit</i>		
Service Name	Fee Description	Current Fee	Proposed Fee	Proposed Subsidy of Full Cost	% Change
1 Vacant Property Registration	pass-through	\$70	\$83		18%
2 Notice of Non-Compliance	new		\$55		
3 Removal of signs	new		\$7		
4 Registration of Residential Property in Foreclosure Program	Fixed	\$547	\$544		-1%

Total User Fees
 % of Full Cost

1) This fee is serviced by private contractors, National Cost Recovery Services, inc. This analysis assumes fee revenue accrues to NCRS

Engineering

User Fee Study Summary Sheet

City of Eastvale
Engineering
FY 2012/13

		Current	Recommendation		
		<i>Per Unit</i>	<i>Per Unit</i>		
Service Name	Fee Description	Current Fee	Proposed Fee	Proposed Subsidy of Full Cost	% Change
<u>Plan Check</u>					
1	Traffic Study/ Traffic Impact Analysis - Review	Hourly \$137	\$187		36%
2	Storm Drain & Street	Hourly \$137	\$182		33%
3	Traffic Signals, Signing/Striping, TCP	Hourly \$137	\$171		25%
4	Drainage Study - Review	Hourly \$137	\$178		30%
5	Subdivision Map - Review	Hourly \$184	\$178		-3%
6	SWPPP Plan Check	Hourly \$184	\$178		-3%
7	WQMP Plan Check	Hourly \$184	\$178		-3%
8	Grading Plan Check	Hourly \$167	\$178		6%
<u>Permit</u>					
9	Oversize Permit - Annual	State \$90	\$90	\$166	
10	Oversize Permit - Single Trip	State \$16	\$16	\$69	
<u>Encroachment Permit:</u>					
12	Encroachment Permit - Regular	Each \$179	\$242		35%
a) 13	Homeowner Encroachment Permit:				
14	Driveway/ curb cut/ sidewalk	Each \$107	\$219	\$219	105%
15	Minor Work	Each \$79	\$54	\$54	-32%
<u>Inspection</u>					
b) 16	Trench Excavation/Back Fill, up to 100 LF	Min \$210	\$319		52%
c) 17	\$319 plus per LF over 100 LF	per LF \$0.23	\$1.60		696%
b) 18	Storm Drains/Culverts/Open Channels, up to 100 LF	Min \$210	\$319		52%
c) 19	\$319 plus per LF over 100 LF	per LF \$0.23	\$4.79		2083%
b) 20	Curb, Gutter or combo w Earthwork, up to 100 LF	Min \$210	\$319		52%
c) 21	\$319 plus per LF over 100 LF	per LF \$0.23	\$1.60		696%
b) 22	Traffic Occupancy or Lane Closure requiring signage	per day \$105	\$399		280%
b) 23	Curb Return including Earthwork	Each \$210	\$479		128%
b) 24	Sidewalk w Earthwork, up to 100 SF	Min \$210	\$319		52%
c) 25	\$319 plus per SF over 100 SF	per SF \$0.23	\$1.60		696%
b) 26	Driveway Approach w Earthwork, up to 100 SF	Min \$107	\$319		198%
c) 27	\$319 plus per SF over 100 SF	per SF \$0.23	\$1.60		696%

User Fee Study Summary Sheet

City of Eastvale
Engineering
FY 2012/13

		Current		Recommendation		
		<i>Per Unit</i>		<i>Per Unit</i>		
Service Name		Fee Description	Current Fee	Proposed Fee	Proposed Subsidy of Full Cost	% Change
b)	28	Paving w Earthwork, up to 1,000 SF	Min	\$210	\$319	52%
c)	29	\$319 plus per SF over 100 SF	per SF	\$0.08	\$0.24	300%
	30	Small Utility Trench Repair, up to 50 SF	Each, New		\$108	n/a
	31	<u>Rough Grading Inspection:</u>				
d)	32	Up to 100 cubic yards	Min, New		\$234	n/a
d)	33	\$234 plus per 300 cuy over 100 cuy less than 1,000 cuy	per 300 cuy, new		\$156	n/a
d)	34	\$702 plus per 1,000 cuy over 1,000	per 1,000 cuy, new		\$59	n/a
		<u>Others / Miscellaneous</u>				
	35	Certificate of Correction	Each, New		\$371	n/a
	36	Covenants, Conditions & Restrictions; Subdivision Improvement Agreements	Each, New		\$576	n/a

- a) Includes plan review, permit processing and inspection.
- b) These categories also require an encroachment permit.
- c) Current per unit fees reflect Riverside County Fee Schedules that were last updated in 2009. Proposed fees increased to reflect ENR (Engineering News Record) cost index increases over the last four years and are based on the actual time estimates and overhead charges for the City of Eastvale.
- d) Cubic yardage is based on the total of cut and fill.

Finance

User Fee Study Summary Sheet

City of Eastvale

Finance

FY 2012/13

		Current	Recommendation		
		<i>Per Unit</i>	<i>Per Unit</i>		
Service Name	Fee Description	Current Fee	Proposed Fee	Recommended Subsidy	% Change
1 Developer Deposit Processing Fee	New		\$99		
2 Business License Admin Fee: New	fixed	\$45.00	\$110		145%
3 Business License Admin Fee: Renewal	fixed	\$30.00	\$40		33%
4 Storm Water NPDES Inspections (when necessary as required by Stormwater permit):					
5 Commercial	new, per insp		\$218		
6 Industrial	new, per insp		\$152		
7 Follow-up	new, per insp		\$109		
8 NSF Check	new, State		1st \$25; each add'l \$35	\$52	

Fire Prevention

User Fee Study Summary Sheet

City of Eastvale

Fire Department

2012/2013

		Current	Recommendation	
		<i>Per Unit</i>	<i>Per Unit</i>	
Service Name	Fee Description	Current Fee	Proposed Fee	% Change
Annual Fire Permits				
1	Aerosol Products	annual	\$99	n/a
2	Amusement Buildings	annual	\$50	n/a
3	Apartment Buildings, 1-14 units	annual	\$113	n/a
4	Apartment Buildings, 15-50 units	annual	\$145	n/a
5	Apartment Buildings, each add'l 50 units	annual	\$31	n/a
6	Battery Systems Stationary Storage	annual	\$85	n/a
7	Candles and Open Flames	per occur	\$92	n/a
8	Carnivals & Fairs	per event	\$177	n/a
9	Cellulous Nitrate	annual	\$177	n/a
10	Christmas Tree Lot/ Pumpkin Patches	per occur	\$106	n/a
11	Combustible Fiber Storage/Handling	annual	\$135	n/a
12	Compressed Gases Storage/Handling	annual	\$92	n/a
13	Cryogenic Fluids	annual	\$99	n/a
14	Dry Cleaning Plants	annual	\$156	n/a
15	Dust Producing Operations	annual	\$135	n/a
16	Explosives and/or Blasting Agents	per occur	\$156	n/a
17	Family Daycare- Small	annual	\$135	n/a
18	Family Daycare- Large	annual	\$156	n/a
19	Firework Display	per event	\$241	n/a
20	Flammable Combustible Liquids Storage /Handling: Class I Liquid	annual	\$220	n/a
21	Flammable Combustible Liquids Storage /Handling: Class II Liquid	annual	\$220	n/a

User Fee Study Summary Sheet

City of Eastvale

Fire Department

2012/2013

Service Name	Fee Description	Current	Recommendation		
		<i>Per Unit</i>	<i>Per Unit</i>		
		Current Fee	Proposed Fee	% Change	
22	Floor Finishing/Surfacing Operations	annual		\$106	n/a
23	Fruit & Crop Ripening Facilities	annual		\$113	n/a
24	Green Waste	annual		\$135	n/a
25	Hazardous Materials Storage or Production	annual		\$305	n/a
26	High Piled Combustible Storage 0-10k sq ft	annual		\$170	n/a
27	High Piled Combustible Storage 10k to 50k sq ft	annual		\$234	n/a
28	High Piled Combustible Storage 51k to 100k sq ft	annual		\$298	n/a
29	High Piled Combustible Storage 100k + sq ft	annual		\$361	n/a
30	High Rise Building	annual		\$347	n/a
31	Hospital	annual		\$347	n/a
32	Hot Works	per occur		\$64	n/a
33	Jails	annual		\$432	n/a
34	Liquefied Petroleum Gases	annual		\$106	n/a
35	Lumber Yards	annual		\$238	n/a
36	Magnesium Working	annual		\$106	n/a
37	Miscellaneous Combustible Storage	annual		\$135	n/a
38	Mobile Home Park, 1-14 units	annual		\$92	n/a
39	Mobile Home Park, 15-50 units	annual		\$106	n/a
40	Mobile Home Park, each add'l 50 units	annual		\$21	n/a
41	Motor Vehicle/Marine Fuel Dispensing Stations	annual		\$99	n/a
42	Organic Coatings	annual		\$106	n/a

User Fee Study Summary Sheet

City of Eastvale

Fire Department

2012/2013

		Current	Recommendation	
		<i>Per Unit</i>	<i>Per Unit</i>	
Service Name	Fee Description	Current Fee	Proposed Fee	% Change
43	Ovens: Industrial Baking or Drying		\$99	n/a
44	Place of Assembly: A-1		\$220	n/a
45	Place of Assembly: A-2		\$220	n/a
46	Place of Assembly: A-3		\$220	n/a
47	Place of Assembly: A-4		\$220	n/a
48	Place of Assembly: A-5		\$220	n/a
49	Private Schools		\$496	n/a
50	Radioactive Materials		\$113	n/a
51	Refrigeration Equipment		\$106	n/a
52	Repair Garage and/or Service Garage		\$177	n/a
53	Residential Care facil: Pre Inspection		\$92	n/a
54	Residential Care facil: 1-6 People		\$220	n/a
55	Residential Care facil: 7+ People		\$283	n/a
56	Rifle Ranges		\$92	n/a
57	Special Events: 1-500 Participants		\$220	n/a
58	Special Events: 501-1,000 Participants		\$283	n/a
59	Special Events: 1,000+ Participants		\$347	n/a
60	Spraying or Dipping Finishes		\$106	n/a
61	Temporary Structure: Tent > 200 sq ft.		\$128	n/a
62	Tires: Storage including Scrap & Byproducts		\$128	n/a
63	Underground Tank Removal		\$241	n/a
64	Waste Materials Handling (Salvage Yard)		\$220	n/a

User Fee Study Summary Sheet

City of Eastvale

Fire Department

2012/2013

		Current	Recommendation	
		<i>Per Unit</i>	<i>Per Unit</i>	
Service Name	Fee Description	Current Fee	Proposed Fee	% Change
65	Wood Products Storage		\$106	n/a
66	Miscellaneous Operations		\$220	n/a
New Construction Fees				
67	<u>New Building</u>			
68	1 - 10,000 sq ft	change to fixed	\$168/hour	\$298 n/a
69	10,001 - 25,000 sq ft	change to fixed	\$168/hour	\$383 n/a
70	25,001 + sq ft	change to fixed	\$168/hour	\$510 n/a
71	<u>Tenant Improvement</u>			
72	1 - 5,000 sq ft	change to fixed	\$168/hour	\$213 n/a
73	5,001 - 15,000 sq ft	change to fixed	\$168/hour	\$319 n/a
74	15,001 + sq ft	change to fixed	\$168/hour	\$446 n/a
75	Fire Alarm: Water Flow Monitoring	change to fixed	\$168/hour	\$298 n/a
76	Fire Alarm: Alarm including Voice Evac.	change to fixed	\$168/hour	\$595 n/a
77	<u>Fire Sprinkler - Commercial</u>			
78	New Construction- per riser	change to fixed	\$168/hour	\$616 n/a
79	Tenant Improvement	change to fixed	\$168/hour	\$255 n/a
80	<u>Fire Sprinkler - Residential</u>			
81	Multi-Family 13R- per riser	change to fixed	\$168/hour	\$616 n/a
82	Single Family 13D- 1-1,500 sq ft	change to fixed	\$168/hour	\$213 n/a
83	Single Family 13D- 1,501-3,000 sq ft	change to fixed	\$168/hour	\$319 n/a
84	Single Family 13D- 3,001+ sq ft	change to fixed	\$168/hour	\$468 n/a
85	Underground Water/Fire Main	change to fixed	\$168/hour	\$213 n/a

User Fee Study Summary Sheet

City of Eastvale

Fire Department

2012/2013

Service Name	Fee Description	Current	Recommendation	
		Per Unit	Per Unit	
		Current Fee	Proposed Fee	% Change
86 Standpipe System- per riser	change to fixed	\$168/hour	\$213	n/a
87 Fire Pump- per system	change to fixed	\$168/hour	\$383	n/a
88 Fire Suppression				
89 Hood and Duct/Clean Agent - 1st System	change to fixed	\$168/hour	\$213	n/a
90 Each Additional	change to fixed	\$168/hour	\$43	n/a
91 High Pile Storage				
92 1-999 sq ft	change to fixed	\$168/hour	\$213	n/a
93 1,000 - 2,500 sq ft	change to fixed	\$168/hour	\$255	n/a
94 2,501+ sq ft	change to fixed	\$168/hour	\$383	n/a
95 Fueling Station (incl. CNG/LPG and Tanks) - per system	change to fixed	\$168/hour	\$255	n/a
96 Smoke Control System	change to fixed	\$168/hour	\$213	n/a
97 Spray Booth	change to fixed	\$168/hour	\$170	n/a
98 Hazardous Materials Plan and Storage				
99 1-999 sq ft	change to fixed	\$168/hour	\$85	n/a
100 1,000 - 2,500 sq ft	change to fixed	\$168/hour	\$170	n/a
101 2,501+ sq ft	change to fixed	\$168/hour	\$255	n/a
102 Pyrotechnics - per 500 firing devices	change to fixed	\$168/hour	\$85	n/a
103 All Other Plan Reviews and/or Inspections not listed and Technical Reports and Research	change to fixed	\$168/hour	\$85	n/a

Services #1 through #66: The Fire Department does not currently conduct annual inspections of these occupancies.

Should the City institute an inspection program, these proposed fees should be assessed.

Service #67 through #103 include plan reviews and any necessary inspections.

Planning

City of Eastvale

Planning

FY 2012/13

Service Name	Fee Description	Current	Recommendations		
		Per Unit	Per Unit		
		Current Initial Deposit	Proposed Initial Deposit	Recommended Subsidy	% Change
<u>Planning Applications</u>					
1 Pre Application Review	Deposit	\$1,472	\$4,336	\$0	195%
2 Appeals to Planning Commission/ City Council - General	fixed	\$964	\$964	\$0	0%
3 Extension of Time	Deposit	\$369	\$5,343	\$0	1348%
4 Revisions to Approved Projects	Deposit	\$646 + 50% of orig.	50% of original deposit	\$0	n/a
5 Certificate of Zoning Compliance	Deposit	\$657	\$657	\$0	0%
6 Change of Zone	Deposit	\$2,766	\$13,610	\$0	392%
7 Conditional Use Permit	Deposit	\$7,918	\$10,331	\$0	30%
8 General Plan Amendment	Deposit	\$6,622	\$15,832	\$0	139%
9 Large Family Daycare	Change to Fixed	\$1,165	\$102	\$0	-91%
10 Minor Development Review	Deposit	\$2,427	\$4,626	\$0	91%
11 Major Development Review	Deposit	\$5,198	\$9,555	\$0	84%
12 Setback Adjustment	Deposit	\$213	\$241	\$0	13%
13 Specific Plan	Deposit	\$6,134	\$28,992	\$0	373%
14 Specific Plan Amendment	Deposit	\$3,067	\$23,809	\$0	676%
15 Temporary Event Permit	Change to Fixed	\$240	\$680	\$0	183%
16 Temporary Use Permit	Deposit	\$2,441	\$666	\$0	-73%
17 Sign Program	Deposit	\$2,427	\$1,237	\$0	-49%
18 Variance	Deposit	\$2,125	\$3,750	\$0	76%
19 Zoning Confirmation Letter	New Deposit	\$0	\$200	\$0	n/a
<u>Subdivision Applications</u>					
20 Certificate of Land Division Compliance - with Waiver of Final Parcel Map	Deposit	\$209	\$506	\$0	142%
21 Lot Line Adjustment	Deposit	\$409	\$778	\$0	90%
22 Reversion to Acreage	Deposit	\$796	\$5,000	\$0	528%
23 Amendment to Final Parcel Map	Deposit	\$3,343	\$5,000	\$0	50%
24 Amendment to Tentative Parcel Map	Deposit	\$1,197	\$5,000	\$0	318%

City of Eastvale

Planning

FY 2012/13

Service Name	Fee Description	Current	Recommendations		
		Per Unit	Per Unit		
		Current Initial Deposit	Proposed Initial Deposit	Recommended Subsidy	% Change
25 Tentative Parcel Map	Deposit	\$5,659	\$15,000	\$0	165%
26 Vesting Tentative Parcel Map	Deposit	\$8,125	\$8,125	\$0	0%
27 Amendment to Final Tract Map	Deposit	\$3,537	\$5,000	\$0	41%
28 Amendment to Tentative Tract Map	Deposit	\$6,664	\$12,500	\$0	88%
29 Expired Recordable Tract Map	Deposit	\$2,337	\$2,337	\$0	0%
30 Tentative Tract Map	Deposit	\$9,209	\$22,661	\$0	146%
31 Vesting Tentative Tract Map	Deposit	\$8,840	\$8,840	\$0	n/a
<u>Environmental Review</u>					
32 CA Fish & Game Fee - Negative Declaration/EIR	Fixed	see Planning	see Planning	\$0	n/a
33 Environmental Impact Report	Deposit	\$1,936	contract + 18%	\$0	n/a
34 Initial Study/ Mitigated Neg Dec	Deposit	\$2,416	\$16,621	\$0	588%
<u>Other Applications</u>					
Agricultural Preserve - Disestablishment/ Diminishment of Ag. Preserve (Applicant initiated)	Deposit	\$1,550	\$1,550	\$0	0%
36 Agricultural Preserve - Disestablishment/ Diminishment of Ag. Preserve (Council initiated)	no charge	no charge	no charge	\$0	n/a
37 Agricultural Preserve - Establish Williamson Act Contract within Established Ag. Preserve	Deposit	\$138	\$138	\$0	0%
38 Agricultural Preserve - Establishment/Enlargement of Ag. Preserve (Applicant Initiated)	Deposit	\$1,640	\$1,640	\$0	0%
39 Agricultural Preserve - Establishment/Enlargement of Ag. Preserve (Council Initiated)	Deposit	\$147	\$147	\$0	0%
40 Agricultural Preserve - Notice of Nonrenewal	Deposit	\$252	\$252	\$0	0%
<u>Planning Services - General</u>					
41 Assistant Planner	Hourly Rate	\$172	\$102	\$0	-41%
42 Associate Biologist/Ecologist	Hourly Rate	\$181	\$108	\$0	-40%
43 Associate Planner	Hourly Rate	\$172	\$121	\$0	-30%
44 Graphic Designer II	Hourly Rate	\$94	\$102	\$0	9%
45 Landscape Architect	Hourly Rate	\$184	\$146	\$0	-21%
46 Planning Director	Hourly Rate	\$206	\$172	\$0	-17%
47 Planning Technician	Hourly Rate	\$66	\$70	\$0	6%

City of Eastvale

Planning

FY 2012/13

		Current	Recommendations		
		Per Unit	Per Unit		
Service Name	Fee Description	Current Initial Deposit	Proposed Initial Deposit	Recommended Subsidy	% Change
48 Senior Biologist	Hourly Rate	\$181	\$146	\$0	-19%
49 Senior Planner I	Hourly Rate	\$184	\$134	\$0	-27%
50 Senior Planner II	Hourly Rate	\$206	\$159	\$0	-23%

Footnotes:

Submittals of multiple applications must be accompanied by funds sufficient to cover each application deposit.

The current initial deposits were inherited from the County. These initial deposits were set artificially low and typically result in additional requests for funding from the developer. The proposed initial deposits reflect a recommendation to collect an amount equal to the average cost of processing each application.

Police

User Fee Study Summary Sheet

City of Eastvale

Police

FY 2012/13

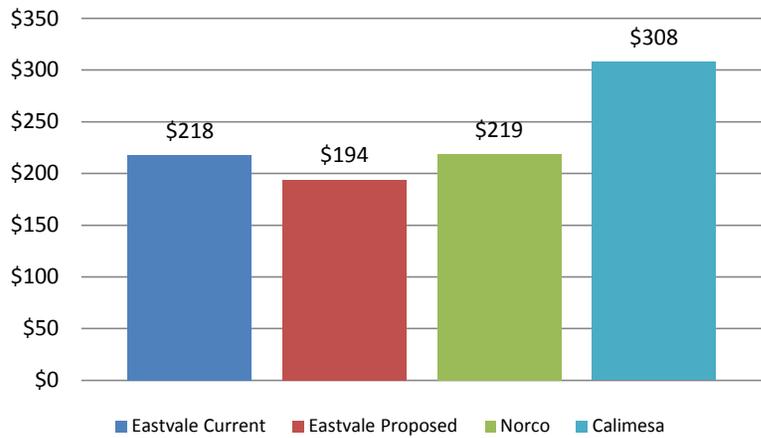
		Current	Recommendation		
		<i>Per Unit</i>	<i>Per Unit</i>		
Service Name	Fee Description	Current Fee	Proposed Fee	Recommended Subsidy of Full Cost	% Change
1 DUI Incident Response Fee	New		\$649	\$0	
2 Towed Vehicle Release Fee	Fixed	\$92.00	\$151	\$0	64%

Total User Fees

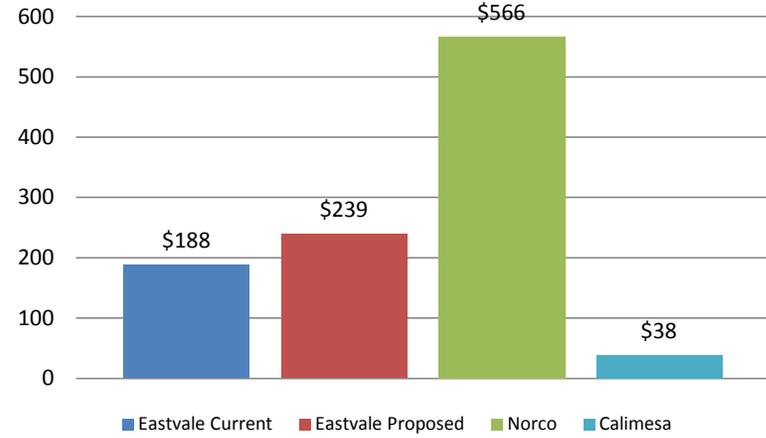
% of Full Cost

Comparison Analysis

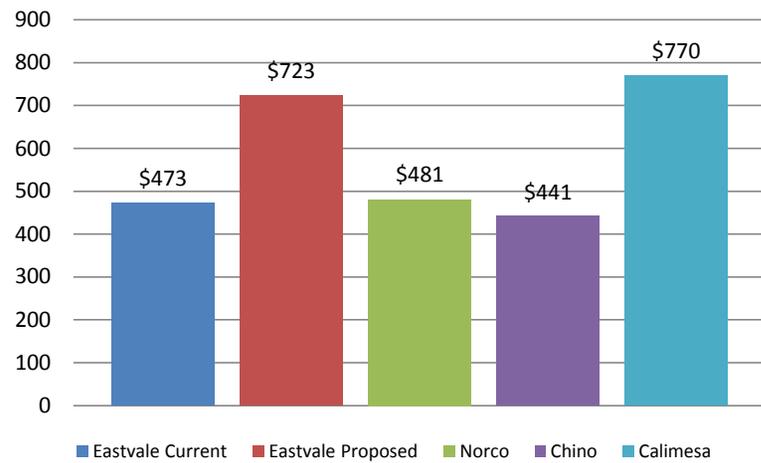
Demolition Permit



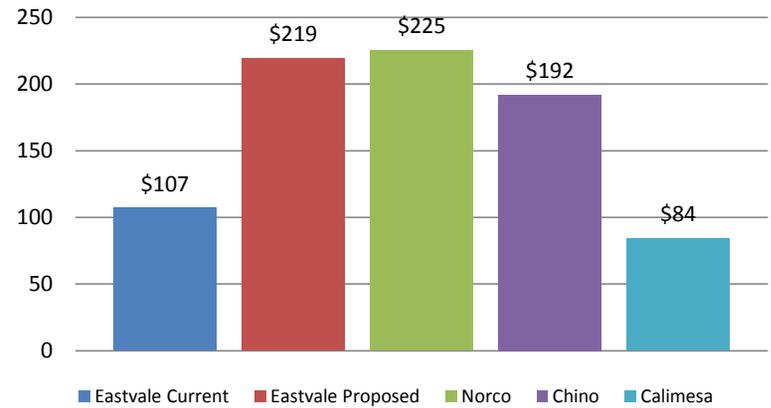
Certificate of Occupancy



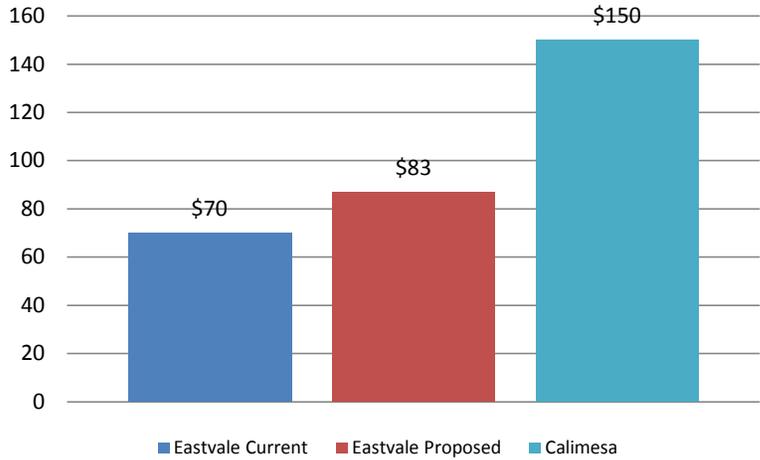
Pool



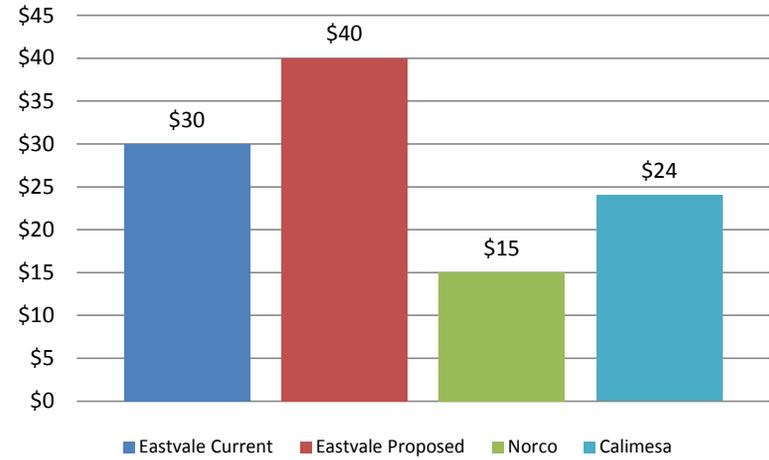
Encroachment - Residential Driveway



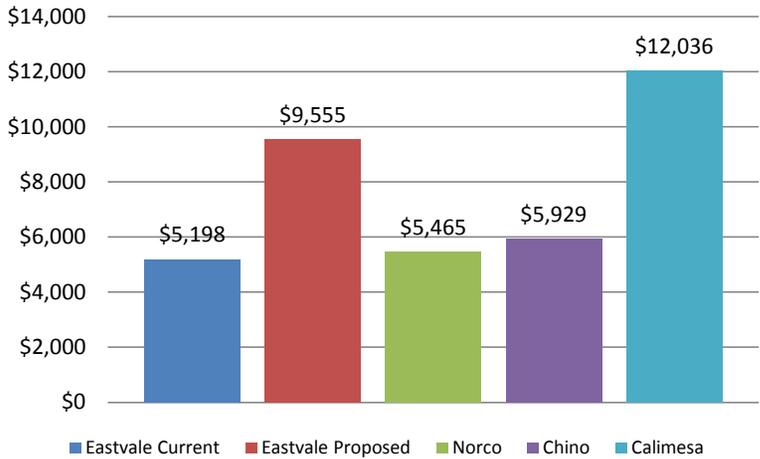
Vacant Property Registration



Business License Admin - Renewal



Major Development Review



Conditional Use Permit

