



# CITY OF EASTVALE

**The March 18, 2020 City of Eastvale Planning Commission Meeting will be conducted pursuant to the provisions of the Governor's Executive Order N-25-20**

The City of Eastvale encourages your participation in the upcoming Planning Commission meeting; however, in order to minimize the spread of the COVID-19 virus, **City Hall Council Chambers will be closed to the public.** Please see the instructions below on how to participate via GoTo Webinar:

1. You are strongly encouraged to participate in the meeting live by joining a GoTo Webinar platform. Access to this platform may found at: <http://bit.ly/2QnBuK2>

If you are unable to participate online, please feel free to call in at:

Phone: (646) 558-2166  
Audio Access Code: 258-418-091

A recording of the meeting will be available within 24 hours of adjournment at:

<https://www.eastvaleca.gov/government/commissions/planning-commission/agendas-minutes-recordings>

2. If you wish to make a public comment and/or a comment on a specific agenda item, please submit your comment via email by **5:00 P.M. on Wednesday, March 18, 2020** to the Planning Manager at [jkillebrew@eastvale.gov](mailto:jkillebrew@eastvale.gov). Comments read will be timed and limited to 3 minutes. Your comments will be distributed to the Planning Commission and every effort will be made to read your comment into the record, but some comments may not be read due to time limitations.

**The City of Eastvale thanks you in advance for taking all precautions to prevent spreading the COVID 19 virus.**



# CITY OF EASTVALE

## PLANNING COMMISSION MEETING AGENDA

Eastvale City Hall Council Chambers  
12363 Limonite Avenue, Suite 900, Eastvale, CA 91752

Wednesday, March 18, 2020  
Regular Meeting: 6:00 P.M.

### Planning Commissioners

Josh Lee, Chair

Andrea Hove, Vice-Chair

Daryl Charlson, Commissioner

Houston Laney, Commissioner

Larry Oblea, Commissioner

This Agenda contains a brief general description of each item to be considered. Except as otherwise provided by law, no action or direction shall be taken on any item not appearing on the following Agenda. Unless legally privileged, all supporting documents, including staff reports, and any writings or documents provided to a majority of the Planning Commission after the posting of this agenda are available for review at Eastvale City Hall, 12363 Limonite Avenue, Eastvale, CA 91752 or you may contact the City Clerk's Office, at (951) 361-0900 Monday through Thursday from 7:30 a.m. to 5:30 p.m. and available online at [www.eastvaleca.gov](http://www.eastvaleca.gov).

*If you wish to speak before the Planning Commission, please complete a Speaker Form identifying which item(s) you wish to address. Please return the completed form to the City Clerk prior to being heard before the Planning Commission. Speaker Forms are available at the front table of the entryway to the Council Chambers*



In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, you should contact the City Clerk's Office at (951) 361-0900.

Regular meetings are recorded and made available on the City's website at [www.eastvaleca.gov](http://www.eastvaleca.gov). Meeting recordings are uploaded to the City's website within 24 hours (unless otherwise noted) after the completion of the meeting.

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. PUBLIC COMMENT

Any member of the public may address the Commission on items within the Commission's subject matter jurisdiction, but which are not listed on this agenda during PUBLIC COMMENTS. However, no action may be taken on matters that are not part of the posted agenda. We request comments made on the agenda be made at the time the item is considered and that comments be limited to three minutes per person with a maximum of six minutes (time may be donated by one person). Please address your comments to the Commission and do not engaged in dialogue with individual Commissioners, City staff, or members of the audience. Blue speaker forms are available at the front table to the entrance of Council Chambers.

**5. ADDITIONS/REVISIONS**

The Planning Commission may only add an item to the Agenda after making a finding that there is a need to take immediate action on the item and that the item came to the attention of the agency subsequent to the posting of the agenda. An action adding an item to the agenda requires 2/3 vote of the Commission. If there is less than 2/3 of the Commissioners present, adding an item to the agenda requires a unanimous vote. Added items will be placed for discussion at the end of each section unless otherwise noted.

**6. CONSENT CALENDAR**

Consent Calendar items are normally enacted in one motion. The Chair or Commission may remove a Consent Calendar item for separate action. If a member of the public would like to speak on a Consent Calendar item, please complete a blue "Public Comment Form" and submit to the City Clerk prior to the item.

**6.1 Planning Commission Minutes**

Submitted by: Jessica Cooper, Deputy City Clerk

RECOMMENDED ACTION(S):

Approve the minutes from the regular meeting held on February 19, 2020.

**6.2 Communications Monthly Summary**

Submitted by: Bobbi Hawkins, Communications Specialist

RECOMMENDED ACTION(S):

Receive and file the Communications Monthly Summary.

**6.3 Eastvale Connection**

Submitted by: Bobbi Hawkins, Communications Specialist

RECOMMENDED ACTION(S):

Receive and file the Eastvale Connection.

**6.4 Planning Department Update**

Submitted by: Gina Gibson-Williams, Community Development Director

RECOMMENDED ACTION(S):

Receive and file the Planning Department Update.

**6.5 Public Works Department Update**

Submitted by: Gina Gibson-Williams, Community Development Director

RECOMMENDED ACTION(S):

Receive and file the Public Works Department Update.

**7. PRESENTATIONS**

**7.1 Introduction of New Planning Manager Jason Killebrew**

**8. PUBLIC HEARINGS**

The public is encouraged to express your views on any matter set for public hearing. It is our procedure to first receive the staff report, then to ask for public testimony, first from those in favor of the project followed by testimony from those in opposition to it, and if there is opposition, to allow those in favor, rebuttal testimony only as to the points brought up in opposition. To testify on the matter, you need to simply come forward to the speaker’s podium at the appropriate time, give your name and address and make your statement. After a hearing is closed, you may not further speak on the matter unless requested to do so or are asked questions by the Chair or a Member of the Commission. Public comment is limited to three (3) minutes each with a maximum of six (6) minutes (time may be donated by one speaker.)

- 8.1 [PLN 19-20026 – A Request for a Change of Zone, Major Development Review, Variance, Tentative Parcel Map, and A Lot Line Adjustment for the Development of a 1,055,542 Square Foot Industrial Center \(The Homestead\), and Consideration of Environmental Impact Report and Statement of Overriding Considerations. Applicant: Ray Polverini on behalf of Homestead LLC](#)**  
Submitted by: Gina Gibson-Williams, Community Development Director

RECOMMENDED ACTION(S):

1. Adopt a resolution recommending that the City Council certify the Environmental Impact Report (EIR) and adopt a statement of overriding considerations for PLN 19-20026 The Homestead project; and
2. Adopt a resolution recommending that the City Council approve PLN 19-20026, with all associated entitlements, based on the findings and conclusions of this report and subject to the attached conditions of approval.

**9. COMMISSION BUSINESS**

- 9.1 [PLN15-0958 – One-Year Review of the Drive-Through Operation at Pad 1 \(El Pollo Loco\) in the Eastvale Marketplace](#)**  
Submitted by: Gina Gibson-Williams, Community Development Director

RECOMMENDED ACTION(S):

Determine that no changes to the Conditions of Approval are needed for the El Pollo Loco drive-through operation.

- 9.2 [Tract 30817 Lots 272 & 273 - Dedication of Right-of-Way](#)**  
Submitted by: Gina Gibson-Williams, Community Development Director

RECOMMENDED ACTION(S):

1. Make a determination for General Plan consistency for acceptance of Open Space Lot 272 and the acceptance of Open Space Lot 273.
2. Review and provide comments related to the acquisition of Open Space Lot 272 and the acquisition of Open Space Lot 273.

**10. CITY STAFF REPORT**

**11. COMMISSION COMMUNICATIONS**

**ADJOURNMENT** – The next regular meeting of the Eastvale Planning Commission is scheduled for Wednesday, April 15, 2020, at 6:00 p.m. at Eastvale City Hall Council Chambers, 12363 Limonite Avenue, Suite 900, Eastvale, CA 91752.

**AFFIDAVIT OF POSTING**

I hereby certify under penalty of perjury under the laws of the State of California, that the foregoing Agenda was posted at the following locations: City Hall, 12363 Limonite Avenue, Suite 910 and website of the City of Eastvale ([www.eastvaleca.gov](http://www.eastvaleca.gov).) not less than 72 hours prior to the meeting. Dated this 12<sup>th</sup> day of March 2020.

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Jessica Cooper, CMC  
Deputy City Clerk

# MINUTES CITY OF EASTVALE

Planning Commission Regular Meeting  
Wednesday, February 19, 2020  
6:00 P.M.

Eastvale City Council Chambers  
12363 Limonite Avenue, Suite 900  
Eastvale, CA 91752

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## 1. CALL TO ORDER

A regular meeting of the Eastvale Planning Commission was called to order on February 19, 2020, at 6:01 p.m. by Chair Lee.

## 2. ROLL CALL

**Present:** Commissioners Charlson, Laney, Oblea, Vice-Chair Hove, and Chair Lee.

### City Staff

**Present:** Community Development Director Gibson-Williams, Assistant City Attorney Herrington, Community Enhancement and Safety Manager Terfehr and Deputy City Clerk Cooper were present at Roll Call. Other staff members were present and responded to questions.

## 3. PLEDGE OF ALLEGIANCE

Commissioner Laney led the assembly in the Pledge of Allegiance to our Flag.

## 4. PUBLIC COMMENT

Chair Lee opened the public comment portion of the meeting. Hearing no response, Chair Lee closed the public comment portion of the meeting.

## 5. ADDITIONS/REVISIONS TO THE AGENDA

Community Development Director Gibson-Williams noted that Item 9.1 was mistakenly included in the agenda packet twice.

## 6. CONSENT CALENDAR

On motion of Commissioner Charlson and second by Commissioner Laney, the Planning Commission voted unanimously to approve the consent calendar.

**6.1 Planning Commission Minutes**

Approve the minutes from the Regular Meeting held on January 15, 2020.

**6.2 Communications Monthly Summary**

Receive and file the Communications Monthly Summary.

**6.3 Eastvale Connection**

Receive and file the Eastvale Connection.

**6.4 Planning Department Update**

Receive and file the Planning Department Update with the amended update.

**6.5 Public Works Department Update**

Receive and file the Public Works Department Update.

**7. PRESENTATIONS**

No items.

**8. PUBLIC HEARINGS**

**8.1 Variance 20-001 – A Request by Public Storage to Construct a Monument Sign on Archibald Avenue and Vary from the Sign Requirements in Section 120.05.070.d of the Eastvale Municipal Code**

Community Development Director Gibson-Williams made a presentation and responded to Commission inquiries.

Chair Lee opened the public comment period.

The following individual(s) provided public comment.

Curtis Gibson, Project Owner

With no one else desiring to speak on this item, Chair Lee closed the public comment period.

The Planning Commission discussed the item and staff answered related questions.

On motion of Commissioner Laney and second by Vice-Chair Hove, the Planning Commission voted 4-1 (with Commissioner Oblea voting no) to approve VAR 20-001 to construct a monument sign on Archibald Avenue for a Public Storage facility and vary from the sign requirements in Section 120.05.070.d of the Eastvale Municipal Code.

**8.2 PLN19-20064 – Major Development Plan Review and Conditional Use Permit to Construct a Multi-Tenant Retail Building with a Drive-Through Restaurant at The Goodman Commerce Center Commercial Retail (CR) Area 6**

Contract Planner Lim made a presentation and responded to Commission inquiries.

Chair Lee opened the public comment period.

The following individual(s) provided public comment.

1. Ike Bootsma, Eastvale Resident
2. Michael O'Connor, Eastvale Resident

With no one else desiring to speak on this item, Chair Lee closed the public comment period.

The Planning Commission discussed the item and staff answered related questions.

On motion of Commissioner Oblea and second by Commissioner Charlson, the Planning Commission voted unanimously to:

1. Approve PLN19-20064 Major Development Review for a 4,800 square foot multi-tenant retail building; and
2. Approve Conditional Use Permit PLN19-20064 to allow the operation of a single-lane drive-through, subject to conditions of approval, including the addition of crosswalks.

**8.3 PLN19-20063 – Major Development Plan Review and Conditional Use Permit to Construct a Bank with a Drive-Through ATM at The Goodman Commerce Center Commercial Retail (CR) Area 8**

Contract Planner Lim made a presentation and responded to Commission inquiries.

Chair Lee opened the public comment period.

The following individual(s) provided public comment.

Ike Bootsma, Eastvale Resident

With no one else desiring to speak on this item, Chair Lee closed the public comment period.

The Planning Commission discussed the item and staff answered related questions.

On motion of Commissioner Oblea and second by Commissioner Laney, the Planning

Commission voted unanimously to:

1. Approve PLN19-20063 Major Development Plan Review for a 5,000 square foot credit union; and
2. Approve Conditional Use Permit PLN19-20063 to allow the operation of a single-lane drive-through ATM, subject to conditions of approval, including the addition to enhance the west elevation to look the east elevation.

**8.4 PLN19-20035 – A Major Development Review for the Construction of an Approximately 61,000 Square Foot Industrial Building in Planning Area 6 of The Ranch Specific Plan Located at the Southeast Corner of Taylor Way and Limonite Avenue**

Contract Planner Lobliner made a presentation and responded to Commission inquiries.

Chair Lee opened the public comment period.

The following individual(s) provided public comment.

Ike Bootsma, Eastvale Resident

Chair Lee closed the public comment period.

On motion of Commissioner Charlson and Commissioner Oblea, the Planning Commission voted unanimously to approve Application Number PLN19-20035 for a Major Development Review for the construction of an approximately 61,000 square foot industrial building.

**8.5 PLN19-20049-50 – A Major Development Review for the Construction of a 10,500 Square Foot Retail Building, and a Conditional Use Permits for the Operation of a Drive Thru at The Merge Industrial Retail Center**

Contract Planner Lobliner made a presentation and responded to Commission inquiries.

Chair Lee opened the public comment period.

The following individual(s) provided public comment.

1. Ike Bootsma, Eastvale Resident
2. Michael O'Connor, Eastvale Resident

Chair Lee closed the public comment period.

The Planning Commission discussed the item and staff answered related questions.

On motion of Commissioner Laney and second by Commissioner Oblea, the Planning Commission voted unanimously to approve Application Number PLN19-20049-50 for a Major Development Review for the construction of a 10,500 square foot retail building and a Conditional Use Permit for the operation of a drive thru at The Merge Industrial and Retail Center, with included language to address the eastern elevation of the bank ATM in the Resolution.

**8.6 AMENDMENT 20-0001: A Resolution of the Planning Commission Recommending Approval of an Amendment to Section 120.04.010 of the Eastvale Municipal Code as it Pertains to Accessory Dwelling Units**

Community Development Director Gibson-Williams made a presentation and responded to Commission inquiries.

Chair Lee opened the public comment period.

The following individual(s) provided public comment.

1. Michael O'Connor, Eastvale Resident
2. Keith White, Eastvale Resident

With no one else desiring to speak on this item, Chair Lee closed the public comment period.

The Planning Commission discussed the item and staff answered related questions.

On motion of Commissioner Charlson and second by Chair Lee, the Planning Commission voted 4-1 (with Vice-Chair Hove voting no) to recommend approval to the City Council for Development Code Amendment 20-001: "A Resolution of the Planning Commission recommending approval of an Amendment to Section 120.01.010 of the Eastvale Municipal Code as it pertains to accessory dwelling units."

**9. COMMISSION BUSINESS**

**9.1 Limonite Gap Closure Project Bridge Aesthetics/Geometrics Review**

Representatives from Mark Thomas, the applicant, presented a PowerPoint presentation and responded to Commission inquiries.

Chair Lee opened the public comment period.

The following individual(s) provided public comment.

1. Ike Bootsma, Eastvale Resident
2. Michael O'Connor, Eastvale Resident

With no one else desiring to speak on this item, Chair Lee closed the public comment period.

The Planning Commission reviewed and provided comments related to the vehicular and pedestrian bridge aesthetics and geometrics for the Limonite Gap Closure Project.

## **9.2 State Senate Bill 743 (SB743) Implementation Educational Presentation**

Contractor Tom Mericle made a presentation and responded to Commission inquiries.

Chair Lee opened the public comment period.

The following individual(s) provided public comment.

Keith White, Eastvale Resident

Chair Lee closed the public comment period.

The Planning Commission discussed the item and staff answered related questions.

By consensus, the Planning Commission received and filed the presentation.

## **10. CITY STAFF REPORT**

Community Development Director Gibson-Williams provided an update on upcoming City events.

## **11. COMMISSION COMMUNICATIONS**

Commissioner Laney provided comments.

**ADJOURNMENT** – Chair Lee adjourned the meeting at 9:17 p.m. The next regular meeting of the Eastvale Planning Commission is scheduled for Wednesday, March 18, 2020 at 6:00 p.m.

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Jessica Cooper, CMC  
Deputy City Clerk



## AGENDA STAFF REPORT

Planning Commission Meeting

Consent Calendar

Agenda Item No. 6.2

March 18, 2020

## Communications Monthly Summary

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**Prepared By:** Bobbi Hawkins, Communications Specialist

### Recommended Action(s)

Receive and file the Communications Monthly Summary.

### Summary

The City of Eastvale's Communications Team works to provide important and valuable information to the community to ensure the community is kept up to date with City occurrences. This information is disseminated through various platforms including the City's website, social media platforms, and coordinated media releases. A monthly summary is provided to capture the avenues of outreach that is taken to inform the residents of Eastvale.

### Background

The City of Eastvale provides information to constituents through the City's website, social media and press releases. The City's website, contains information pertaining to City Council and Commission agendas, minutes, community events, crime prevention, safety tips, frequently asked questions and more. By visiting the City's website, residents can also subscribe to Eastvale's e-notification system. E-notification is a free service provided by City Hall, where subscribers can select the types of notifications they would like to receive by email. Links are also available to the City's Facebook, Twitter, Instagram and LinkedIn accounts. Additionally, the City collaborates with our partner agencies to coordinate press releases that are disseminated using the above networks.

**Strategic Plan Action – Priority Level: N/A | Target #: N/A | Goal #: N/A**

Not Applicable.

**Fiscal Impact**

None.

**Prior City Council/Commission Action**

None.

**Attachment(s)**

Social Media Report of Outreach & Engagement

# Social Media Report of Outreach & Engagement



## Planning Commission Meeting - March 18, 2020

### Aggregate overview



**26,863**  
Audience



**6,775**  
Engagements



**60,600**  
Impressions

### Aggregate audience

**26,863**

Total audience of all social accounts



**58%**  
Facebook



**30%**  
Instagram



**12%**  
Twitter

### Aggregate engagements

**6,775**

Total engagements of all social accounts



**96%**  
Facebook



**4%**  
Instagram



**0%**  
Twitter

### Aggregate impressions

**60,600**

Total impressions of all social accounts



**82%**  
Facebook



**17%**  
Instagram



**1%**  
Twitter



March 2020

# EASTVALE CONNECTION

## PUBLIC MEETING SCHEDULE

**5th Annual**  
**MARY KAY FOUNDATION'S MK5K**  
Celebrate MK & Half Marathon on April 25, 2020

**HALF MARATHON • 5K • 1 MILE KIDS' RUN**

**run WALK for the cause**

- Flat & fast course
- Scenic venue & trail
- FREE t-shirt
- FREE raffle ticket
- Finishers medal
- Age category awards
- FREE parking
- 100 Mile credit for kids
- Fun DJ in the Village
- Freebies & giveaways
- Stroller friendly
- Pink Cadillacs mark the course
- Benefits The Mary Kay Foundation™
- End cancers affecting women & domestic abuse... sign up now & join the cause!

www.MK5K.com @MK5Ksocial

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SAVE 10% USE CODE: FLYER

### EASTVALE CITY COUNCIL

Wednesday, March 25, 2020 @ 6:30 p.m.

### EASTVALE PLANNING COMMISSION

Wednesday, April 15, 2020 @ 6:00 p.m.

### EASTVALE PUBLIC SAFETY COMMISSION

Tuesday, March 24, 2020 @ 6:00 p.m.

### EASTVALE PARKS COMMISSION\*

No Scheduled Meeting this Month

Meetings are held at: Eastvale Council Chambers | 12363 Limonite Ave. Suite 900

\*Parks Commission meetings are held at: Eastvale Community Center

## UPCOMING EVENTS

March 21, 2020: US Passport Day

March 21, 2020: CNUSD Festival of Arts

April 18, 2020: Residential Clean-Up and Paper Shredding Event

April 25, 2020: Mary Kay Foundation's MK5K

## Stay Connected!



12363 Limonite Ave. Ste. 910  
Eastvale, CA 91752

T: (951) 361-0900

F: (951) 685-1225

E: info@EastvaleCA.gov



## AGENDA STAFF REPORT

Planning Commission Meeting

Consent Calendar

Agenda Item No. 6.4

March 18, 2020

## Planning Department Update

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**Prepared By:** Gina Gibson-Williams, Community Development Director

### Recommended Action(s)

That the Planning Commission receive and file the Planning Department Update

### Summary

Planning projects are provided in the attached Planning Project Status list. The list provides a brief summary and status of each project. New information is highlighted in yellow. A map identifying the locations of each project is also included.

**Strategic Plan Action – Priority Level: N/A | Target #: N/A | Goal #: N/A**

Not Applicable.

### Fiscal Impact

Not Applicable.

### Prior City Council/Commission Action

Not Applicable.

### Attachment(s)

Planning Project Status List and Map



# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

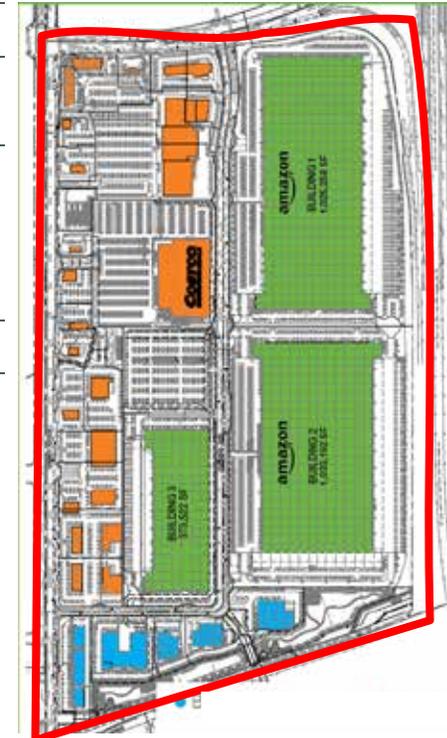
March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 1

<b>Project:</b>	Goodman Commerce Center (formally Lewis Eastvale Commerce Center)
<b>Project No.</b>	11-0271 **see related projects below
<b>Project Location:</b>	190 acres +/- fronting on Hamner Ave. north of Bellegrave Ave. and south of Cantu-Galleano Ranch Road
<b>Project Description:</b>	General Plan Amendment, Change of Zone, and Specific Plan to provide a mix of warehousing, light industrial, office, and retail uses. Major Development Review for the development of two industrial buildings of approximately 1,007,705 square feet and 1,033,192 square feet. CEQA: Environmental Impact Report (certified)
<b>Planner:</b>	Aaron Lobliner

Project Map:



**Notes:**

- Approved by City Council on November 12, 2014
- See the following projects for more recent activity at the Goodman Commerce Center Development:
  - § Map ID #8: Project No. PLN16-00028: Retail Center CR-4 and CR-5 pads
  - § Map ID #12: Project No. PLN17-20033: Retail Building CR-3 – Starbucks & other tenants
  - § Map ID #16: Project No. PLN18-20014: Retail Building CR-12 – Quick Quack Carwash
  - § Map ID #23: Project No. PLN18-20042: Retail Building CR-11 – Multi-Tenant
  - § Map ID #27: Project No. PLN19-20006: Retail Building CR-10- Chick-fil-A
  - § Map ID #45: Project No. PLN 19-20063 Retail Building CR-8 – Altura Credit Union
  - § Map ID #46: Project No. PLN 19-20064 Retail Building CR-6 – Meet Fresh

Current Status:

- § Approved.
- § Various buildings complete, operating and under construction.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

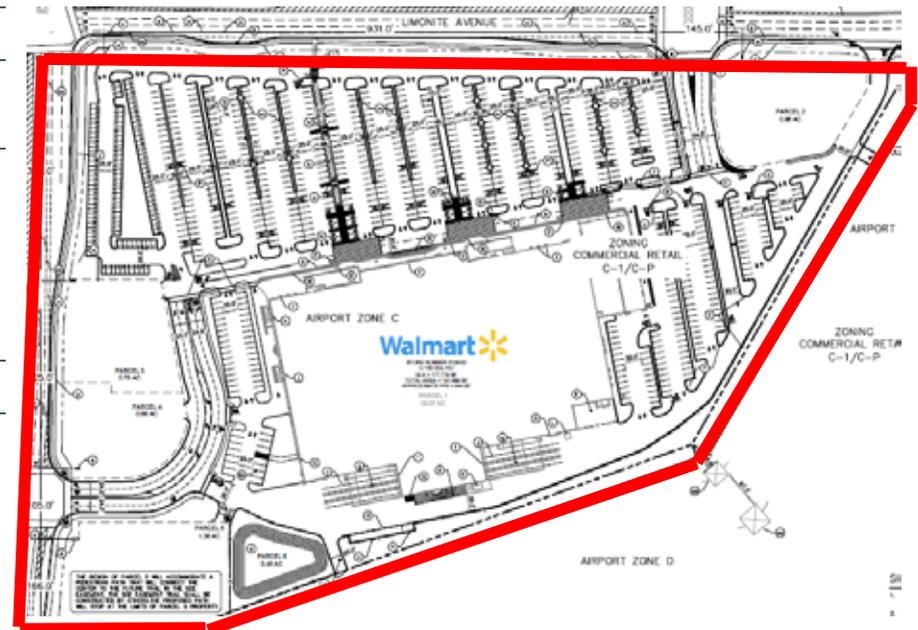
Map ID: 2

<b>Project:</b>	Walmart – Eastvale Crossings
<b>Project No.</b>	12-0051
<b>Project Location:</b>	Southeast corner of Limonite and Archibald Avenues (APN 144-030-039)
<b>Project Description:</b>	General Plan Amendment, Change of Zone, Major Development Review, five Conditional Use Permits, Tentative Tract Map No. 35061, and Variance for the development of a 177,000 +/- sq. ft. retail store and several outparcels on 24.78 acres.  CEQA: Environmental Impact Report (certified)
<b>Planner:</b>	Aaron Lobliner

## Notes:

- § City Council approval on April 26, 2017.
- § Project was reviewed by the Riverside County Airport Land Use Commission and received a conditional finding of conformance with the Chino Airport Land Use Compatibility Plan.
- § Public review of DEIR available from September 27 to November 17, 2016.
- § On March 15, 2017, the Planning Commission reviewed and recommended approval of the project to City Council.
- § City Council public hearing on April 12, 2017, with a staff recommendation to continue the hearing to April 26, 2017.
- § City Council approval on April 26, 2017. Notice of Determination recorded on April 27, 2017.

## Project Map:



## Current Status:

- § Approved.
- § Waiting for applicant to submit construction plans.
- § Scheduled for January 15, 2020 Planning Commission consideration for Tentative Tract Map – Extension of Time (PLN19-20052)
- § Extension of Time (PLN19-20052) has been approved by the Planning Commission on 1/15/2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 3

<b>Project:</b>	The Campus (former Providence Business Park)
<b>Project No.</b>	12-0750
<b>Project Location:</b>	West of Archibald Avenue and approximately 750 ft. south of Limonite Avenue (APNs 144-010-002, -033, -037 & -038)
<b>Project Description:</b>	Change of Zone, Major Development Review, and Tentative Parcel Map for the development of a business park consisting of 11 new industrial buildings ranging from 12,850 square feet to 129,000 square feet (totaling approximately 694,770 square feet), one 2-story office building of 33,600 square feet, and two retail buildings totaling 10,600 square feet on 53.37 gross acres of vacant land (former Bircher's site).  CEQA: EIR Addendum
<b>Planner:</b>	Aaron Lobliner

## Notes:

- Approved by City Council on April 9, 2014
- All industrial buildings are built and occupied.
- See the following projects for more recent activity at The Campus (former Providence Business Park) Development:
  - § Map ID# 26: PLN19-20001 The Campus Self-Storage Facility DR, CUP
  - § Map ID# 28: PLN19-20008 The Campus 7-Eleven DR, CUP
- Front land abutting Archibald has been entitled with The Campus Self-Storage and The Campus 7-Eleven.

## Project Map:



## Current Status:

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

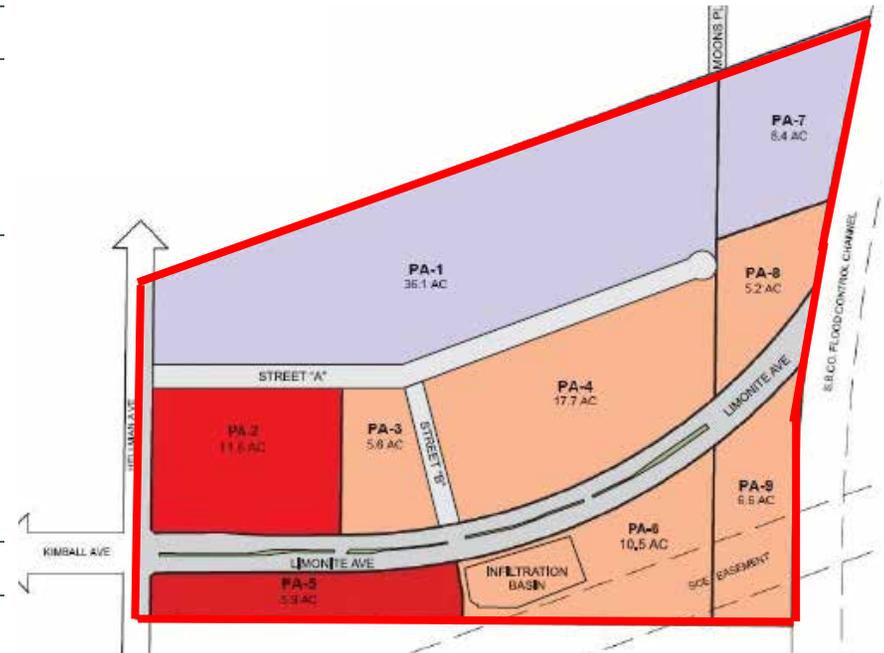
March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

**Map ID: 4**

<b>Project:</b>	The Ranch
<b>Project No.:</b>	15-0783
<b>Project Location:</b>	Northeast and southeast corners of Hellman and future Limonite (Kimball) Avenues, west of Cucamonga Creek Channel. Moons Site (APNs: 144-010-008-0, 144-101-013-4) and Rodriguez Site (APN: 144-010-009-1)
<b>Project Description:</b>	<ul style="list-style-type: none"> <li>Specific Plan Amendment to modify boundaries for Planning Areas 1 through 6, land use designation for Planning Area 5, and revisions to allowable uses. No revisions to Planning Areas 7 through 9.</li> <li>Major Development Review for six (6) industrial buildings totaling 985,000 square feet on six (6) parcels.</li> <li>Tentative Parcel Map No. 36787 to subdivide approximately 97 gross acres into 14 legal parcels.</li> </ul> CEQA: EIR Addendum
<b>Planner:</b>	Aaron Lobliner

**Project Map**



- Notes:**
- Approved by City Council on December 9, 2015.
  - February 19, 2016, a new owner purchased the six (6) industrial lots.
  - Monument Sign approved on February 1, 2018.
  - See the following projects for more recent activity at The Ranch:
    - § Map ID# 15: Project No. PLN18-20007: Eastvale 88,000 square-foot Warehouse building in Planning Area 3.
    - § Map ID #24: Project No. PLN18-20050: Howard Industrial -Major Development Review, Tentative Map for Planning Areas 7, 8 and 9.
    - § Map ID #36: Project No. PLN19-20034: Transwestern – Major Development Review, Amendment to Tentative Parcel Map for Planning Areas 7, 8, and 9.
    - § Map ID #37: Project No. PLN19-20035: Summit Development – Major Development Review for Planning Area 6.

**Current Status:**

- § Approved.
- § Continue discussing potential development for commercial portion.
- § Construction of six industrial/warehouse buildings are completed.
- § Final Cancellation of the Williamson Act Contract for the Rodriguez Site scheduled for City Council meeting on July 24, 2019

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 5

<b>Project:</b>	Leal Master Plan
<b>Project No.</b>	Special Project
<b>Project Location:</b>	160 acres ± at the northwest corner of Hamner and Limonite Avenue, east of Scholar Way, and south of 58th Street.
<b>Project Description:</b>	This Master Plan describes the community's vision for the project area, identifies appropriate land uses, and includes the development standards that are necessary to achieve the vision, defines the character of the project's development, lists the steps involved with the development process, and provides the project's implementation plan.  CEQA: EIR
<b>Planner:</b>	Gina Gibson-Williams/Aaron Lobliner

**Project Map:**



- Notes:**
- In September 16, 2016, the Planning Commission reviewed and recommended approval to City Council. May 2017 – City has been asked by property owner's representative to postpone action on the project while issues related to the estate of Brad Leal are resolved August 30, 2017 – City met with Leal family and prospective developer to discuss processing and timing.
  - City Council Approved Master Plan and Final Environmental Impact Report on December 13, 2017.

**Current Status:**

- § Adopted by City Council on December 13, 2017.
- § Staff continues to coordinate with the property owners as they seek a developer(s) for the site.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

## Map ID: 6

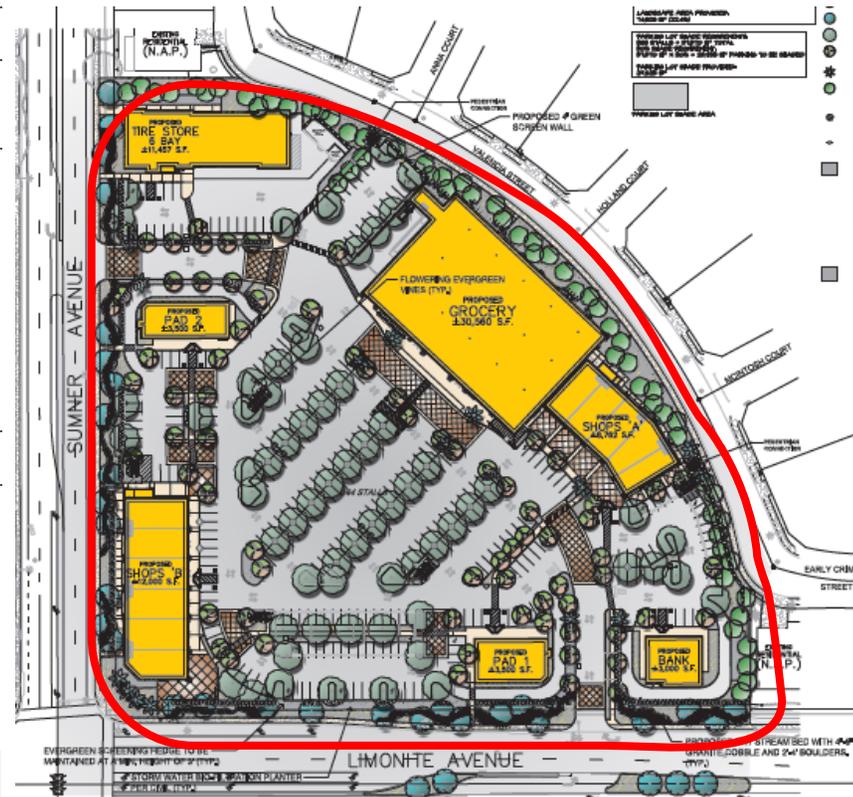
<b>Project:</b>	Eastvale Marketplace
<b>Project No.:</b>	15-0958
<b>Project Location:</b>	Northeast corner of Limonite and Sumner Avenue (APNs 164-030-019)
<b>Project Description:</b>	Major Development Review for the development of a new neighborhood retail center with multi-tenant and single tenant buildings totaling 72,779 sq. ft. on 7.64 acres, Conditional Use Permits for the operation of three drive-through facilities and a tire store, and Conditional Use Permit for the sales of alcohol in the grocery store. CEQA: Mitigated Negative Declaration
<b>Planner:</b>	Aaron Lobliner

**Notes:**

- See the following projects for more activities at Eastvale Marketplace:
  - § Map ID #30: Project PLN19-20018: Big Wok Alcohol CUP
- Vines along the back of Smart & Final and trees along the pedestrian walkway in the parking lot have been installed.
- Benches and potted plants have been added to the patio area east of Smart & Final.
- The multi-tenant building on the corner of Sumner and Limonite ("Shops B") are under new ownership.



**Project Map:**



**Current Status:**

§ Approved.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

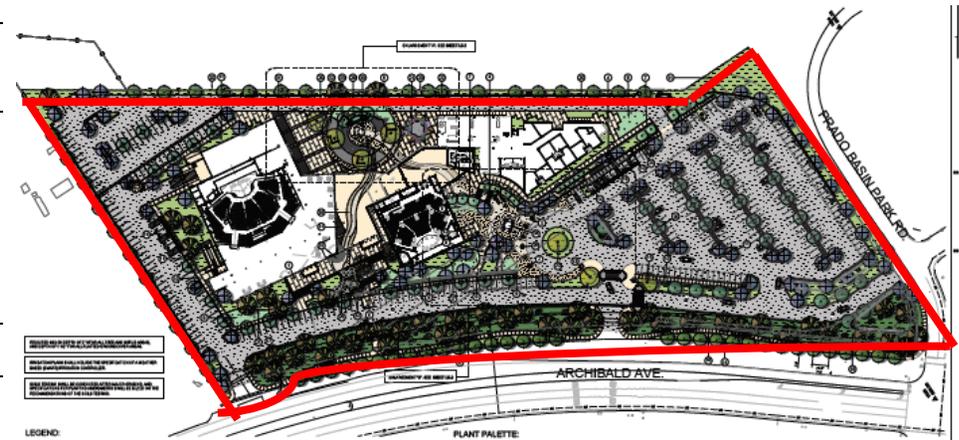
March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 7

<b>Project:</b>	Vantage Point Church
<b>Project No.</b>	15-1174
<b>Project Location:</b>	8500 Archibald Ave. (APN: 130-080-005 and -008)
<b>Project Description:</b>	Major Development Review for the development of an approximately 85,000 sq. ft. church which includes a sanctuary, classrooms, cafe, and a bookstore on 10.43 acres.  CEQA: Mitigated Negative Declaration
<b>Planner:</b>	Aaron Lobliner

**Project Map:**



**Current Status:**

- § Approved.
- § Building construction plans approved October 9, 2019.
- § Undergoing site grading

**Notes:**

- Major Development Review and Conditional Use Permit (CUP) received on May 1, 2015. (Staff later determined CUP was not needed.)
- Planning Commission approval on March 21, 2018. Approval letter, final COAs, and stamped plans to applicant on April 12, 2018.
- Comment letter to applicant on construction plans on June 4, 2018. Construction plans 3<sup>rd</sup> submittal received July 24, 2018.
- Grading Plan approved on August 21, 2018.
- Construction building plans approved on October 9, 2018. Grading Plan approved on August 21, 2018.
- Landscape plans approved on October 18, 2018



1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

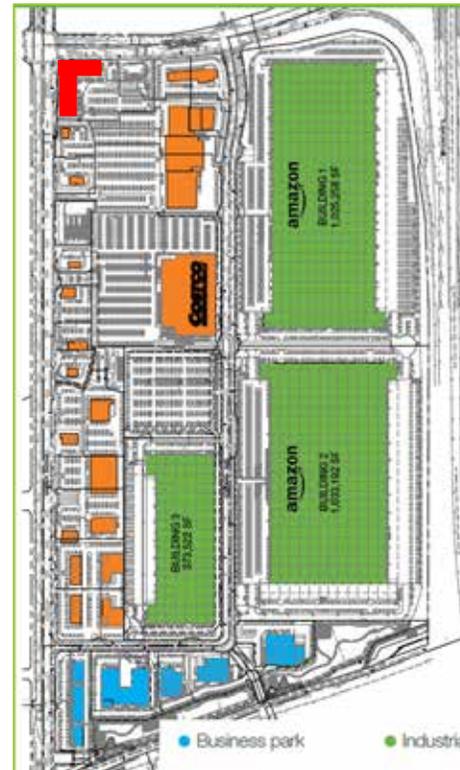
March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 8

<b>Project:</b>	Goodman Retail Center – Corner Buildings
<b>Project No.</b>	16-00028
<b>Project Location:</b>	Southeast corner of Cantu Galleano Ranch Road and Hamner Ave.
<b>Project Description:</b>	Major Development Review for the development of 2 multi-tenant retail buildings (CR-4 and CR-5) totaling approximately 26,260 square feet in the retail area adjacent to Costco at the Goodman Commerce site.  CEQA: Previously certified EIR
<b>Planner:</b>	Aaron Lobliner

## Project Map:



## Notes:

- § Major Planning Commission approval on March 7, 2017
- § Planning approved construction plans for the first two retail buildings (CR-4 & CR-5), and site improvement plans for retail center on March 26, 2018.
- § See the following projects for other retail projects in the Goodman Commerce Center:
  - § Map ID #12 Project No. PLN17-20033: Retail Building CR-3 – Starbucks
  - § Map ID #16 Project No. PLN18-20014: Retail Building CR-12 – Quick Quack Carwash
  - § Map ID #45: Project No. PLN 19-20063 Retail Building CR-8 – Altura Credit Union
  - § Map ID #46: Project No. PLN 19-20064 Retail Building CR-6 – Meet Fresh

## Current Status:

- § Approved.
- § Both buildings are under construction.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

## Map ID: 9

<b>Project:</b>	Medical Office Building and Dialysis Center at The Marketplace at The Enclave
<b>Project No.</b>	PLN16-00038
<b>Project Location:</b>	14252/14260 Schleisman Rd; at The Marketplace at The Enclave shopping center (144-860-018 and 114-860-020)
<b>Project Description:</b>	Major Development Review for the construction of a 30,000-sq. ft. two story medical office building and 10,000-sq. ft. dialysis center on the empty area at the south end of the shopping center.  CEQA: Previously certified EIR
<b>Planner:</b>	Allen Lim

### Notes:

- Approved by Planning Commission on May 17, 2017.
- Approved Building Construction Plan for the 2-story medical office building.
- Landscape plans approved
- Construction Trailer Temporary Use Permit approval letter to applicant on February 12, 2019
- Crosswalk has been modified according to the conditions of approval.
- Revisions for the 2-story office building was received on May 29, 2019; comments provided June 3, 2019.



### Project Map:



### Current Status:

- § DaVita Dialysis Center is completed
- § 2-story medical office building is under construction

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 10

<b>Project:</b>	South Milliken Distribution Center
<b>Project No.</b>	PLN17-20013
<b>Project Location:</b>	East of Milliken Avenue, north of the SR-60, 0.2-mile west of the I-15/SR-60 interchange, and 0.4 miles south of Mission Boulevard APNs: 156-030-001 & -002
<b>Project Description:</b>	<ul style="list-style-type: none"><li>General Plan Amendment, Change of Zone, and Major Development Review for the development of a 273,636-square foot industrial warehouse building with 29 dock doors located on a 15.8-acre site. General Plan Amendment of the entire site from Commercial Retail to Light Industrial. Change of Zone for the northern 12.5-acre lot from "C-P-S" to "MM"; no changes to the 3.3-acre lot with "M-M" zoning at southeastern portion of the site.</li><li>CEQA:Not Determined.</li></ul>
<b>Planner:</b>	Aaron Lobliner

## Project Map:



## Notes:

- Received application on April 27, 2017.
- On February 7, 2018 Planning Commission recommended approval to City Council.
- March 14, 2018 City Council continued project to March 28, 2018 Public Hearing.
- On March 28, 2018 City Council approval
- Approval letter, final Conditions of Approval, stamped plans sent to applicant on April 10, 2018.
- Signed resolution sent to applicant on April 11, 2018.
- 2nd year fly survey completed; result is negative

## Current Status:

- Approved

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 11

<b>Project:</b>	Hamner Place (former Polopolus Property)
<b>Project No.</b>	PLN17-20015
<b>Project Location:</b>	7270 Hamner Avenue; North of Silver Lakes Sports Complex and east of Hamner Avenue. APNs: 152-060-002 and -003
<b>Project Description:</b>	General Plan Amendment, Change of Zone, Tentative Parcel Map, and Major Development Review for the development of a retail center, and four Conditional Use Permits for the operations of certain uses and sales of alcohols. CEQA: Environmental Impact Report (EIR)
<b>Planner:</b>	Gina Gibson-Williams/Aaron Lobliner

## Notes:

- June 25, 2018, applicant withdrew two Conditional Use Permits (for a drive-through on Pads 2 and for alcohol sales in a future gas station convenience store).
- June 27, 2018: City Council certified the Final EIR and approved all applications. Notice of Determination recorded on June 28, 2018.
- See the following projects in the retail center:
  - § Map ID #22: Project No. PLN18-20041: Chevron Gas Station and Convenience Store DR CUP
  - § Map ID #33: Project No. PLN19-20023: Lewis Retail Suites Hotel DR CUP
  - § Map ID #43: Project No. PLN19-20043: Tony's Chophouse and Retail Suites DR
  - § Map ID #44: Project No. PLN19-20044: Appeal Chevron Gas Station and Convenience Store DR CUP
- Mass grading plan received on June 10, 2019; comments provided on June 12, 2019 requesting for documentations showing compliance with the conditions of approval for grading permit issuance.
- Rough grading plans received on June 24, 2019; Received documentation showing compliance to Conditions of Approval and approved July 2, 2019.

## Project Map:



## Current Status:

- § Approved by City Council
- § Waiting for building construction plans
- § Groundbreaking July 12, 2019
- § Currently undergoing rough grading.
- § Precise Grading plans received December 23, 2019; Comments provided January 6, 2020;
- § **Precise Grading plans resubmittal received March 4, 2020.**

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 12

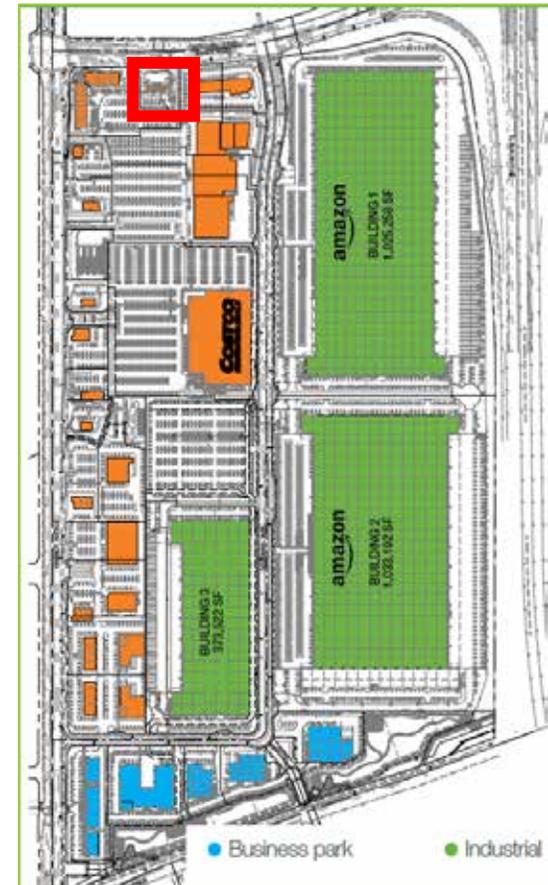
<b>Project:</b>	Goodman Retail Building CR-3 and Starbucks Drive-Through DR & CUP
<b>Project No.</b>	PLN17-20033
<b>Project Location:</b>	Southeast corner of Hamner Avenue and Cantu-Galleano Ranch Road and west of Goodman Way; Goodman Commerce Center
<b>Project Description:</b>	Major Development Review for the development of CR-3, a 4,000 square-foot multi-tenant building and Conditional Use Permit for a drive-through located in the retail portion of the Goodman Commerce Center
<b>Planner:</b>	Aaron Lobliner

**Notes:**

- Planning Commission approval on March 21, 2018.
- See the following projects for more recent activity at the Goodman Commerce Center Development:
  - § Map ID #8: Project No. PLN16-00028: Goodman Retail Center CR-4 and CR-5 pads
  - § Map ID #12: Project No. PLN17-20033: Retail Building CR-3 – Starbucks & other tenants
  - § Map ID #16: Project No. PLN18-20014: Retail Building CR-12 – Quick Quack Carwash
  - § Map ID #23: Project No. PLN18-20042: Retail Building CR-11 – Multi-Tenant Building
  - § Map ID #27: Project No. PLN19-20006: Retail Building CR-10 - Chick-fil-A
  - § Map ID #45: Project No. PLN 19-20063 Retail Building CR-8 – Altura Credit Union
  - § Map ID #46: Project No. PLN 19-20064 Retail Building CR-6 – Meet Fresh



**Project Map:**



**Current Status:**

- Starbucks in operation as of February 7, 2019.
- Reviewing Tenant Improvements Plans for other units.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 13

<b>Project:</b>	Sendero Cluster Homes by Lennar
<b>Project No.</b>	PLN17-20043
<b>Project Location:</b>	West portion of Sendero (Tracts 36775-2, 36775-3, and 36775) at northwest corner of Limonite Avenue and Harrison Avenue.
<b>Project Description:</b>	Minor Development Review for Master Home Plan of the 6-Pack and 8-Pack at Sendero.
<b>Planner:</b>	Allen Lim

- Received application on December 19, 2017, plans provided on December 21, 2017.
- Final Site of Development plans are approved on May 1, 2018.
- Architectural elevation approved on August 14, 2018.
- On-site Subdivision Flags signage submitted on March 28, 2019 by Lennar and approved on April 30, 2019.

Project Map:



Current Status:

- § Model homes are open.
- § Under construction.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 14

<b>Project:</b>	Prado Residential Development by Lennar
<b>Project No.:</b>	PLN18-20008
<b>Project Location:</b>	Southeast corner of Cucamonga Creek Channel and Schleisman Road
<b>Project Description:</b>	Major Development Review to develop a gated community of 243 attached and detached single-family homes on approximately 19 acres at Tract 35751 on Schleisman Road.
<b>Planner:</b>	Allen Lim

## Notes:

- Received application on February 22, 2018.
- Planning Commission approval on June 20, 2018.
- Approved final site of development on December 10, 2018.
- Approved construction plans and fence and wall plan on March 7, 2019.
- HOA production landscaping plans approved on March 13, 2019.
- Temporary Use Permit (TUP) for model home complex and sales trailer approved on March 13, 2019.

## Project Map:



## Current Status:

- § Project site is currently undergoing grading.
- § Model homes are under construction.
- § Revised HOA landscape plans approved May 16, 2019.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 15

<b>Project:</b>	The Ranch Planning Area 3 Warehouse/Industrial Building
<b>Project No.</b>	PLN18-20007
<b>Project Location:</b>	Planning Area 3 of The Ranch at Eastvale
<b>Project Description:</b>	Major Development Review to construct an 88,000 square-foot industrial building on 5 acres in Planning Area 3 of The Ranch at Eastvale.
<b>Planner:</b>	Aaron Lobliner

Project Map:



**Notes:**

- Received application on February 14, 2018.
- On May 16, 2018 Planning Commission approved Major Development Review.



**Current Status:**

- § Approved construction plans October 31, 2018.
- § Currently under construction.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

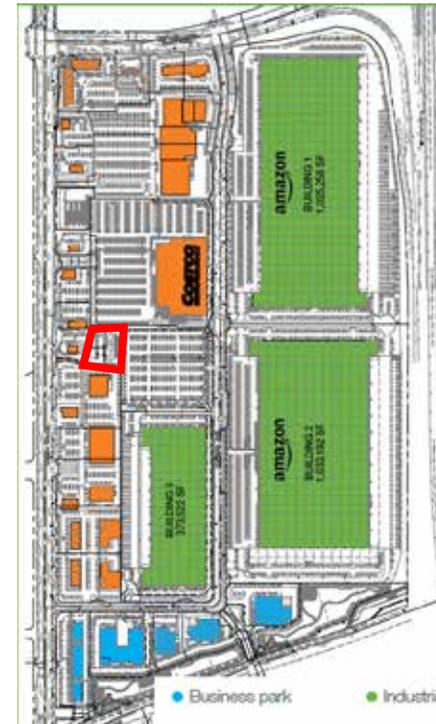
March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 16

<b>Project:</b>	Goodman Retail CR-12 – Quick Quack Car Wash
<b>Project No.</b>	PLN18-20014
<b>Project Location:</b>	West of Amazon off-site parking lot and south of Costco parking lot in the retail portion of Goodman Commerce Center
<b>Project Description:</b>	Major Development Review for a proposed self-serve car wash with a 3,571-square foot car-wash tunnel, vacuum canopy structure, and associated parking.
<b>Planner:</b>	Aaron Lobliner

## Project Map:



## Notes:

- Received application on March 21, 2018
- Planning Commission approval on June 20, 2018.
- See the following projects for more recent activity at the Goodman Commerce Center Development:
  - § Map ID #8: Project No. PLN16-00028: Goodman Retail Center CR-4 and CR-5 pads
  - § Map ID #12: Project No. PLN17-20033: Retail Building CR-3 – Starbucks & other tenants
  - § Map ID #16: Project No. PLN18-20014: Retail Building CR-12 – Quick Quack Carwash
  - § Map ID #23: Project No. PLN18-20042: Retail Building CR-11 – Multi-Tenant
  - § Map ID #27: Project No. PLN19-20006: Retail Building CR-10- Chick-fil-A
  - § Map ID #45: Project No. PLN 19-20063 Retail Building CR-8 – Altura Credit Union
  - § Map ID #46: Project No. PLN 19-20064 Retail Building CR-6 – Meet Fresh
- Revised construction plans approved on May 30, 2019.



## Current Status:

- § Approved
- § Quick Quack Car Wash is completed.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

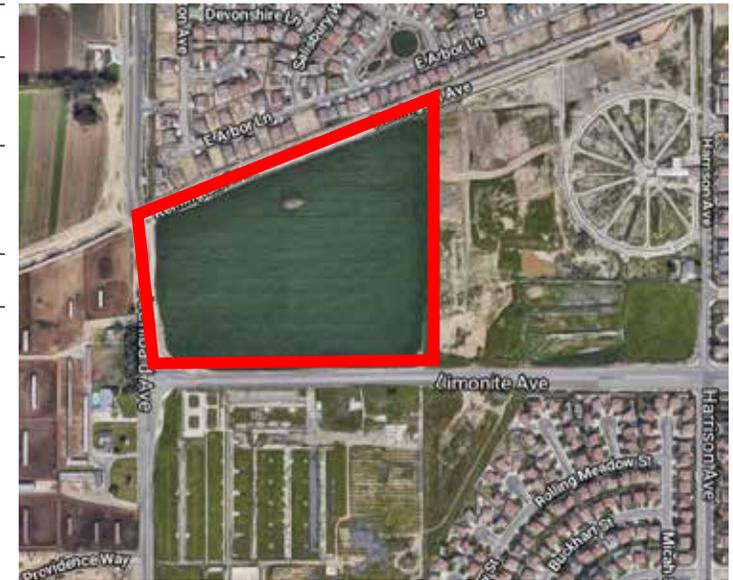
Map ID: 17

<b>Project:</b>	The Merge Retail and Industrial Center
<b>Project No.</b>	PLN18-20026
<b>Project Location:</b>	Northeast corner of Limonite Avenue and Archibald Avenue; APN: 164-010-019-6
<b>Project Description:</b>	Major Development Review, Tentative Parcel Map, and Variance for the development of a retail and light industrial center on an approximately 26-acre site, and various Conditional Use Permits for certain uses.
<b>Planner:</b>	Aaron Lobliner/Peter Minegar

## Notes:

- Received application on May 24, 2018; Development plans received on June 26, 2018.
- Draft Environmental Impact Report (EIR) available for a 45-day public review period from September 18, 2018, to November 2, 2018.
- Condition Use Permits application submitted on October 1, 2018.
- November 21, 2018, Planning Commission recommended approval of all applications, plus added new conditions for the Major Development Review application.
- December 12, 2018, City Council certified the EIR and approved all applications as recommended by the Planning Commission including the new conditions recommended by the Planning Commission, plus the Council added one new condition for the Major Development Review.
- Construction building plans received April 2, 2019 for Sprouts and Starbucks. Comments provided on April 29, 2019.
- Construction building plans received April 24, 2019 for all industrial buildings (1 through 6). Comments provided on May 22, 2019.
- Construction building plans for Chevron received May 8, 2019; comments provided June 11, 2019.

## Project Map:



## Current Status:

- § City Council approval on December 12, 2018.
- § January 9, 2019, City Council conducted second reading of ordinance for Change of Zone.
- § Received Industrial Precise Grading Plans 8/15
- § Received Retail/Commercial Precise Grading Plans 8/20
- § Construction building plan resubmittal received 9/17. Comments provided 9/26
- § Construction building plans for industrial buildings 1-6 approved by Planning 11/25/19

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 18

<b>Project:</b>	Sendero Century Communities Front Loaded Homes
<b>Project No.</b>	PLN18-20032
<b>Project Location:</b>	Northeast corner of Archibald Avenue and Chandler Street; Tract Map 36775-1
<b>Project Description:</b>	Minor Development Review for architectural design and Final Site of Development for front loaded homes (eastern side of the SEC easement) at Sendero. This portion consists of 82 single-family homes.
<b>Planner:</b>	Allen Lim

## Notes:

- Received application on June 27, 2018; has been routed to the other departments for a review.
- Architectural plans and enhancement map approved on August 15, 2018.
- Phase 1 and 2 of Precise Grading Plans approved September 9, 2018.
- Revised lot exhibits approved September 20, 2018.
- Front load landscape plans are approved on December 11, 2018.
- Sendero Century Community Subdivision Sign application submitted on February 7, 2019.
- Applicant resubmitted On-site subdivision flags signage plans May 6, 2019.
- Received revised Final Site of Development (FSOD) map on May 7, 2019 and grading plans on May 22, 2019. Comments provided on May 23, 2019.
- On-site subdivision flags approved April 30, 2019.
- Applicant proposes house plotting changes.

## Project Map:



## Current Status:

- § Under construction.
- § Model homes are open.
- § Waiting for revised FSOD map.
- § Precise Grading Plans received December 23, 2019 – Planning approved Precise Grading on January 6, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 19

<b>Project:</b>	Restaurant with Drive-Up Pickup Window (Pizza Hut)
<b>Project No.</b>	PLN18-20037
<b>Project Location:</b>	Northwest corner of Hamner and Schleisman Ave (between Fire Station 27 and 99 Cents Only Store)
<b>Project Description:</b>	<ul style="list-style-type: none"> <li>▪ Major Development Review for the development of a restaurant (proposed to be a Pizza Hut) with a drive-through pickup window.</li> <li>▪ Two Conditional Use Permits for the operation of the drive-through lane and alcohol sales for on-site consumption.</li> <li>▪ Tentative parcel map to subdivide the site into two parcels.</li> </ul>
<b>Planner:</b>	Emily Elliot

**Notes:**

- Received application on July 2, 2018; has been routed to the other departments for review.
- Application incomplete letter sent to applicant on July 18, 2018.
- Met with 7-Eleven applicants on August 15, 2018, to discuss their building design
- Comment letter to applicant on September 17, 2018.
- Received e-mail from applicant on December 27, 2018 requesting removal of 7-Eleven from the application and refund for CEQA review.
- Received second submittal March 11, 2019.
- Second Incompleteness letter out to applicant April 10, 2019.
- Comment letter sent out to applicant on April 29, 2019.

**Project Map:**



**Current Status:**

- § Received third submittal on August 22, 2019.
- § Tentative Parcel Map No. 37532 Consideration and Approval by the Planning Commission on November 20, 2019.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 20

<b>Project:</b>	Pulte Residential Development
<b>Project No.:</b>	PLN18-20038
<b>Project Location:</b>	Southeast corner of Limonite Avenue and Scholar Way (west of Cloverdale Marketplace)
<b>Project Description:</b>	Minor Development Review for a Master Home Plan consisting of 79 residential units. This tract (Tract No. 28943) was approved and finalized by the County prior to cityhood.
<b>Planner:</b>	Aaron Lobliner

## Notes:

- Received application on July 9, 2018. This is a recorded subdivision; application is for the review of the design of the homes only.
- Approval letter sent on August 31, 2018.
- Revised architectural plans approved October 10, 2018.
- Construction building plans approved October 30, 2018.
- Site is being graded consistent with the recorded subdivision map.
- Approved construction fence and wall plans on March 7, 2019.
- Temporary Use Permit (TUP) for sales office approved March 26, 2019.
- On-site Subdivision Flags Signage approval letter sent on March 27, 2019.
- Received revised elevations for Lot 54 on April 25, 2019 and comment provided on May 2, 2019.
- Final revised elevation for lot 54 received on May 21, 2019; approved on May 22, 2019.

## Project Map:



## Current Status:

- § Approved by Planning Director
- § Models homes opened on March 9, 2019.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 21

<b>Project:</b>	Sunshine Growers Nursery
<b>Project No.</b>	PLN18-20040
<b>Project Location:</b>	North of Riverside Drive; south of SR 60, east of Milliken Avenue, west of I-15; (Assessor's Parcel Number 156-030-021, -023, -030, and -031)
<b>Project Description:</b>	Major and Minor Development Review for the installation of a 20,000 square-foot greenhouse for a plant nursery for Sunshine Growers Nursery located on Riverside Dr. and Hamner Ave.
<b>Planner:</b>	Allen Lim/Aaron Lobliner

## Notes:

### Major Development Review

- Applications received on July 25, 2018 and October 3, 2018.
- Approved by Planning Commission on October 17, 2018.
- Approval letter and development plans sent on November 5, 2018.
- Construction plans for the nursery, retail, and wall for the trash enclosure received on April 8, 2019. Comment provided on April 23, 2019.
- Waiting for submittal for installation of propane gas from applicant.
- Grading plans received April 3, 2019. Comments provided April 24, 2019.
- Landscape plans received May 15, 2019. Comments provided May 23, 2019.

## Project Map:



## Current Status:

- § Approved.
- § Grading plans approved June 17, 2019
- § Landscape plans approved June 20, 2019
- § Construction plans approved July 17, 2019

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

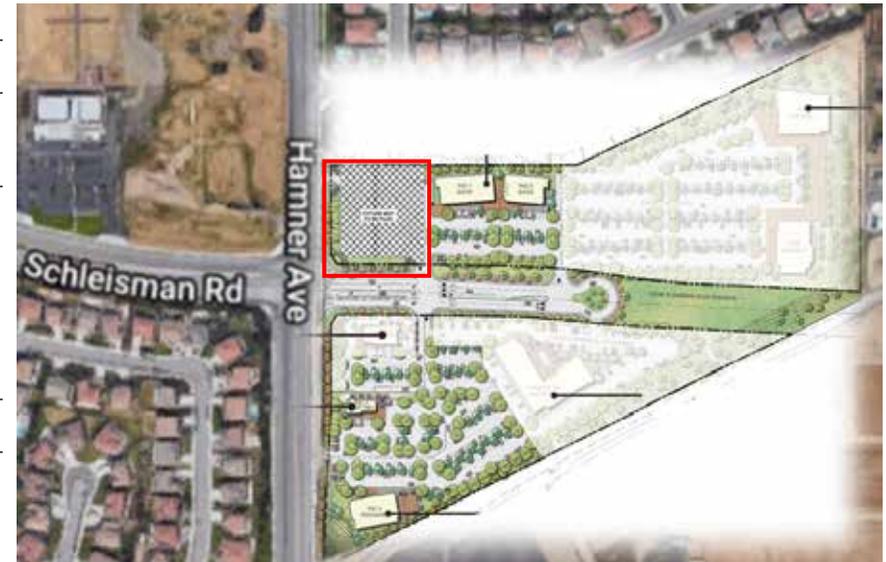
Map ID: 22

<b>Project:</b>	Chevron at Lewis Retail at the Hamner Place (former Polopolus Property)
<b>Project No.</b>	PLN18-20041
<b>Project Location:</b>	7180 Hamner Avenue; northeast corner of Hamner Ave. and Schleisman Rd. (Assessor's Parcel Number 152-060-003)
<b>Project Description:</b>	Major Development Review for a new Chevron gas station with a 3,018 square-foot convenience store, a 3,472 square-foot canopy with five (5) fueling dispensers, and associated site improvements. <ul style="list-style-type: none"><li>Conditional use permit for sales of beer and wine for off-site consumption.</li></ul>
<b>Planner:</b>	Aaron Lobliner

## Notes:

- Received application on July 24, 2018; has been routed to the other departments for a review.
- Incompleteness letter out to applicant on August 28, 2018.
- Comment letter provided to applicant on September 18, 2018.
- Second revised development plans received November 5, 2018.
  - § Second submittal comment letter provided to applicant on November 14, 2018.
- Third revised development plans received January 22, 2019.
  - § Incompleteness letter to applicant on February 12, 2019.
  - § Comment letter sent to applicant on February 20, 2019.

## Project Map:



## Current Status:

- § Planning Commission denied the project on November 20, 2019.
- § Applicant has submitted an application to appeal the Planning Commission's decision on November 20, 2019 (See Map ID #44 - PLN19-20055)

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 23

**Project:** Goodman Commerce Center CR-11 – Multi-Tenant Building

**Project No.** PLN18-20042

**Project Location:** Southeast corner of Hamner Avenue and Cantu-Galleano Ranch Road and west of Goodman Way, Parcel 10 of Parcel Map 37208; (Assessor's Parcel Number 160-020-078)

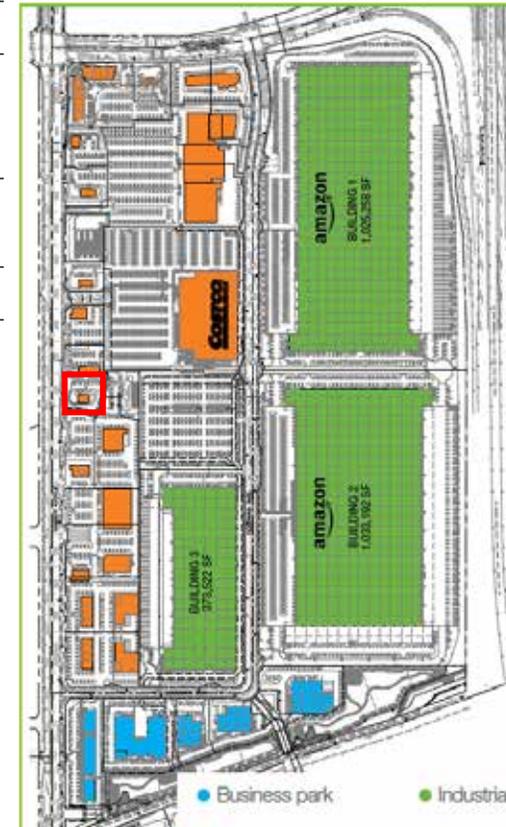
**Project Description:** Major Development Review for a new 6,000 square-foot multi-tenant retail building on a 37,250 square-foot site.

**Planner:** Aaron Lobliner

## Notes:

- Received application on July 26, 2018.
- Building plans received November 20, 2018. Comments provided to applicant December 27, 2018.
- Approved by Planning Commission on November 8, 2018.
- Landscape plans approved on January 21, 2019.
- Revised construction plans approved on February 19, 2019.

## Project Map:



## Current Status:

- § Approved by Planning Commission.
- § Construction plans approved.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

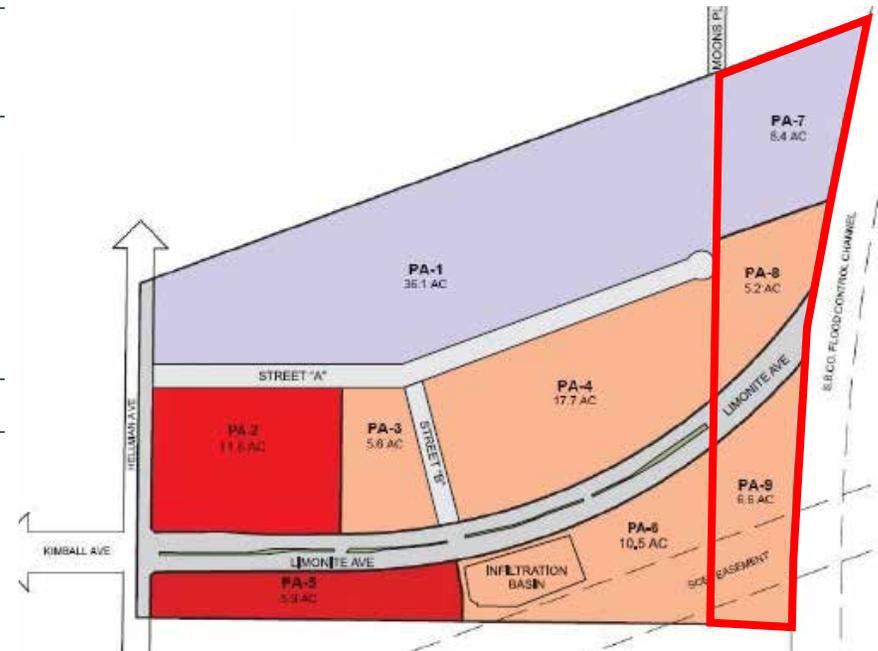
March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

**Map ID: 24**

<b>Project:</b>	Howard Industrial at The Ranch (Rodriguez Site)
<b>Project No.:</b>	PLN18-20050
<b>Project Location:</b>	East end of Limonite Avenue (The Ranch Planning Area 7, 8 and 9); Assessor's Parcel Numbers: 144-010-009 and 144-010-004, and 144-010-005
<b>Project Description:</b>	<ul style="list-style-type: none"> <li>Major Development Review for development of a 21-acre site for light industrial uses located in Planning Areas 7 and 9 of The Ranch Specific Plan</li> <li>Tentative Parcel Map to subdivide the project site.</li> <li>Diminishment of Agricultural Preserve &amp; Williamson Act Cancellation for the project site.</li> </ul>
<b>Planner:</b>	Aaron Lobliner

**Project Map:**



- Notes:**
- Agricultural Preservation & Williamson Act Cancellation submitted on September 4, 2018.
  - Major Development Review and Tentative Parcel Map received on October 24, 2018.
  - Approved by Planning Commission for Major Development Review and Tentative Parcel Map on December 19, 2018.
  - Approved by City Council for diminishment of the agricultural preserve and tentative cancellation of the Williamson Act contract on February 13, 2019
  - Staff is in discussion with a new owner regarding design changes.

**Current Status:**

- § Waiting for grading and construction plan submittal.
- § Final Cancellation of Williamson Act Contract approved by City Council July 24, 2019.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

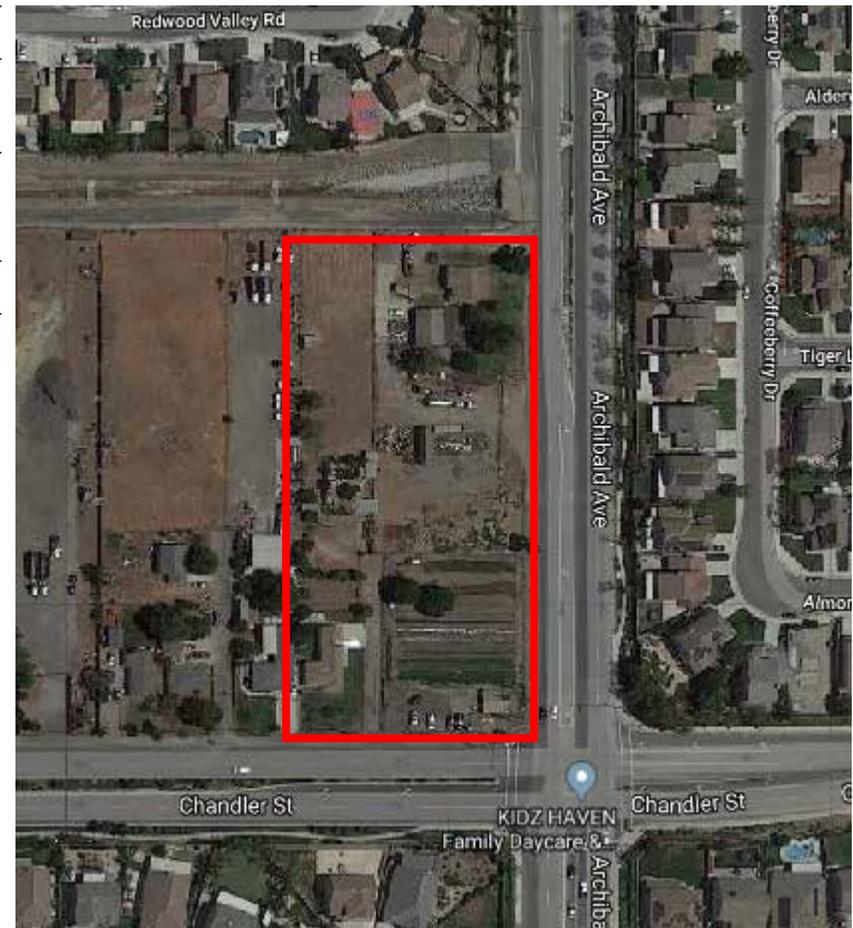
Map ID: 25

<b>Project:</b>	Retail Center Archibald and Chandler
<b>Project No.</b>	PLN19-20000
<b>Project Location:</b>	Northwest corner of Archibald and Chandler; (Accessor Parcel Numbers: 144-130-004, 144-130-011, 144-130-012, 144-130-013)
<b>Project Description:</b>	A 2.71-acre mixed use commercial development comprised of a convenience store/ gas station/ carwash, a drive-through restaurant, and an undeveloped pad to be submitted at a later date.
<b>Planner:</b>	Emily Elliott

## Notes:

- Received application on January 3, 2019.
- Incompleteness letter mailed on January 17, 2019.
- Public information meeting was held at city hall on February 20, 2019.
- Comment letter sent out to applicant on February 21, 2019.
- Meeting with applicant occurred on March 14, 2019.
- Applicant is revising plan, not yet resubmitted.

## Project Map:



## Current Status:

- Waiting for revised submittal.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 26

<b>Project:</b>	The Campus Self-Storage Facility DR & CUP
<b>Project No.</b>	PLN19-20001
<b>Project Location:</b>	West side of Archibald Avenue and South of Providence Way; (Accessor Parcel Number: 144-010-063)
<b>Project Description:</b>	Major Development Review and Conditional Use Permit for development and operation of a 4-story, self-storage facility in the front portion of The Campus development.
<b>Planner:</b>	Aaron Lobliner

## Notes:

- Received application on January 22, 2019.
- This project would replace an earlier approval for a two-story office building at this location.
- Application incompleteness letter sent on February 11, 2019.
- Comment letter sent on February 25, 2019.
- Second resubmittal received on February 27, 2019.
- 2<sup>nd</sup> incomplete application letter sent on March 13, 2019.
- 3<sup>rd</sup> resubmittal received on May 23, 2019.
- 4<sup>th</sup> submittal received on June 7, 2019.
- Planning Commission consideration and approval on July 17, 2019.

## Project Map:



## Current Status:

- Approved by Planning Commission.
- Precise Grading Plans received January 2, 2020 for department review. Comments have been returned to applicant.
- Precise Grading Plans approved by Planning on January 16, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

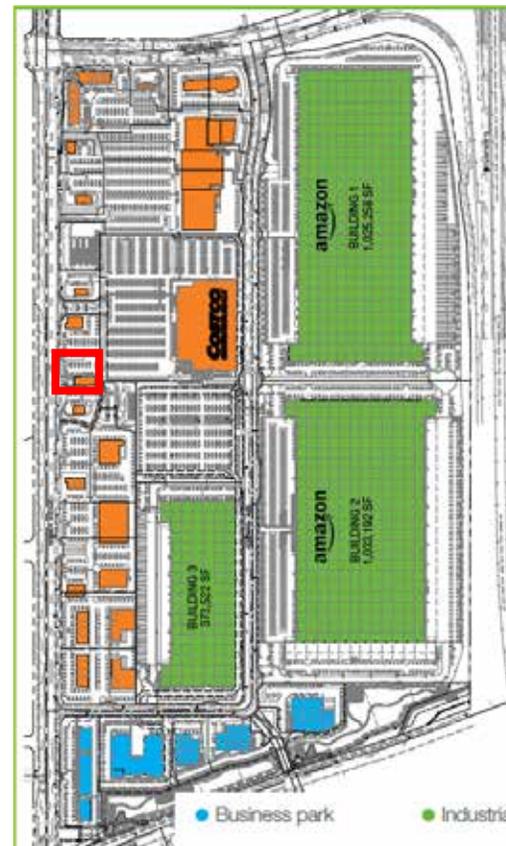
March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 27

<b>Project:</b>	Chick-fil-A at Goodman Commerce Center
<b>Project No.</b>	PLN19-20006
<b>Project Location:</b>	5080 Hamner Avenue (Accessor Parcel Numbers: 160-020-079) (Goodman CR-10)
<b>Project Description:</b>	Major Development Review and Conditional Use Permit for development and operation of a 4,833 sq. ft. restaurant with two drive-through lanes
<b>Planner:</b>	Aaron Lobliner

Project Map:



**Notes:**

- Received application on February 19, 2019.
- Incompleteness letter sent on March 13, 2019.
- Comment letter sent on March 25, 2019.
- Meeting with applicant on April 3, 2019 to discuss comment letter.
- Revised plans received on April 12<sup>th</sup> and April 29<sup>th</sup>.
- Planning Commission approved on May 15, 2019.

**Current Status:**

- Construction plans under review.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 28

<b>Project:</b>	The Campus 7-Eleven Gas Station DR, CUP's
<b>Project No.</b>	PLN19-20008
<b>Project Location:</b>	The Campus (West side of Archibald and South of Providence Way); (Accessor Parcel Number: 144-010-063)
<b>Project Description:</b>	Major Development Review and Conditional Use Permit for development and operation of a convenience store, gas station and carwash.
<b>Planner:</b>	Aaron Lobliner/Aaron Lobliner

## Project Map:



## Current Status:

- Approved by Planning Commission.

## Notes:

- Received application on February 26, 2019.
- Incomplete letter sent on March 14, 2019.
- Comment letter sent on March 22, 2019.
- 2<sup>nd</sup> resubmittal received on May 17, 2019.
- 3<sup>rd</sup> submittal received on June 7, 2019.
- Planning Commission consideration and approval on July 17, 2019.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 29

<b>Project:</b>	Hindu Temple at Hellman and Walters Pre-App
<b>Project No.:</b>	PLN19-20017
<b>Project Location:</b>	7500 Hellman Avenue (Northwest of Hellman and Walters); (Accessor Parcel Number: 144-070-016; 144-070-017; 144-070-018; 144-070-020)
<b>Project Description:</b>	Pre-Application for a Hindu Temple consisting of multiple buildings with a combined total square footage of 40,135-square feet.
<b>Planner:</b>	Aaron Lobliner

## Notes:

- Received application on May 9, 2019.
- Comment letter sent on June 6, 2019.
- Meeting with Applicant on July 2, 2019 to discuss comment letter.

## Project Map:



## Status:

- Waiting for formal application.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 30

<b>Project:</b>	Eastvale Marketplace Big Wok Alcohol CUP
<b>Project No.</b>	PLN19-20018
<b>Project Location:</b>	Eastvale Marketplace 13394 Limonite Avenue Suite 100; (Accessor Parcel Number: 164-030-039)
<b>Project Description:</b>	Conditional Use Permit to allow the sales of beer and wine for on-site consumption.
<b>Planner:</b>	Aaron Lobliner

**Notes:**

- Received application on May 15, 2019.
- Incompleteness letter sent to Applicant on June 10, 2019.
- Requested information received on July 8, 2019.
- Staff is in preparation of staff report and materials for Planning Commission meeting.
- Project presented to Planning Commission for consideration on September 18, 2019. Planning Commission voted 5-0 approving the project.

**Project Map:**



**Current Status:**

- Approval Letter and Conditions of Approval provided to applicant for signature on 10/1/2019 – Signature Received 10/2/2019
- Provided Signed Conditions of Approval to Alcohol Beverage Control.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

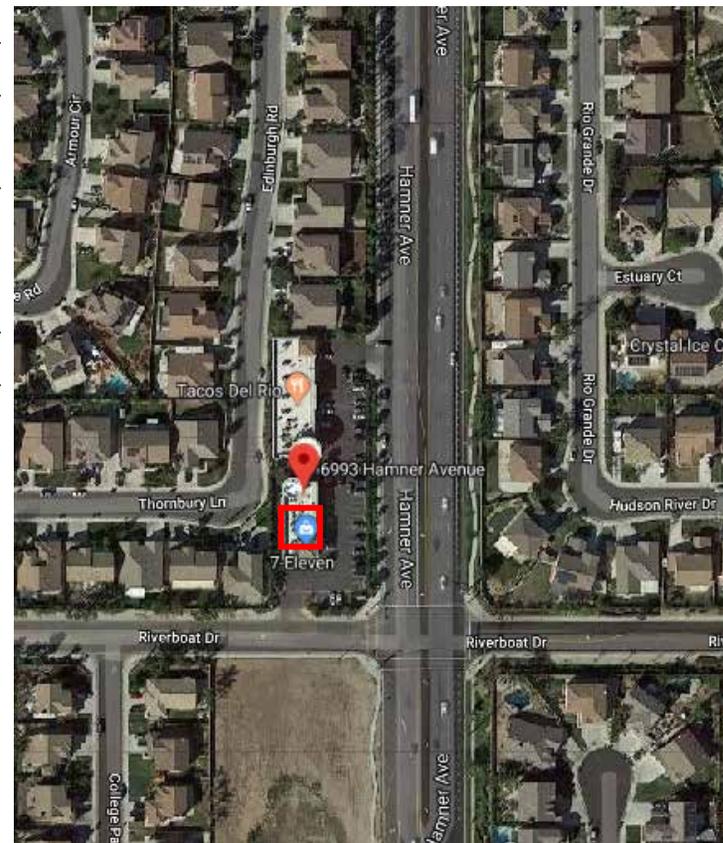
Map ID: 31

<b>Project:</b>	Existing 7-Eleven on Hamner and Riverboat Alcohol CUP Amendment <b>Appeal</b>
<b>Project No.</b>	PLN19-20020
<b>Project Location:</b>	6993 Hamner Ave Suite B-1; (Accessor Parcel Number: 164-520-017)
<b>Project Description:</b>	Appeal Planning Commission's denial for an Amendment to Conditional Use permit No. CUP0340, to allow the sales of distilled spirits (hard liquor) in addition to beer and wine (Type 21) at the existing 7-11 convenience store.
<b>Planner:</b>	Aaron Lobliner

**Notes:**

- Received application on May 28, 2019.
- On June 26, 2019 the City Council approved the appeal.

**Project Map:**



**Current Status:**

- Approved

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 32

<b>Project:</b>	Van Leeuwen COZ, GPA, ZCA
<b>Project No.</b>	PLN19-20021
<b>Project Location:</b>	13000 Citrus Street; (Accessor Parcel Number: 152-050-050)
<b>Project Description:</b>	General Plan Amendment from low density to high density and Change of Zone from A-2 to R-3 with a senior housing overlay and zone text amendment to create a senior housing overlay.
<b>Planner:</b>	Aaron Lobliner

## Notes:

- Received application on May 30, 2019.
- Project presented to Planning Commission for consideration and recommendation to City Council on July 17, 2019. Planning Commission voted 5-0 recommending approval to City Council.
- July 17, 2019, Planning Commission recommended approval to City Council.

## Project Map:



## Current Status:

- Project presented to City Council for consideration on September 11, 2019. City Council voted 4-0 approving the project.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 33

<b>Project:</b>	Hotel Suites at Hamner Place
<b>Project No.</b>	PLN19-20023
<b>Project Location:</b>	Southeast corner of Hamner Avenue and Schleisman Road; (Accessor Parcel Number: 152-050-050)
<b>Project Description:</b>	A Major Development Review for a hotel and a banquet facility and a Conditional Use Permit for the sale of alcohol for on-site consumption.
<b>Planner:</b>	Gina Gibson-Williams

## Notes:

- Received application on June 6, 2019.

See the following project for more information:

- Map ID #11 : PLN17-20015: Hamner Place (former Polopolus Property)

## Project Map:



## Current Status:

- Approved by Planning Commission on June 19, 2019.
- Building plans received for review on January 30, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 34

<b>Project:</b>	The Homestead
<b>Project No.</b>	PLN19-20026
<b>Project Location:</b>	West of Archibald Avenue at the westerly terminus of Limonite Avenue; (Accessor Parcel Numbers: 144-010-015, -018, -020, -023, -032)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>Major Development Review for construction of seven(7) light industrial/ warehouse buildings</li><li>Change of Zone from A-2 to I-P</li><li>Tentative Parcel Map for subdivision of the site into seven(7) parcels</li><li>Variance from the standard landscape shading requirements.</li></ul>
<b>Planner:</b>	Gina Gibson-Williams/Aaron Lobliner

## Notes:

- Received application on June 25, 2019.
- Submittal received July 2, 2019; routed to other departments for review.
- Request for proposal of an Environment Impact Report (EIR) sent on July 3, 2019. Proposals due on July 24, 2019.

## Project Map:



## Current Status

- EIR screen check draft under review 1/8/20
- Project Under Review

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 35

<b>Project:</b>	The Campus 7-Eleven Gas Station DR Appeal
<b>Project No.:</b>	PLN19-20029
<b>Project Location:</b>	The Campus (West side of Archibald and South of Providence Way); (Accessor Parcel Number: 144-010-063)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>▪ Appeal Planning Commission's approval of a Major Development Review and Conditional Use Permit for development and operation of a convenience store, gas station and carwash.</li></ul>
<b>Planner:</b>	Aaron Lobliner

## Project Map:



## Current Status:

- City Council consideration in August 28, 2019.
- City Council denied the appeal and recommended new conditions on August 28, 2019.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

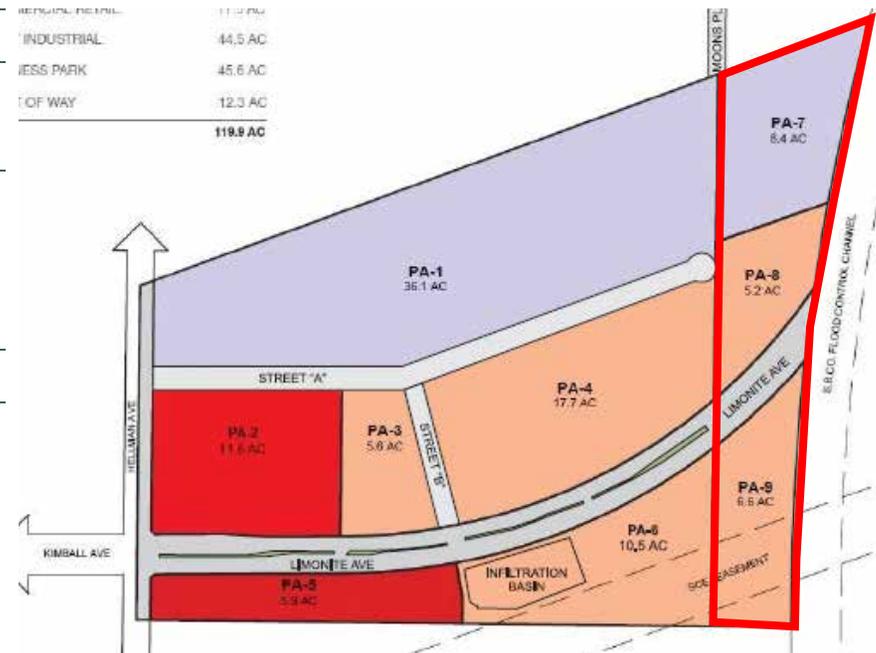
Map ID: 36

<b>Project:</b>	The Ranch by Transwestern (Rodriguez Site)
<b>Project No.</b>	PLN19-20034
<b>Project Location:</b>	East end of Limonite Avenue (The Ranch Planning Area 7, 8 and 9); (Assessor's Parcel Numbers: 144-010-009 and 144-010-004, and 144-010-005)
<b>Project Description:</b>	<ul style="list-style-type: none"> <li>Major Development Review (DR) and an Amendment to the Tentative Parcel Map (TPM) to construct 2 light industrial warehouses on the Rodriguez Site (Planning Area 7, 8, and 9) located on the southeast corner of Moon Place and Remington Avenue.</li> </ul>
<b>Planner:</b>	Aaron Lobliner

- Notes:**
- Received application on September 3, 2019.
  - Routed to other departments for review.

**Project Map:**

RESIDENTIAL PERMITTED	11.0 AC
INDUSTRIAL	44.5 AC
RECREATION PARK	45.6 AC
RIGHT OF WAY	12.0 AC
<b>TOTAL</b>	<b>119.8 AC</b>



**Current Status:**

- § Incompleteness letter provided to applicant on October 8, 2019
- § Precise Grading Plans received 12/23/19; Precise Grading comments provided 1/13/20; Awaiting resubmittal of Major Development Review and Precise Grade.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

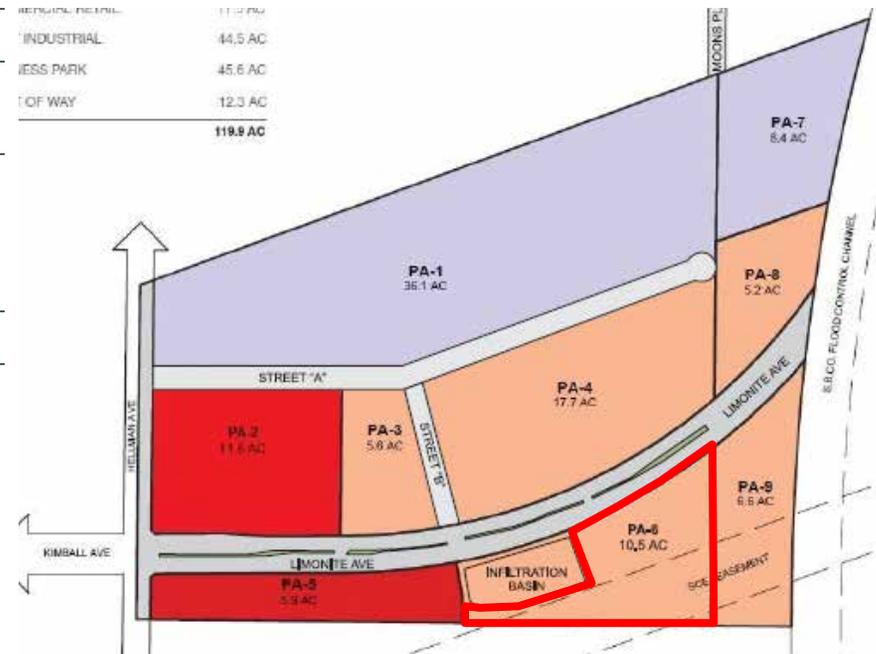
**Map ID: 37**

<b>Project:</b>	The Ranch by Summit Development (Parcel 14) Pre-Application
<b>Project No.</b>	PLN19-20035
<b>Project Location:</b>	East end of Limonite Avenue (The Ranch Planning Area 6); (Assessor's Parcel Number: 144-010-058)
<b>Project Description:</b>	<ul style="list-style-type: none"> <li>A Pre-Application for a 61,000 square foot light industrial building on 4.36 acres of Parcel 14 on The Ranch. The building will be located in Planning Area 6 of The Ranch Specific Plan.</li> </ul>
<b>Planner:</b>	Aaron Lobliner

**Notes:**

- Received application on September 12, 2019.
- Routed to other departments for review.

**Project Map:**



**Current Status:**

- § Comments provided to applicant 10/17/19
- § Formal submittal received January 15, 2020 – Routed for department review
- § **Planning Commission approved the project on February 19, 2020**

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

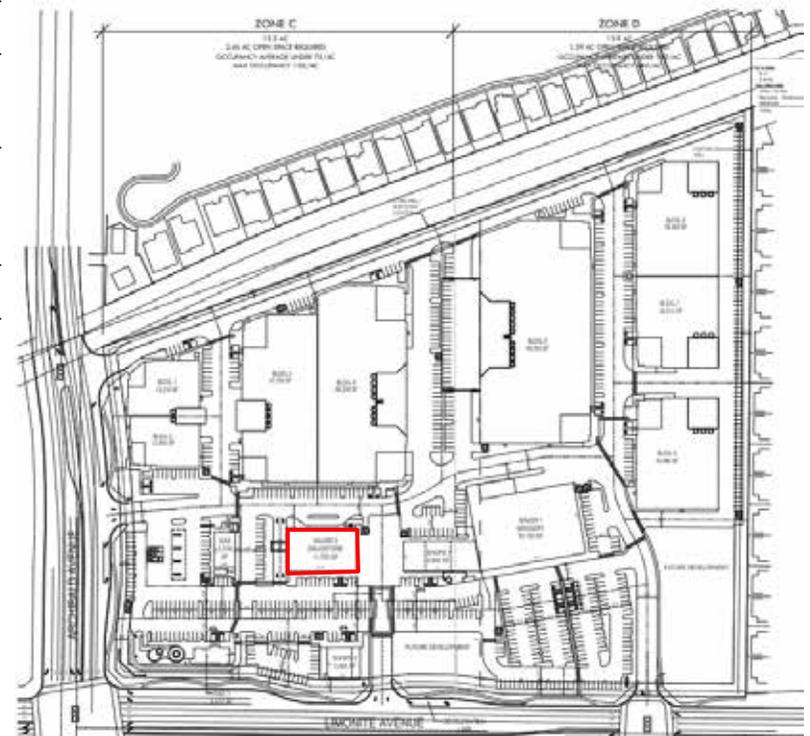
Map ID: 38

<b>Project:</b>	The Merge Retail (Major 2) Minor Development Review
<b>Project No.</b>	PLN19-20041
<b>Project Location:</b>	Northeast corner of Limonite Avenue and Archibald Avenue; (Assessor's Parcel Number: 164-010-019-6)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>Minor Development Review to replace the previously approved pharmacy with a drive through to two (2) retail buildings.</li></ul>
<b>Planner:</b>	Aaron Lobliner

**Notes:**

- Received application on October 28, 2019.

**Project Map:**



**Current Status:**

- § Application has been deemed incomplete on December 23, 2019
- § Received resubmittal on February 3, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

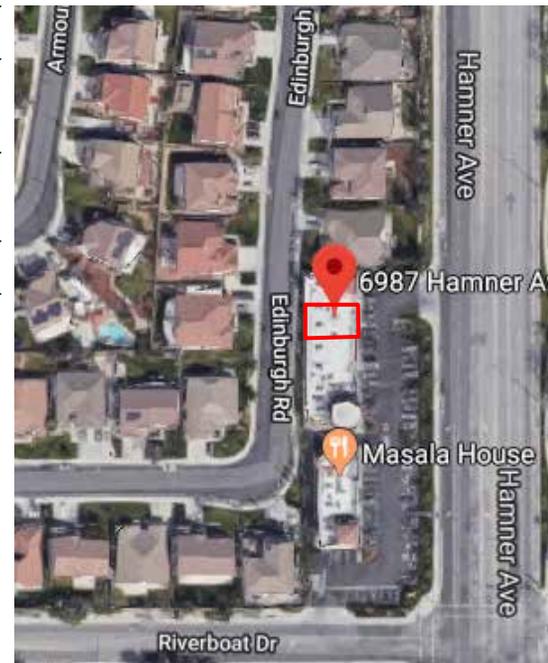
Map ID: 39

<b>Project:</b>	Jono's Simple Japanese Alcohol CUP
<b>Project No.</b>	PLN19-20042
<b>Project Location:</b>	6987 Hamner Ave Suite #7 (NWC of Riverboat Dr. and Hamner Ave.) ; (Assessor's Parcel Number: 164- 520-017)
<b>Project Description:</b>	<ul style="list-style-type: none"> <li>Conditional Use Permit for alcohol sales at Jono's Simple Japanese Food for on-site consumption.</li> </ul>
<b>Planner:</b>	Allen Lim

**Notes:**

- Received application on October 23, 2019.
- Application incompleteness letter provided to applicant 10/30/19
- Requested information received on 10/30/19
- Routed to other departments for review on 10/31/19
- Department comments received 11/14/19
- Staff is in preparation of staff report and materials for Planning Commission meeting.

**Project Map:**



**Current Status:**

- § Planning Commission consideration and approval on December 18, 2019
- § Approval Letter, Conditions of Approval, and Public Convenience/Necessity Letter provided to applicant for signature on 12/31/2019
- § Signed Conditions of Approval received 12/31/19

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 40

<b>Project:</b>	Gossett Development Self-Storage Major DR, CUP, CoZ, GPA
<b>Project No.</b>	PLN19-20047
<b>Project Location:</b>	14555, 14577, and 14587 Chandler Street; (Assessor's Parcel Number: 144-120-002, -003, -004)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>Major Development Review for the development of 142,839 square foot self-storage facility on 3 parcels totaling 4.1 acres</li><li>Conditional Use Permit to permit the self-storage facility</li><li>Change of Zone from A-1 Light Agriculture to C-1/C-P General Commercial</li><li>General Plan Amendment from Low Density Residential to Commercial Retail</li></ul>
<b>Planner:</b>	Aaron Lobliner

## Notes:

- Received pre-application on November 6, 2019
- Pre-application was routed out for comments from other departments on November 12, 2019

## Project Map:



## Current Status:

- § Received application for Major DR, CUP, CoZ, and GPA on January 27, 2020
- § Routed for comments from other departments on February 3, 2020. Comments are being compiled 2/17/20.

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

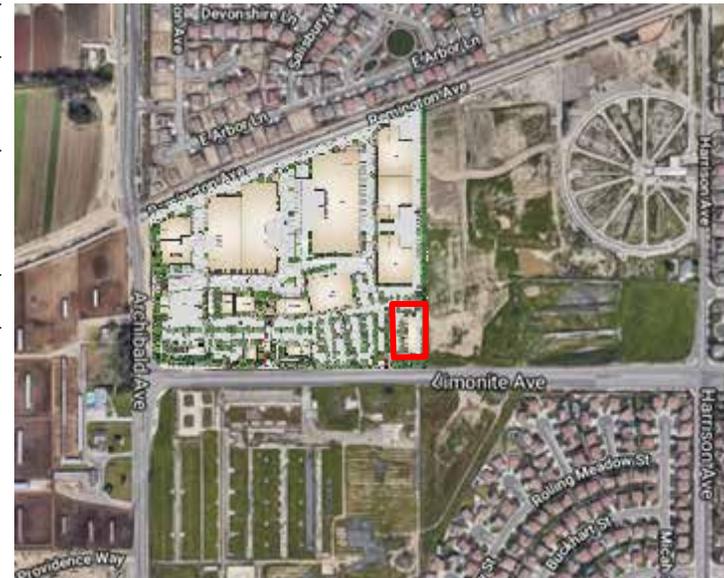
Map ID: 41

<b>Project:</b>	The Merge Retail Major Development Review (DR) Shops 4
<b>Project No.</b>	PLN19-20049
<b>Project Location:</b>	Northeast corner of Limonite Avenue and Archibald Avenue; (Assessor's Parcel Number: 164-010-019-6)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>Major Development Review for the addition of one new building with a drive-through Shops 4 with drive-through is estimated to be 10,500 square feet.</li></ul>
<b>Planner:</b>	Gina Gibson-Williams/Aaron Lobliner

## Notes:

- Received application on November 7, 2019.
- Application has been deemed incomplete November 7, 2019

## Project Map:



## Current Status:

- § Resubmittal 1 received on December 3, 2019
- § Resubmittal 1 has been deemed incomplete on December 20, 2019.
- § Received preliminary elevations on 1/14/20 for Planning review.
- § Resubmittal 2 received on on February 3, 2020
- § The Planning Commission approved the project on February 19, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

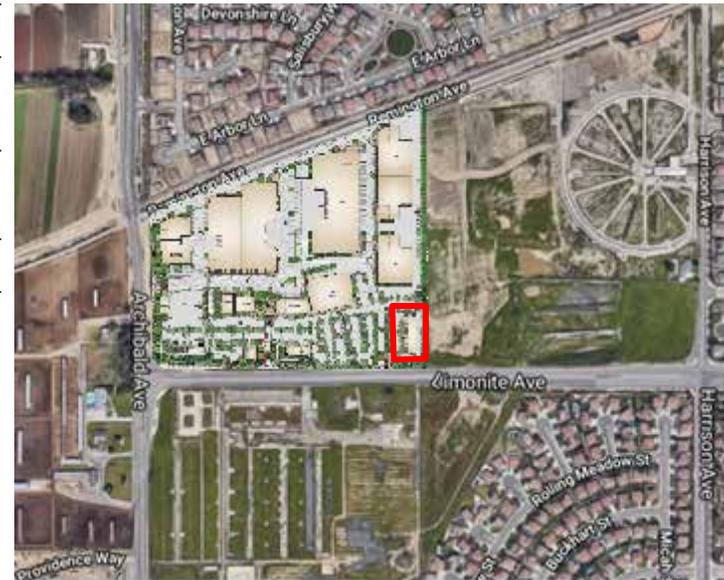
Map ID: 42

<b>Project:</b>	The Merge Retail Shops 4 Drive-Through CUP
<b>Project No.</b>	PLN19-20050
<b>Project Location:</b>	Northeast corner of Limonite Avenue and Archibald Avenue; (Assessor's Parcel Number: 164-010-019-6)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>Conditional Use Permit for the operation of a Drive-Through at Shops 4 of the Merge.</li></ul>
<b>Planner:</b>	Gina Gibson-Williams/Aaron Lobliner

## Notes:

- Received application on November 7, 2019.
- Application has been deemed incomplete November 7, 2019

## Project Map:



## Current Status:

- § Resubmittal 1 received on December 3, 2019
- § Resubmittal has been deemed incomplete on December 20, 2019.
- § Resubmittal 2 received on on February 3, 2020
- § The Planning Commission approved the project on February 19, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

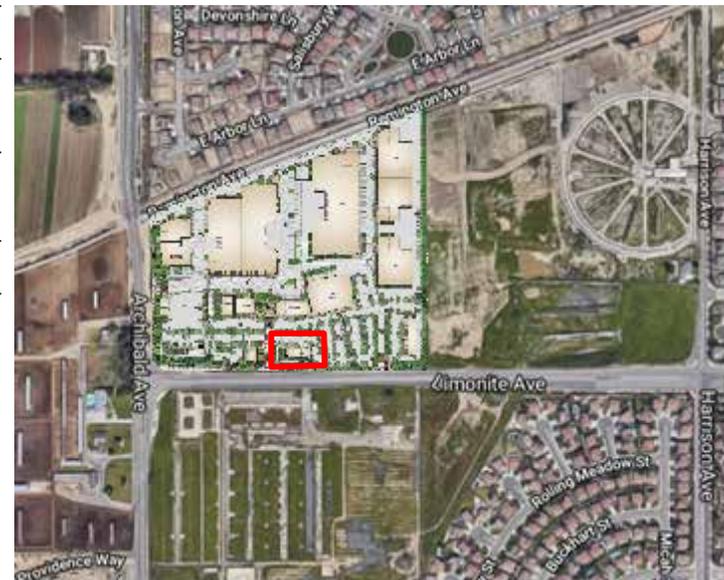
Map ID: 43

<b>Project:</b>	The Merge Retail Pad 2 Drive-Through CUP
<b>Project No.</b>	PLN19-20051
<b>Project Location:</b>	Northeast corner of Limonite Avenue and Archibald Avenue; (Assessor's Parcel Number: 164-010-019-6)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>Conditional Use Permit for the operation of a Drive-Through at Pad 2 of the Merge retail.</li></ul>
<b>Planner:</b>	Gina Gibson-Williams/Aaron Lobliner

## Notes:

- Received application on November 7, 2019.
- Application has been deemed incomplete November 7, 2019

## Project Map:



## Current Status:

- § Resubmittal 1 received on December 3, 2019
- § Resubmittal has been deemed incomplete on December 20, 2019.
- § Resubmittal 2 received on on February 3, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 44

**Project:** Tony's Chophouse and Retail Suites at Hamner Place – Major Development Review (DR)

**Project No.** PLN19-20053

**Project Location:** Southeast corner of Hamner Avenue and Schleisman Road; (Accessor's Parcel Number: 152-060-003)

**Project Description:**

- Major Development Review for a multi-tenant building to include retail suites and a potential restaurant. The restaurant is proposed to be 5,910 square feet and the shops portion of the building is 2,270 square feet for a total building floor area of 9,190 square feet.

**Planner:** Gina Gibson-Williams

**Notes:**

- Received application on November 21, 2019

**Project Map:**



**Current Status:**

- § Planning Commission consideration and approval on December 18, 2019

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

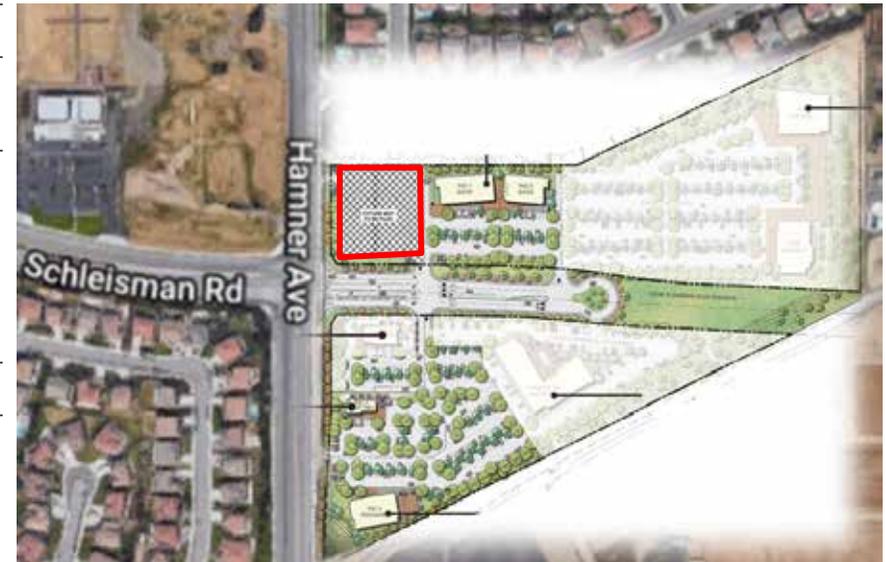
March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 45

<b>Project:</b>	Appeal for Chevron Gas Station (Hamner Place) DR & CUP
<b>Project No.</b>	PLN19-20055
<b>Project Location:</b>	7180 Hamner Avenue; northeast corner of Hamner Ave. and Schleisman Rd.; (Assessor's Parcel Number: 152-060-003)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>Appeal Planning Commission's denial for the Major Development Review for a new Chevron gas station with a 3,018 square-foot convenience store, 3,472 square-foot canopy and a Conditional Use Permit, to allow the sales of beer and wine for off-site consumption (See Map ID: 22)</li></ul>
<b>Planner:</b>	Aaron Lobliner
<b>Notes:</b>	<ul style="list-style-type: none"><li>Received application on November 26, 2019</li></ul>

**Project Map:**



**Current Status:**

- Scheduled for City Council consideration on January 22, 2020
- City Council approved the project and recommended new conditions of approval on January 22, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

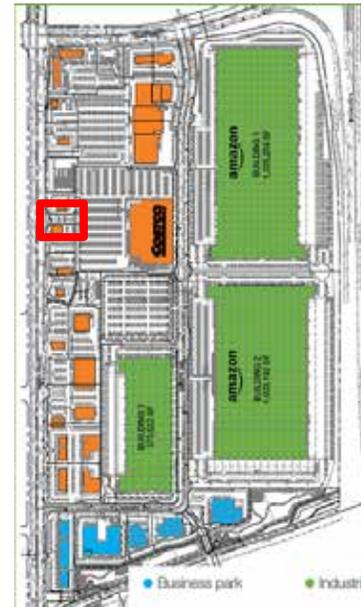
Map ID: 46

<b>Project:</b>	Goodman Commerce Center CR-8 Altura Credit Union - Major Development Review (DR)
<b>Project No.</b>	PLN19-20063
<b>Project Location:</b>	Southeast corner of Hamner Avenue and Cantu-Galleano Ranch Road – West of Goodman Way Parcel 10 of Parcel Map 37208; (Assessor's Parcel Number: 160-020-082)
<b>Project Description:</b>	<ul style="list-style-type: none"><li>Major Development Review for the development of a Credit Union Bank (CR-8) totaling approximately 5,000 square feet</li></ul>
<b>Planner:</b>	Allen Lim/Gina Gibson-Williams

## Notes:

- Received application on December 12, 2019

## Project Map:



## Current Status:

- § Routed for department review on December 23, 2019
- § Awaiting department comments to be returned to Planning
- § Planning and department comments provided to applicant on January 23, 2020
- § Resubmittal received on January 30, 2020
- § The Planning Commission approved the project on February 19, 2020

1. New projects are added to the bottom of the list as they are submitted.

# EASTVALE PLANNING: MAJOR PROJECTS SUMMARY

March 18, 2020

Highlighted Text = Updated Information<sup>1</sup>

Map ID: 47

**Project:** Goodman Commerce Center CR-6 Meet Fresh – Major Development Review (DR)

**Project No.** PLN19-20064

**Project Location:** Southeast corner of Hamner Avenue and Cantu-Galleano Ranch Road – West of Goodman Way Parcel "A" of Lot Line Adjustment 2018-001; (Assessor's Parcel Number: 160-020-088)

**Project Description:**

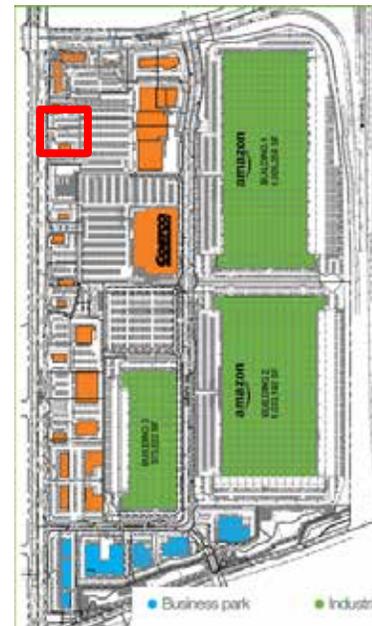
- Major Development Review for the development of a multi-tenant retail building (CR-6) totaling approximately 4,800 square feet

**Planner:** Allen Lim/Gina Gibson-Williams

**Notes:**

- Received application on December 12, 2019

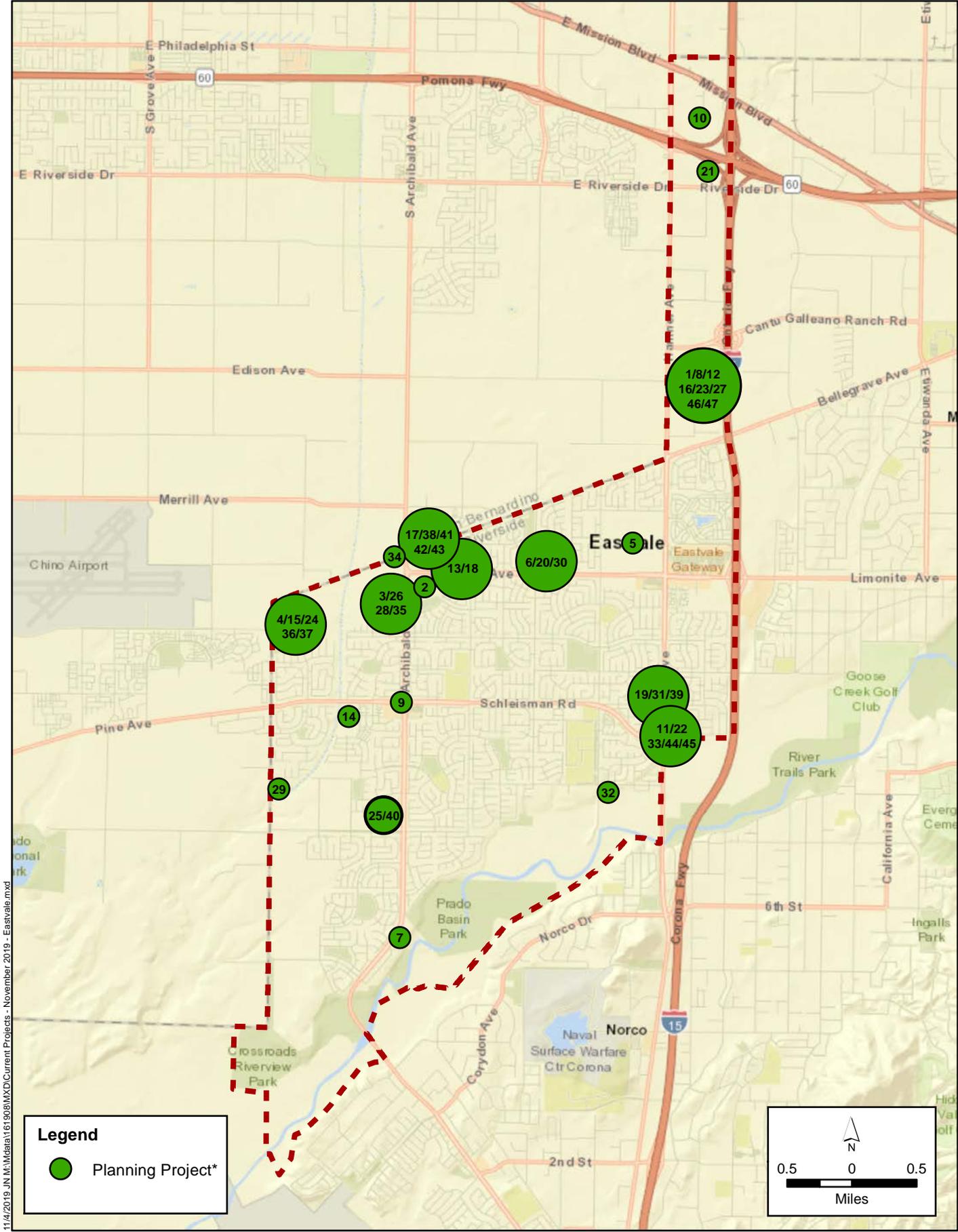
**Project Map:**



**Current Status:**

- § Routed for department review on December 23, 2019
- § Awaiting department comments to be returned to Planning
- § Planning and department comments provided to applicant on January 23, 2020
- § Resubmittal received on January 30, 2020
- § The Planning Commission approved the project on February 19, 2020

1. New projects are added to the bottom of the list as they are submitted.



11/4/2019 JN.M:\Mdaav\161908\MXD\Current Projects - November 2019 - Eastvale.mxd

Current Projects  
 Eastvale Planning  
 March 2020



## AGENDA STAFF REPORT

Planning Commission Meeting

Consent Calendar

Agenda Item No. 6.5

March 18, 2020

## Public Works Department Update

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**Prepared By:** Gina Gibson-Williams, Community Development Director

### Recommended Action(s)

Receive and File the Public Works Department Update.

### Summary

The Public Works Department provides monthly updates on development projects occurring City-wide. The list of updates includes residential and commercial projects, encroachment permits, and capital improvements projects.

### Background

Not Applicable

### Strategic Plan Action

Not Applicable

### Fiscal Impact

Not Applicable

### Prior Commission Action

Not Applicable

**Attachment(s)**

Public Works Project Status List



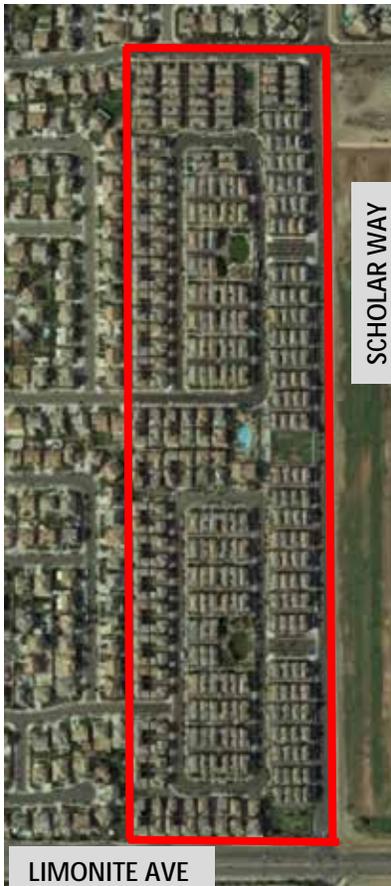
# EASTVALE PUBLIC WORKS PROJECT UPDATES

---

<b>PROJECT TYPE:</b>	Residential Development
<b>PROJECT NAME:</b>	KB Home – The Lodge (Tract 32821)
<b>PROJECT NUMBER:</b>	PW10-0124
<b>PROJECT LOCATION:</b>	Northwest corner of Limonite Avenue and Scholar Way
<b>PROJECT DESCRIPTION:</b>	Improvements includes 24 gross acres with 16 residential condominium lots and 2 lettered lots. Improvements include the construction of Scholar Way (half street) across the eastern frontage of the tract map and the associated water, sewer, and drainage improvements.
<b>PROJECT STATUS:</b>	<ul style="list-style-type: none"><li>• Public improvements 99% completed</li><li>• Punch list has been issued</li></ul>

---

**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Residential Development
<b>PROJECT NAME:</b>	Meritage Home (Tract 31406)
<b>PROJECT NUMBER:</b>	PW10-0140
<b>PROJECT LOCATION:</b>	Southwest corner of Archibald Avenue and River Road
<b>PROJECT DESCRIPTION:</b>	Improvements includes 32.7 gross acres. Widening of Archibald Avenue (west side) and the associated water, sewer, and drainage improvements, as well as the internal public streets and utilities.
<b>PROJECT STATUS:</b>	<ul style="list-style-type: none"><li>• Public improvements 99% completed</li><li>• Punch list has been issued</li></ul>
<b>PROJECT MAP:</b>	

---





# EASTVALE PUBLIC WORKS PROJECT UPDATES

<b>PROJECT TYPE:</b>	Residential Development
<b>PROJECT NAME:</b>	Beazer Homes (Tract 31476)
<b>PROJECT NUMBER:</b>	PW12-0679
<b>PROJECT LOCATION:</b>	Northeast corner of Hellman Avenue and Walters Street
<b>PROJECT DESCRIPTION:</b>	Improvements includes 40.6 gross acres. Improvements include the construction of Hellman Avenue (half street) and the associated water, sewer, and drainage improvements.
<b>PROJECT STATUS:</b>	• Punch list has been issued
<b>PROJECT MAP:</b>	





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Residential Development

---

**PROJECT NAME:** Stratham Homes (TTM 36775)

---

**PROJECT NUMBER:** PW14-1398

---

**PROJECT LOCATION:** Northwest corner of Limonite Avenue and Harrison Avenue

---

**PROJECT DESCRIPTION:** Improvements includes 43.05 gross acres. Improvements include the construction of Limonite Avenue (half street) and Harrison Avenue (half street) and the associated water, sewer, and drainage improvements.

---

**PROJECT STATUS:**

- Limonite and Harrison street improvements completed
- Onsite improvements ongoing

---

**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Residential Development

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**PROJECT NAME:** Prado (TR 35751)

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**PROJECT LOCATION:** Southeast corner of Schleisman Road and Cucamonga Flood Channel

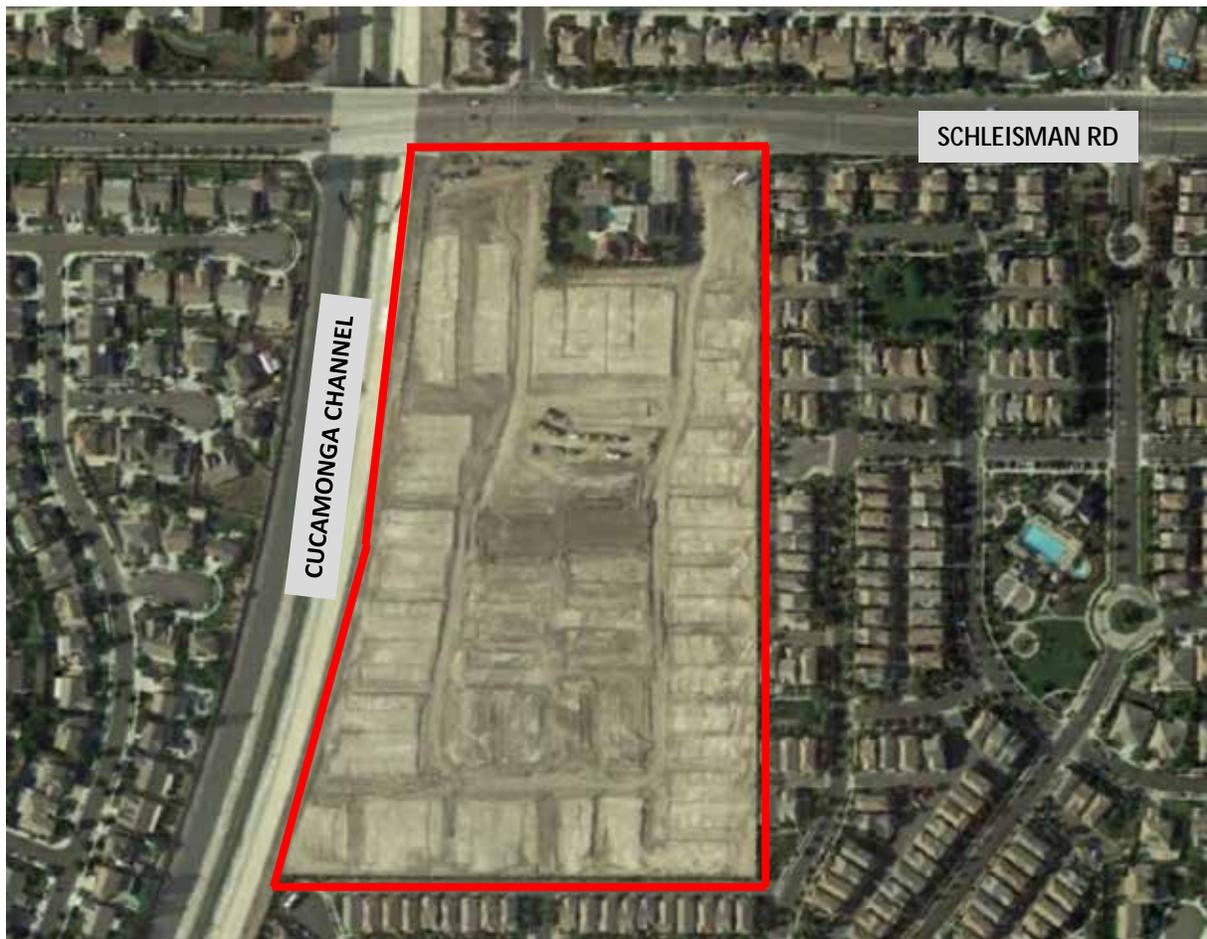
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**PROJECT STATUS:**

- Utility work ongoing
- Offsite work ongoing

---

**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Residential Development

---

**PROJECT NAME:** Pulte (TR 28943)

---

**PROJECT LOCATION:** Southeast corner of Limonite Avenue and Scholar Avenue

---

**PROJECT STATUS:**

- Onsite improvements ongoing
- Offsite improvements ongoing

---

**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Commercial Development

---

**PROJECT NAME:** The Merge

---

**PROJECT LOCATION:** Northeast corner of Limonite Avenue and Archibald Avenue

---

**PROJECT DESCRIPTION:** Improvements includes 26 gross acres.

---

**PROJECT STATUS:** • Grading operation ongoing

---

**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Commercial Development
<b>PROJECT NAME:</b>	Eastvale Marketplace at the Enclave
<b>PROJECT LOCATION:</b>	Southwest corner of Archibald Avenue and Schleisman Road
<b>PROJECT DESCRIPTION:</b>	Improvements includes 1.74 gross acres.
<b>PROJECT STATUS:</b>	<ul style="list-style-type: none"><li>• Public improvements 99% completed</li><li>• Punch list has been issued</li></ul>

---

## PROJECT MAP:





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Commercial Development
<b>PROJECT NAME:</b>	The Campus Business Park
<b>PROJECT NUMBER:</b>	PW12-0750
<b>PROJECT LOCATION:</b>	West side of Archibald Avenue south of Limonite Avenue
<b>PROJECT DESCRIPTION:</b>	Improvements includes 53.37 gross acres with 11 development parcels and 6 letter lots.
<b>PROJECT STATUS:</b>	<ul style="list-style-type: none"><li>• Public improvements completed</li></ul>
<b>PROJECT MAP:</b>	

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# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Commercial Development
<b>PROJECT NAME:</b>	Chevron Gas Station
<b>PROJECT NUMBER:</b>	PW15-0913
<b>PROJECT LOCATION:</b>	Southwest corner of Hamner Avenue and Riverside Drive
<b>PROJECT DESCRIPTION:</b>	Improvements includes 1.67 gross acres.
<b>PROJECT STATUS:</b>	<ul style="list-style-type: none"><li>• Punch list items have been issued</li></ul>
<b>PROJECT MAP:</b>	

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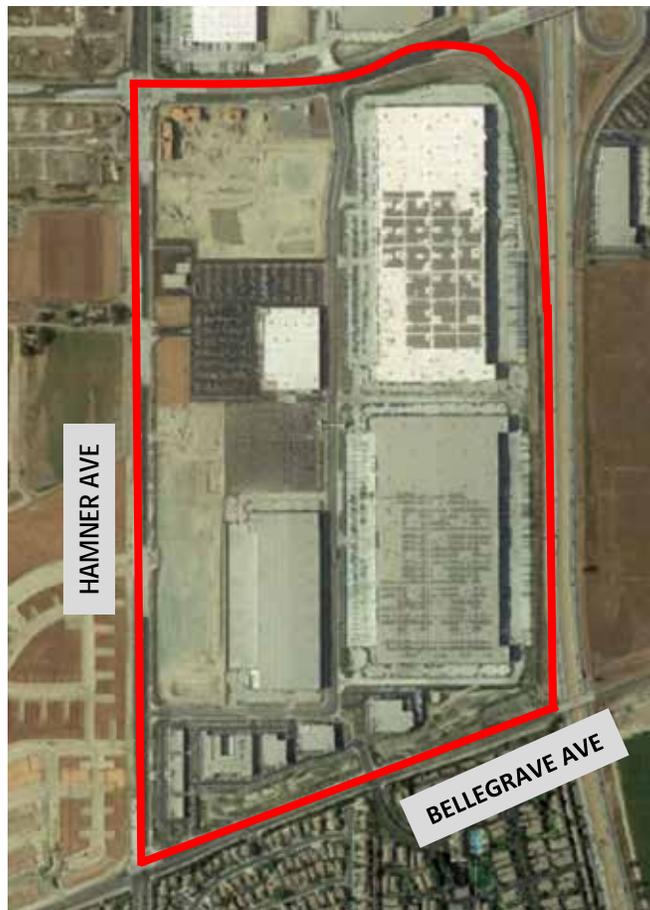


# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Commercial Development
<b>PROJECT NAME:</b>	Goodman Commerce Center
<b>PROJECT NUMBER:</b>	PW11-0271
<b>PROJECT LOCATION:</b>	Northeast corner of Hamner Ave and Bellegrave Ave
<b>PROJECT DESCRIPTION:</b>	Improvements includes 23 gross acres with 5 parcels for business park development, and 2 parcels for water quality basins.
<b>PROJECT STATUS:</b>	•Project has been accepted as complete.
<b>PROJECT MAP:</b>	

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# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Commercial Development

---

**PROJECT NAME:** The Ranch

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**PROJECT NUMBER:** PW16-00011

---

**PROJECT LOCATION:** Northeast corner of Kimball Avenue and Hellman Avenue

---

**PROJECT DESCRIPTION:** Improvements include 98 gross acres with 14 parcels including 4 business park lots, 5 commercial/retail lots and 1 parcel for detention basin for storm drain purposes.

---

**PROJECT STATUS:**

- Traffic Signal at Kimball Ave and Hellman Ave is on hold pending Chino's approval
- Offsite improvements nearing completion

---

**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Commercial Development
<b>PROJECT NAME:</b>	99 Cent Store
<b>PROJECT NUMBER:</b>	PW13-1601
<b>PROJECT LOCATION:</b>	Northwest corner of Hamner Avenue and Schleisman Road
<b>PROJECT DESCRIPTION:</b>	Improvements include 2.67 gross acres. Improvements include all public improvements across the project frontage along Schleisman Road and Hamner Avenue
<b>PROJECT STATUS:</b>	•Punch list items remaining
<b>PROJECT MAP:</b>	

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# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Commercial Development

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**PROJECT NAME:** Vantage Point Church

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**PROJECT NUMBER:** PW15-1174

---

**PROJECT LOCATION:** Northeast corner of Archibald Avenue and Prado Basin Park Road

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**PROJECT STATUS:** • Onsite improvement ongoing

---

**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Commercial Development

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**PROJECT NAME:** Hamner Place

---

**PROJECT NUMBER:** PW18-10712

---

**PROJECT LOCATION:** East of Hamner Avenue and Schleisman Road

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**PROJECT STATUS:** • Rough grading ongoing

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**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Commercial Development
<b>PROJECT NAME:</b>	Rondo Elementary School
<b>PROJECT NUMBER:</b>	PW17-10927
<b>PROJECT LOCATION:</b>	Southeast corner of Hellman Avenue and Walters Street
<b>PROJECT STATUS:</b>	<ul style="list-style-type: none"><li>• Offsite Improvement On-going</li><li>• School opens July 2020</li><li>• Traffic Signal at Hellman and Walters is being installed by Chino's development by Lewis. City of Chino and Eastvale, Lewis and CNUSD will enter into a reimbursement agreement to expedite the furnishing of the traffic signal in March.</li></ul>

---

## PROJECT MAP:





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Capital Improvements Project

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**PROJECT NAME:** Limonite/I-15 Interchange

---

**PROJECT DESCRIPTION:** The improvements consist of a new 8-lane overcrossing, 3 through lanes in each direction plus 2 turn lanes, widening of the off-ramps from 2 to 4 lanes, the addition of 2 new loop on-ramps, and the widening of Limonite Avenue to 4 lanes in each direction between Hamner Avenue to Wineville Avenue. The County of Riverside awarded a construction contract to Atkinson in amount of \$39 million. This project is being managed by the County of Riverside. Construction is estimated to be completed in November of 2019.

---

**PROJECT SCHEDULE:** Construction start date – August 23, 2018  
Anticipated Road Work Complete – November 13, 2018  
Anticipated Project Complete - Early 2020

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**PROJECT MAP:**





# EASTVALE PUBLIC WORKS PROJECT UPDATES

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**PROJECT TYPE:** Capital Improvements Project

---

**PROJECT NAME:** Limonite Gap Closure

---

**PROJECT DESCRIPTION:** Project will connect from 2,450 LF east of Hellman Ave to Archibald Avenue. The total length of the proposed project is approximately 3,200 LF including a bridge over the Cucamonga Creek. Both road and bridge will serve 4 lanes of traffic including bicycle and pedestrian facilities. A separate pedestrian bridge over the Cucamonga Creek little south of the proposed vehicular bridge, as shown on the below map, is also part of this project.

---

**PROJECT STATUS:** Design contract was awarded to Mark Thomas. 30% design due December.

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**PROJECT SCHEDULE:** Design contract award date - May 22, 2019  
Estimated 30% design complete - December, 2019  
Estimated 100% design complete - May, 2020

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**PROJECT MAP:**





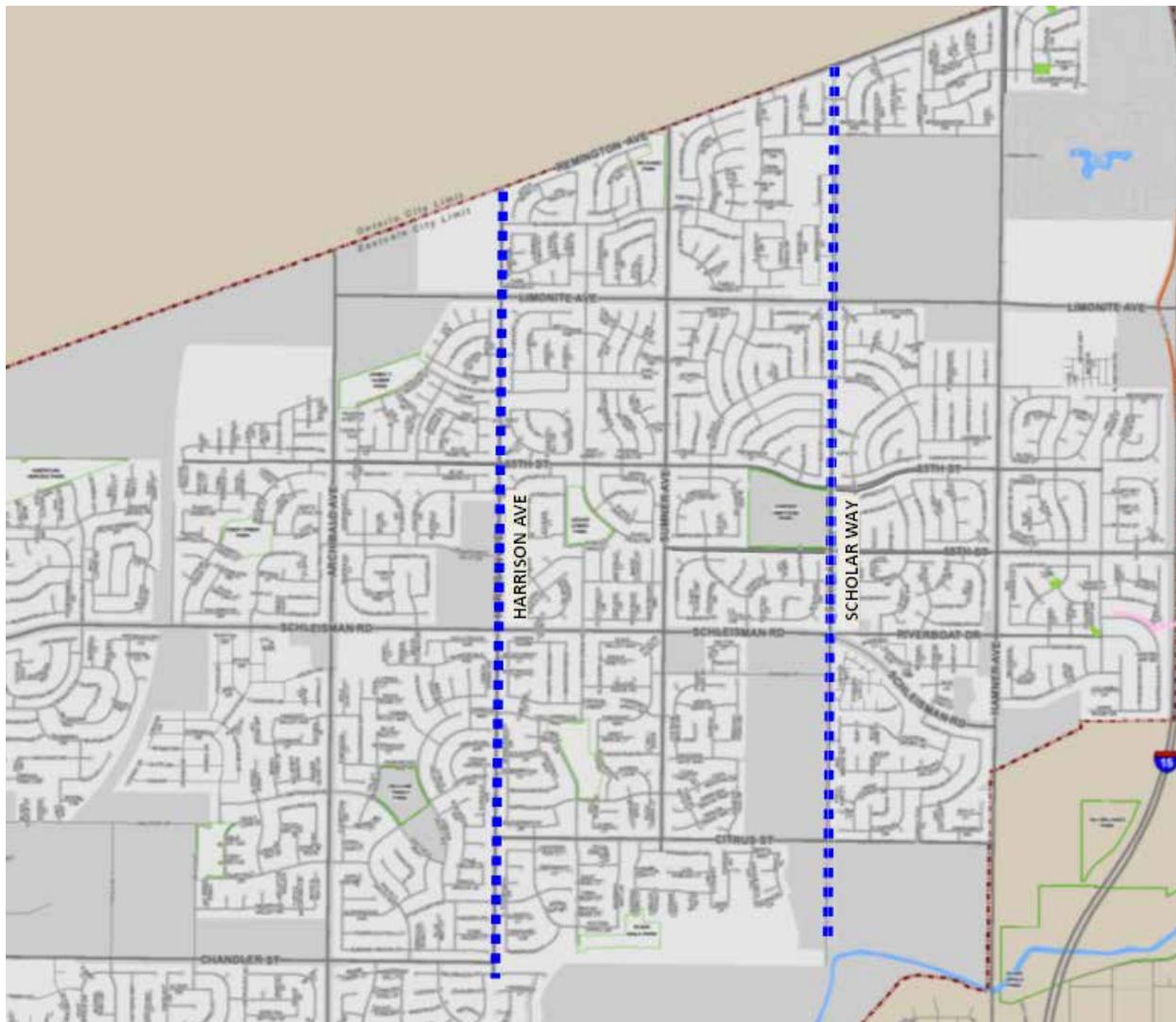
# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Capital Improvements Project
<b>PROJECT NAME:</b>	Improvement of Bike Network Connectivity/ATP Trails
<b>PROJECT DESCRIPTION:</b>	Project will design and construct nearly 5 miles of trails running along Scholar Way and Harrison Avenue. The project will provide dedicated space for people to bike and walk from north Eastvale to the Santa Ana River Trail on the south.
<b>PROJECT STATUS:</b>	Proposals have been received and are under review for the design phase.
<b>PROJECT SCHEDULE:</b>	Estimated design contract award date - March 2020 Estimated design completion date - December 2020 Estimated construction start date - March 2020

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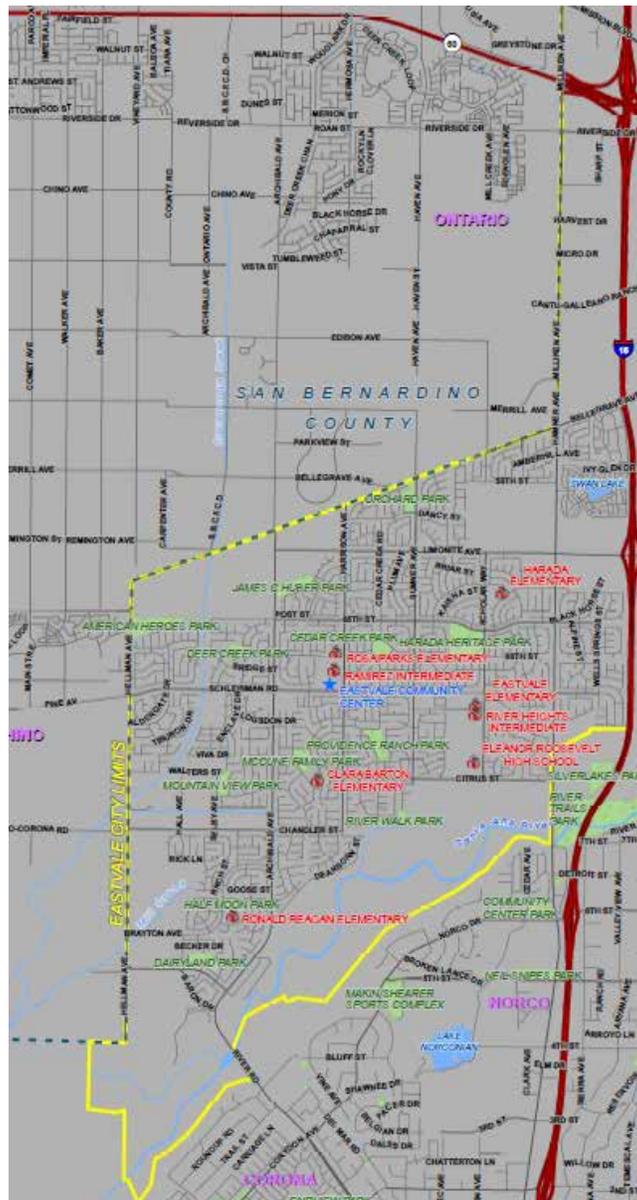
## PROJECT MAP:





# EASTVALE PUBLIC WORKS PROJECT UPDATES

<b>PROJECT TYPE:</b>	Capital Improvements Project
<b>PROJECT NAME:</b>	Systemic Safety Analysis Report
<b>PROJECT DESCRIPTION:</b>	Perform network collision analysis, identifying safety issues on the City's roadway networks, and development a list of systemic low-cost countermeasures that can be used to prepare future Highway Safety Improvement Program and other safety program applications.
<b>PROJECT STATUS:</b>	Proposals have been received and are under review.
<b>PROJECT SCHEDULE:</b>	Estimated design contract award date - December 11, 2019 Estimated report completion date - August 2020
<b>PROJECT MAP:</b>	





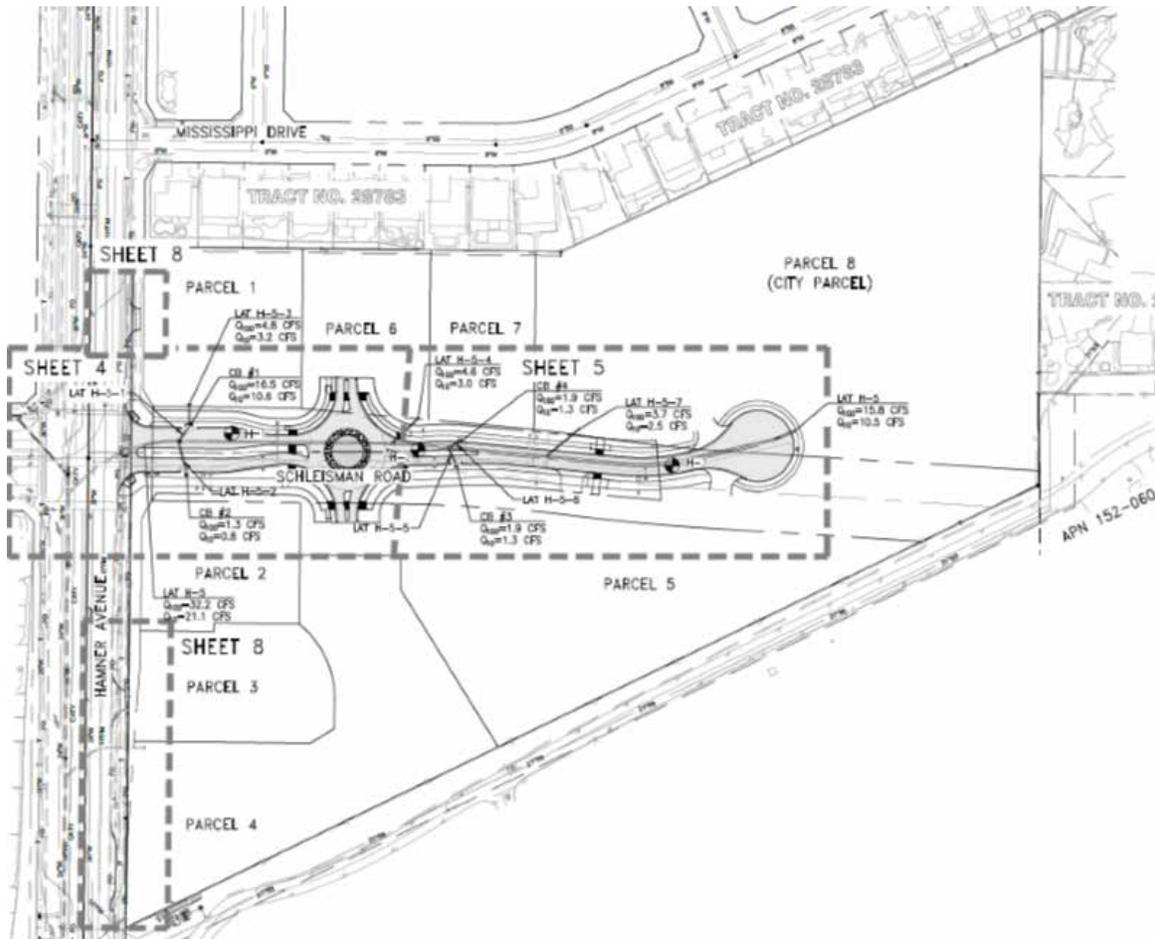
# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Capital Improvements Project
<b>PROJECT NAME:</b>	Schleisman Extension, Hamner Place Landscaping and Hamner Place Storm Drain Project
<b>PROJECT DESCRIPTION:</b>	Street Improvement along Schleisman Road from the intersection with Hamner Avenue including curb & gutter, pavement, sidewalk, a roundabout section, street lights, domestic water facilities, drainage facilities, hardscape and landscaping. The project also includes storm drain facilities along Hamner Avenue from the intersection of Schleisman Road and Hamner Avenue, to the north.
<b>PROJECT STATUS:</b>	Contractor to start work on Hamner Avenue with the utilities.
<b>PROJECT SCHEDULE:</b>	Construction contract awarded to GMC Engineering, Inc. on January 22, 2020. The construction is estimated to be completed in September 2020.

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## PROJECT MAP:





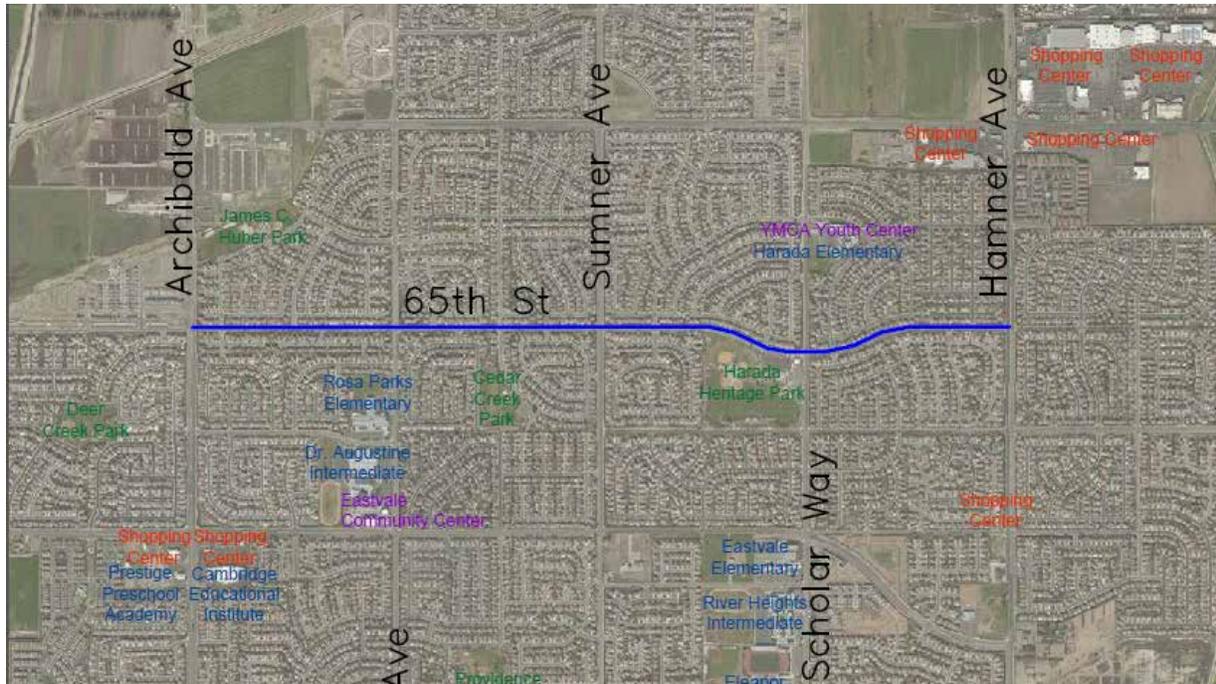
# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Capital Improvements Project
<b>PROJECT NAME:</b>	SB821 65 <sup>th</sup> Street Bicycle Safety Enhancement Project
<b>PROJECT STATUS:</b>	Enhance safety of bicyclist and pedestrians along 65 <sup>th</sup> Street between Archibald Avenue and Hamner Avenue.
<b>PROJECT STATUS:</b>	On February 5, a public meeting was held to gather community's input on this project. A proposed work plan is being developed to be presented to the City Manager. The City has 2 years to complete the project to receive the SB821 reimbursement.

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## PROJECT MAP:





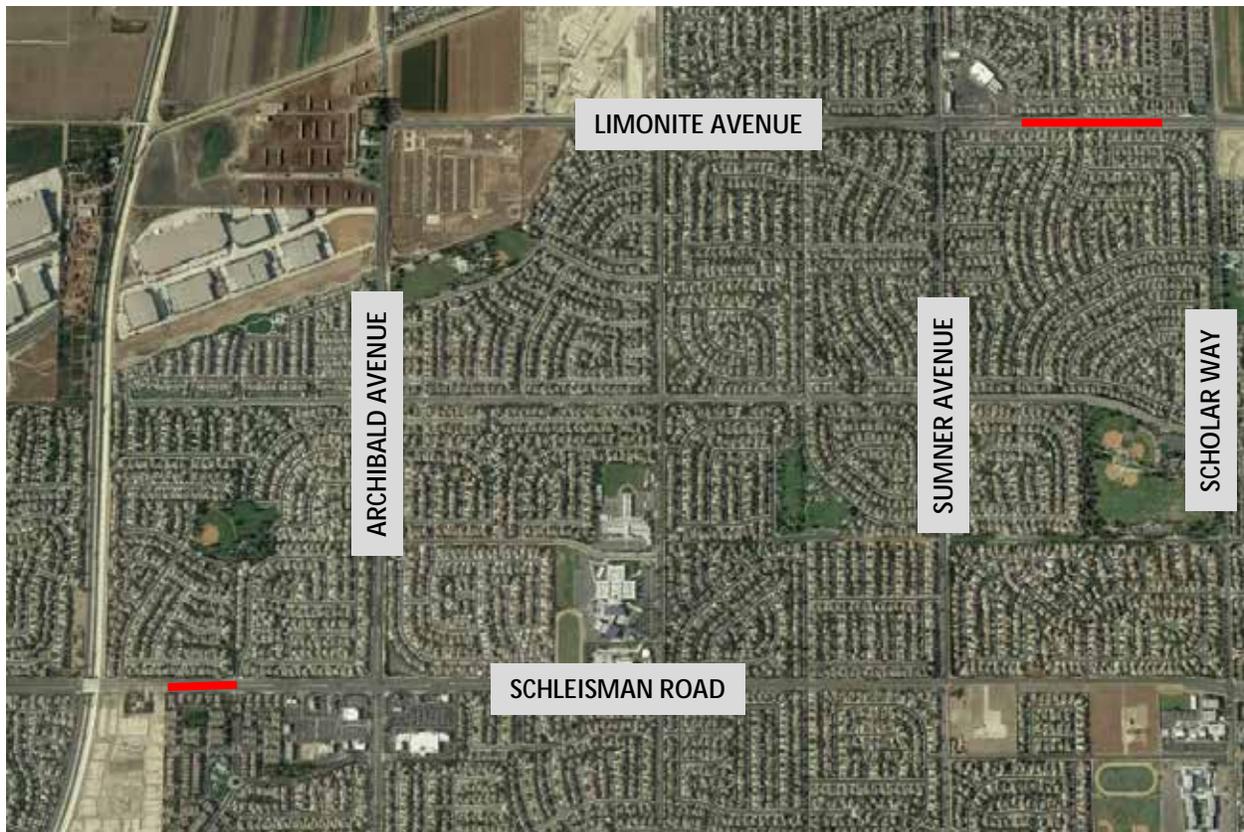
# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Capital Improvements Project
<b>PROJECT NAME:</b>	Limonite Avenue and Schleisman Road Landscape Median Project
<b>PROJECT DESCRIPTION:</b>	Install landscape in the existing medians on Limonite Avenue (between Sumner and Scholar) and Schleisman Road (between Gypsum Creek and Enclave).
<b>PROJECT STATUS:</b>	Plans are developed. A meeting is scheduled with JCSD to discuss the method of supplying water for the irrigation. Award by the Council is anticipated to be in April or May.

---

**PROJECT MAP:**



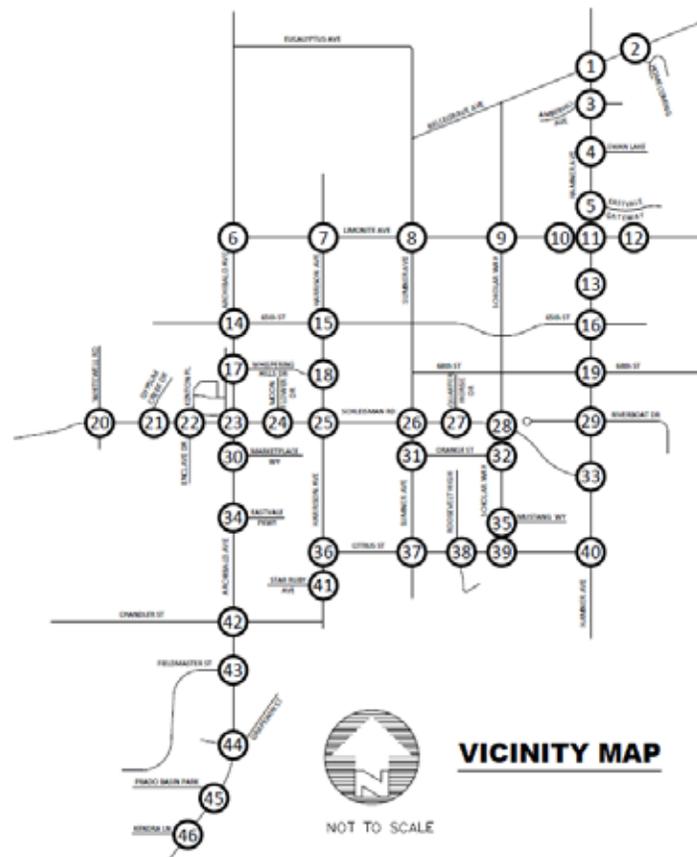


# EASTVALE PUBLIC WORKS PROJECT UPDATES

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<b>PROJECT TYPE:</b>	Capital Improvements Project
<b>PROJECT NAME:</b>	HSIP Pedestrian Countdown Head Installation Project
<b>PROJECT DESCRIPTION:</b>	Install pedestrian countdown heads on all existing crosswalk within the City of Eastvale.
<b>PROJECT STATUS:</b>	Plans and specifications are completed. A request for authorization for construction has been submitted to Caltrans. Award by the Council is anticipated to be in June or July.
<b>PROJECT MAP:</b>	

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## AGENDA STAFF REPORT

Planning Commission Meeting

Public Hearing

Agenda Item No. 8.1

March 18, 2020

**PLN 19-20026 - A request for a Change of Zone, Major Development Review, Variance, Tentative Parcel Map, and a Lot Line Adjustment for the development of a 1,055,542 square foot industrial center (The Homestead), and consideration of Environmental Impact Report and statement of overriding considerations. Applicant: Ray Polverini on behalf of Homestead LLC.**

---

**Project Planner:** Gina Gibson-Williams, Community Development Director

**Project Location:** Northwest corner of Archibald and Limonite avenues (assessor parcels numbers: 144-010-015, 018, 020, 023, 032)

**Council District:** District 5

**Applicant/Representative:** Ray Polverini on behalf of Homestead LLC

### Recommended Action(s)

1. Adopt a resolution recommending that the City Council certify the Environmental Impact Report (EIR) and adopt a statement of overriding considerations for PLN 19-20026 The Homestead project; and
2. Adopt a resolution recommending that the City Council approve PLN 19-20026, with all associated entitlements, based on the findings and conclusions of this report and subject to the attached conditions of approval.

### Project Summary

The applicant, The Homestead LLC is proposing to demolish an existing dairy, and construct an industrial development consisting of six industrial buildings totaling 1,080,060 square feet.

### Background

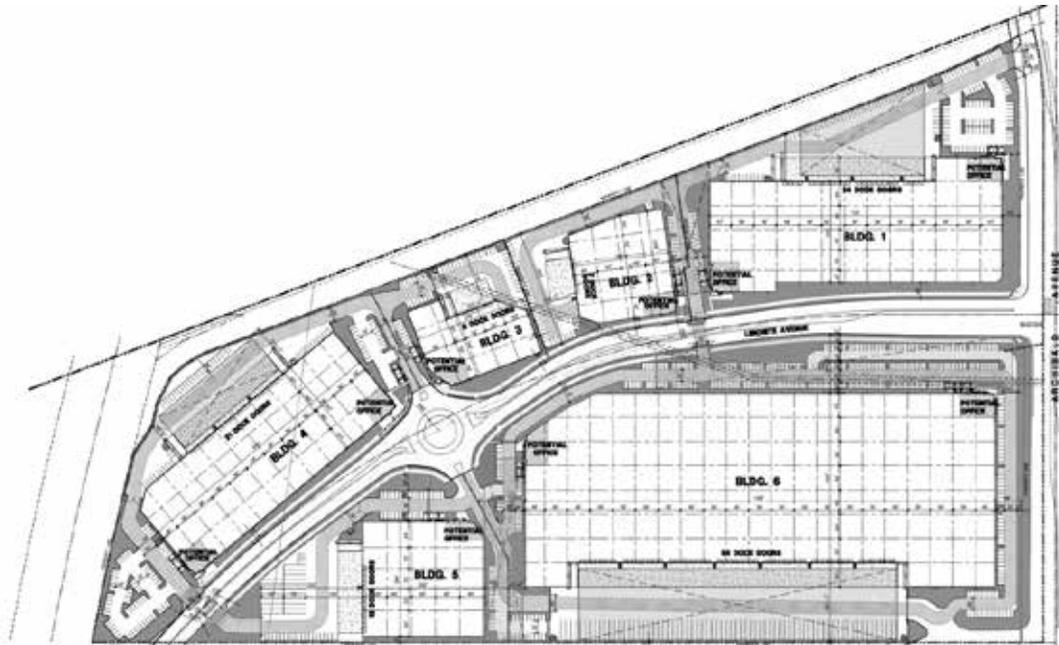
*Location*

The proposed development is located at the northwest corner of Limonite and Archibald Avenues. The parcel is an irregularly-shaped, approximately 55.86 gross acres in size. The Location Map and Aerial image is included with this report as Figure 1 below.

Figure 1- Location Map and Aerial



Figure 2- Site Plan of Project Site



## Analysis

### *Project Description*

The applicant is proposing to construct six industrial buildings on the subject site. The applicant is also providing for dedications to allow for the widening of Archibald Avenue as well as the extension of Limonite Avenue from its current western terminus at the intersection with Archibald Avenue. The extended Limonite Avenue would extend through the subject site to the western boundary at Cucamonga Creek. The applicant is also proposing the change the zoning for the project site from A-2 (agriculture) to Industrial Park. The buildings would range in size from 48,063 square feet to 507,599 square feet. Each building would contain a mezzanine area and office area. A breakdown of each building's proposed development is provided below:

Building	Office area	Mezzanine area	Warehouse area	Parking spaces provided	Building Height
Building 1	10,000 s.f.	5,000 s.f.	183,964 s.f.	154	36'
Building 2	4,000 s.f.	4,000 s.f.	55,093 s.f.	61	30'
Building 3	3,000 s.f.	2,500 s.f.	42,563 s.f.	55	30'
Building 4	8,000 s.f.	4,000 s.f.	149,071 s.f.	140	32'
Building 5	5,000 s.f.	2,000 s.f.	79,616 s.f.	73	32'
Building 6	10,00 s.f.	10,000 s.f.	487, 599 s.f.	325	40'
<b>Total</b>	40,000 s.f.	27,500	997,906 s.f.	808	

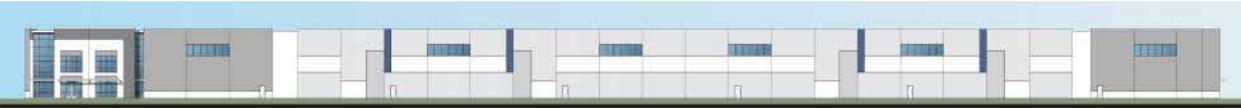
### *Development Standards*

The table below shows the development standards for the Eastvale Municipal Code compared to those proposed by the applicant:

Standard	Specification		Proposed		Meets Code
Lot Size	20,000 square feet (minimum)		Ranging from 2.52 to 21.62 acres		Yes
Lot Width	75 feet (minimum)		Ranging from 107.32 to 703.41 feet		Yes
Setbacks Yard	Front	25'	Front	25'8"-64'	Yes
	Side	10'	Side	10'-440'	
	Rear	15'	Rear	15'-136'	
	Landscape	10'	Landscape	16'-43'	
Height of primary building	75 feet (maximum)		Ranging from 30'-40'		Yes
Landscaping	10% (minimum)		14.6%		Yes
Off-street parking	771 parking spaces (minimum)		808 parking spaces		Yes

*Architectural Design*

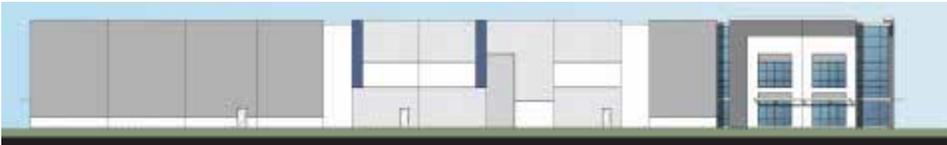
The proposed building exteriors have been designed to meet the intent of City of Eastvale Design Standards and Guidelines that include high-quality design and articulation to provide visual interest and variety (both vertically and horizontally). Varying building materials of concrete, aluminum, and colors of complementary gray tones are proposed for the building, which are consistent with nearby developments.



**Figure 3-Building 1 Front Elevation (Facing Limonite)**



**Figure 4- Building 1 Rear Elevation (Facing North)**



**Figure 5- Building 1 Side Elevation (Facing West)**



Figure 6-Building 1 Side Elevation (Facing East)

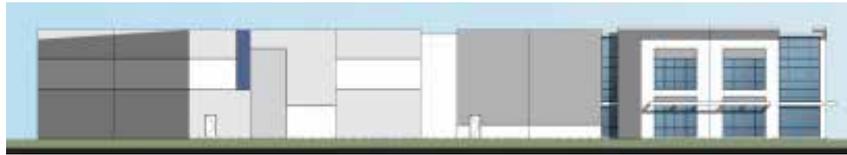


Figure 7-Building 2 Front Elevation (Facing Limonite)



Figure 8- Building 2 Rear Elevation (Facing North)



Figure 9- Building 2 Side Elevation (Facing West)



Figure 10-Building 2 Side Elevation (Facing East)



Figure 11-Building 3 Front Elevation (Facing Limonite)



Figure 12- Building 3 Rear Elevation (Facing North)



Figure 13- Building 3 Side Elevation (Facing West)

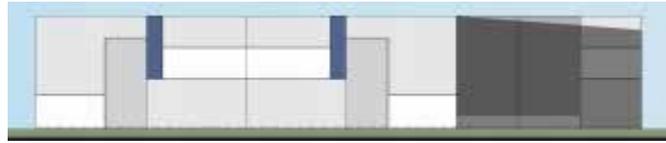


Figure 14-Building 3 Side Elevation (Facing East)



Figure 15-Building 4 Front Elevation (Facing Limonite)



Figure 16- Building 4 Rear Elevation (Facing North)



Figure 17- Building 4 Side Elevation (Facing West)



Figure 8-Building 4 Side Elevation (Facing East)



Figure 15-Building 5 Front Elevation (Facing Limonite)



Figure 16- Building 5 Side Elevation (Facing West)

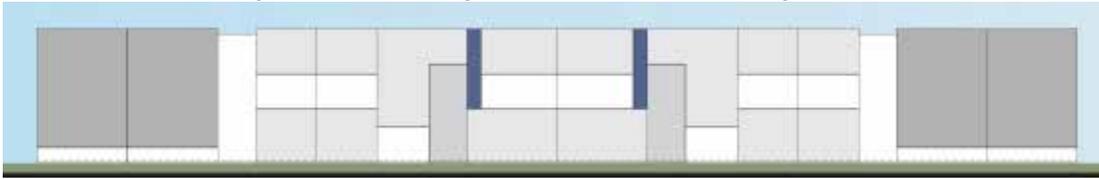


Figure 17- Building 5 Rear Elevation (Facing South)

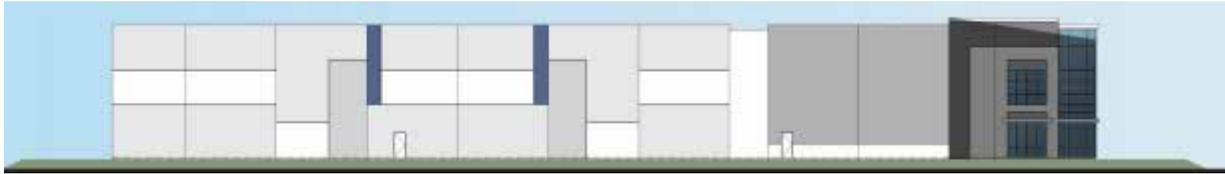


Figure 8- Building 5 Side Elevation (Facing East)



Figure 15- Building 6 Front Elevation (Facing North)



Figure 16- Building 6 Rear Elevation (Facing South)



Figure 17- Building 6 Side Elevation (Facing West)



Figure 18- Building 6 Side Elevation (Facing East)

### *Landscaping & Screening*

The conceptual landscape plan and screen wall is generally consistent with the design and landscape standards in the Eastvale Design Guidelines and Municipal Code. The proposed landscaping provides a unifying element throughout the site and in relationship to existing and planned development on the surrounding planning areas. Where feasible, project entries incorporate specimen trees and landscaping.

Overall, the proposed project, would provide 303,447 square feet of landscape, comprising 14% of the net project area.

### *ALUC Restrictions on Parking Lot Landscaping*

Due to the project's location near the Chino Airport, the project was required to undergo review by the Riverside County ALUC for compliance with the Compatibility Plan. The ALUC reviewed the project on

November 14, 2019 and determined that the project would be consistent, provided that project design include a variety of special building techniques and that landscaping in portions of the site is limited to no more than 4 feet in height, which precludes the use of trees.

The areas covered by this limitation, which is intended to provide a safe landing area for aircraft in distress, are the parking areas to the north of the building outlined in red, shown in Figure 7 below.

Figure 19-Overall Site Plan showing ALUC area

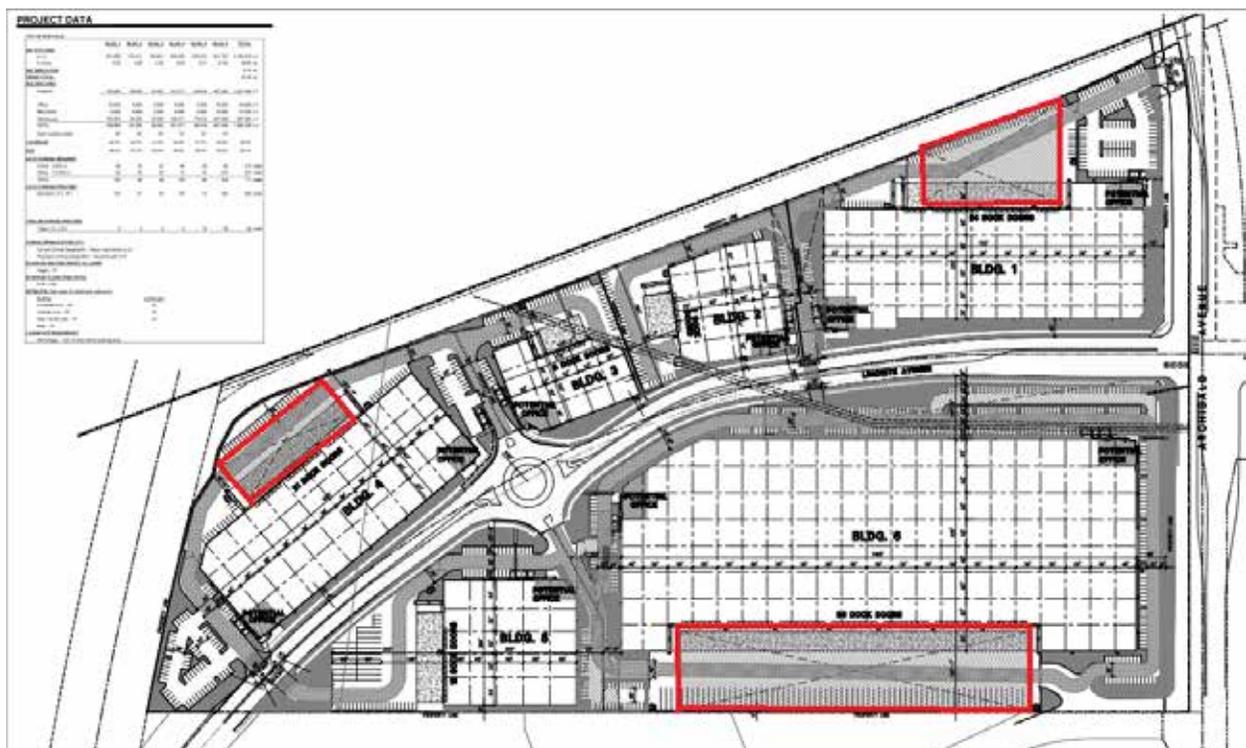


Figure 20-Existing Zoning of the project site and adjacent area



Figure 21-Proposed Zoning of the project site



*Environmental Review*

The Draft EIR examined the potential impacts generated by the proposed project in relation to the following environmental topics: aesthetics, light and glare; air quality; biological resources; energy; greenhouse gas;

hazards and hazardous materials; hydrology and water quality; land use and planning; noise; public services; transportation and traffic; tribal cultural resources; and utilities and service systems. Based on the analysis in the Draft EIR, the Project would have significant and unavoidable impacts to air quality, greenhouse gas emissions, and traffic and circulation, as identified below and described in detail in the Draft EIR.

- Air quality: conflict with an Air Quality Management Plan; NOx regional threshold exceedance for operational emissions
- GHG emissions: MTCO<sub>2</sub>e threshold exceedance; inconsistent with GHG reduction plans
- Traffic: Horizon Year intersection and roadway segment level of service (LOS) Impacts

### *Traffic Impacts*

Per the attached Trip Generation Evaluation (Urban Crossroads, December 2019) included in the EIR, the proposed project will generate 2102 trips per day, with 158 trips generated during the AM peak hour and 194 trips generated during the PM peak hour.

Under Horizon year 2040 conditions, several intersections near the project most notably Hellman and Kimball Avenues would have Level of Service (LOS) levels that exceeds the CEQA guidelines. The addition of the impacts associated with the project increases the level of impact on the intersection in a manner that exceeds the CEQA guidelines, and therefore constitutes an impact.

### *Air Quality*

Per the attached Air Quality analysis in the EIR, the proposed project would exceed operational Nitrogen Dioxide and Nitrogen Oxide (NOx) limits due to the emissions from passenger vehicles and trucks. These emissions would create a significant and unavoidable impact.

### *Greenhouse gases*

Per the GHG analysis provided by Urban Crossroads, the proposed project would have a total emission level of 11,848 MT CO<sub>2</sub>e per year exceeding the 10,000 threshold from Southern California Air Quality Management District (SCAQMD). The project would include a number of design features to help limit emissions such as infrastructure for photo-voltaic solar panels, electric powered forklifts, and a water efficient landscape plan. However, because neither the project proponent nor the lead agency has regulatory authority over tailpipe emissions, there are no feasible mitigation measures that would reduce GHG emissions to levels that are less than significant. The following mitigation measures would reduce GHG emissions to the extent feasible. However, the project would have significant and unavoidable impacts.

### *Mitigation Measures*

The project incorporates several mitigation measures to attempt to limit the significant and unavoidable impacts:

Traffic:

- Mitigation Measure T-4 requires the applicant to pay a fair share fee for traffic improvements at six impacted intersections.

#### Air Quality

- Mitigation Measure AQ-1 discourages truck idling by posting signage notifying truck drivers not to idle for longer than five minutes.
- Mitigation Measures AQ-2-4 encourages the use of energy efficient trucks, carpooling, and energy efficient equipment.

However, the EIR indicates that with mitigation measures incorporated, the impacts of the project constitute a significant and unavoidable impact. In order for the project to be approved, the City Council would need to adopt a statement of overriding considerations in accordance with Section 15091 of the CEQA guidelines. The benefits of the proposed project that should be weighed against these significant and unavoidable impacts include economic growth, increased employment opportunities for highly skilled workers, reduction in per capita vehicle miles traveled, the promotion of sustainable development, and maximizing existing infrastructure. The Homestead project will help create an employment center in Eastvale, thereby limiting the need for residents to commute, while improving the area's physical image and helping business owners comply with regional sustainability regulations and mandates. All of these factors and benefits outweigh the unavoidable environmental impacts identified in the EIR.

#### Required Project Findings

##### *Recommendation of Certification of EIR by the City Council*

Staff proposes that the Planning Commission recommend that the City Council, in light of the whole record, including but not limited to the City's local CEQA guidelines and thresholds of significance, the DEIR, the findings of fact (Attachment 4), and documents incorporated therein by reference, any written comments received and responses provided, and other substantial evidence (within the meaning of Public Resources Code Sections 21080(e) and 21082.2) within the record and/or provided at the public hearing, find, determine, and certify as follows:

- A. Review Period: That the DEIR has been provided for public review from January 24, 2020 to March 10, 2020 which satisfies the duration required under CEQA Guidelines Sections 15087 and 15105.
- B. Compliance with Law: That the DEIR was prepared, processed, and noticed in accordance with CEQA (Public Resources Code Section 21000 et seq.), the CEQA Guidelines (14 California Code of Regulations Section 15000 et seq.), and the local CEQA guidelines and thresholds of significance adopted by the City of Eastvale. That the DEIR was presented to the Planning Commission, and the City has reviewed and considered the information contained in the DEIR, and public testimony received thereon during the hearing prior to any action on the proposed Change of Zone, Major Development Review, Tentative Parcel Map, and Variance for Project No. 19-0026.

- C. Independent Judgment: That the DEIR reflects and represents the City of Eastvale's independent judgment and analysis and adequately addresses the impacts of, and proposes appropriate mitigation measures upon, the City's actions in approving or taking action on proposed Project No. 19-0026.
- D. Mitigation Monitoring Program: That a Mitigation Monitoring and Reporting Program was prepared for adoption to ensure compliance during project implementation and that changes to the project and/or mitigation measures have been incorporated into the project and are fully enforceable through permit conditions, agreements, or other measures as required by Public Resources Code Section 21081.6.
- E. Modifications: That the modifications to the FEIR which have been made since circulation of the Draft EIR do not constitute the addition of new significant information to the EIR within the meaning of CEQA Guidelines Section 15088.5.

*Recommendation of adoption of Statement of Overriding Considerations by the City Council*

Prior to approving a project for which an EIR determined that one or more significant impacts would remain after mitigation, the City must find that specific overriding economic, legal, social, technological, or other benefits of the project outweigh the significant effects on the environment. The findings must be a written statement of the City's specific reasons supporting its action based on the Final EIR and other information in the record. The requirements for a Statement of Overriding Considerations are established in Section 15093 of the State CEQA Guidelines (14 CCR 15000 et seq.) and in the CEQA statute in Section 21081 of the Public Resources Code. City staff believes that the following benefits override the Projects' significant environmental impacts:

- Maximize Use of Existing Infrastructure. The project will accommodate additional growth by first focusing on the use and reuse of land supplied with infrastructure, with an emphasis on investing in infrastructure to meet the long-term goals of the City. The proposed project is located at the intersection of Limonite and Archibald Avenues and will expand the capacity of both roadways. This will allow the roadways to move toward the ultimate design width and capacity. The proposed project would be developed in an area that was anticipated by the General Plan as a future growth area for commercial or industrial uses.
- Reduced Vehicle Miles Traveled. The proposed project would be expected to reduce vehicle miles traveled by residents who are currently working outside of the area, and reducing the amount of greenhouse gas emissions on a per resident basis.
- Employment Opportunities for highly skilled workers. The proposed project would create six industrial buildings for light industrial uses. This Project would accordingly attract highly skilled workers to the project site and create an economic benefit for the City.
- Sustainable Design. The proposed project incorporates a number of sustainable design elements including but not limited to photo-voltaic solar panels, electric powered forklifts, and a water efficient landscaping, and infrastructure for electric vehicle charging.

*Major Development Review*

Finding 1: The proposed project is consistent with the City's General Plan as specified in Government Code Section 65451.

Evidence: The proposed General Plan land use designation for the site is Light Industrial. The Light Industrial land use designation allows for the development of a wide variety of industrial and related uses, including assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers, and supporting retail uses. The proposed project is consistent with the General Plan.

Finding 2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence: The proposed project has been designed to conform to the logical pattern of development as envisioned by the Eastvale General Plan and has been designed to satisfy the General Plan design policies. The project has been designed with high-quality urban design, architecture, and landscaping and includes providing pedestrian open space area and connectivity between the office and commercial/retail buildings, and landscaping along the proposed private street and driveways. The project has been designed to provide connections to the future trail along the Southern California Edison (SCE) easement, which will promote pedestrian activities between the project site and nearby uses including a pedestrian connection from the future Limonite alignment to the trail along the SCE easement. Thus, the proposed design is consistent with the Design Element of the General Plan.

Finding 3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting, and similar elements, establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The architecture of the proposed industrial and office buildings as conditioned, has been designed to satisfy the design goals and policies of the Eastvale Design Guidelines and Municipal Code. The elevations of the buildings that are visible to the public have been designed to create variation and interest to minimize their large scale and to satisfy the design goals.

Finding 4: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence: The proposed project is conditioned to provide roadway dedications and improvements to ensure adequate circulation to and from the site. All streets have also been designed to handle the type and quantity of vehicular traffic associated with the project proposal. As conditioned, the project will include sidewalk and pedestrian and bicycle connections that will not create conflicts with motorized vehicles.

Finding 5: The proposed project is consistent with the most recently adopted version of the Chino Airport Land Use Compatibility Plan.

Evidence: On November 14, 2019, the Riverside County Airport Land Use Commission (ALUC) reviewed the project design and found that the proposed project is consistent with the Chino Airport Land Use Compatibility

Plan. The ALUC recommended that several conditions be placed on the project to ensure consistency with the airport. Those conditions have been added to the conditions of approval for the project. The proposed project meets these conditions and requirements; therefore, the proposed project is consistent with the most recent adopted version of the Chino Airport Land Use Compatibility Plan.

### *Change of Zone Findings*

Finding 1: The changes are consistent with the General Plan goals, policies, and implementation programs.

Evidence: The proposed Change of Zone for the eastern half of the project site Agriculture to Industrial Park zoning is consistent with the proposed General Plan land use designation of Light Industrial for the project site. The Business Park zoning permits a variety of light industrial and warehouse and distribution uses which is consistent with the Light Industrial land use designation.

Finding 2: The amendment is consistent with the most recent adopted version of the Chino Airport land Use Compatibility Plan.

Evidence: The Airport Land Use Compatibility Plan shows that portions of the project site is located in Zones C and D, which prohibits highly noise-sensitive outdoor nonresidential uses, discourages schools, hospitals, and nursing homes, and requires airspace review for structures higher than 70 feet. The proposed project does not involve development of prohibited or discouraged uses in these zones. The proposed building has been designed to not exceed 40 feet in height and the intensity of the project is within the maximum intensity allowed in both zones. Additionally, the project site plan was reviewed and determined by the Riverside County Airport Land Use Commission to be consistent with average intensity allowed in both Zones C and D. Thus, the project is consistent with the policies of the City of Eastvale General Plan and the Airport Land Use Compatibility Plan.

### *Tentative Parcel Map 37771 Findings*

Finding 1: The proposed map is consistent with the City's General Plan and any applicable specific plan as specified in Government Code Section 65451. Evidence: The General Plan land use designation of the site is Light Industrial and the project involves a change of zone of the site from Agriculture to Industrial Park, which will allow for uses consistent with the Light Industrial land use designation.

Finding 2: The design of the proposed project is consistent with the City's General Plan and any applicable specific plan.

Evidence: Vehicular access to the proposed project would occur from Limonite Avenue and Archibald Avenue. Both roadways are major arterial roadways and are suited for the traffic volumes associated with the proposed project. Additionally, the proposed project would provide sidewalks along its frontages with both roadways, thereby closing a gap in the City's pedestrian network. The project would also involve the extension of Limonite avenue, improving vehicular connectivity to the site. Collectively, these characteristics would promote land use patterns and transportation networks that not only encourage physical activity and promote healthy living, but are also consistent with all City standards applicable to industrial

development, which are designed to provide satisfactory pedestrian and vehicular circulation, including emergency vehicle access and on- and off-site public improvements. Further, all streets, utilities, and drainage facilities have been designed and are required to be constructed in conformance with City standards.

Finding 3: The site is physically suitable for the type and proposed density of development.

Evidence: On site topography is generally flat without significant slopes and consists of approximately 55.86 gross acres that would be developed with six light industrial buildings. The project site previously supported a dairy and is characterized as an underutilized, infill site. It does not have any environmental constraints (floodplains, waterways, earthquake faults, steep slopes, etc.). In addition, the project site is located within an area of Eastvale that is primarily industrial, with industrial development to the west, south, and east. The proposed project would be easily accessible to multiple modes of transportation (car, bus, bike, or foot) and, therefore, advance the objective of reducing the number and length of motor vehicle trips. Given this, the site is physically suitable for the type and proposed density of development.

Finding 4: The design of the subdivision or proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Evidence: The City prepared an EIR for the proposed project. The EIR analyzed the required environmental issues required by CEQA. However, through the CEQA process, it was determined that the proposed project would not have any impact to fish or wildlife or their habitat. Further, the draft EIR was made available for the required 45-day public review period which started on January 24, 2020, and concluded on March 10, 2020, and no comments were received from any state agency related to fish or wildlife. The design of the subdivision and proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Finding 5: The design of the subdivision or type of improvements is not likely to cause serious public health problems.

Evidence: The designs of the project and subdivision are in conformance with the City's General Plan, Zoning Code, and the Subdivision Ordinance No. 460. The construction of all improvements on the site has been conditioned to comply with all applicable City of Eastvale ordinances, codes, and standards including, but not limited to, the California Uniform Building Code and the City's ordinances relating to stormwater runoff management and controls. The City's ordinances, codes, and standards have been created based on currently accepted standards and practices for the preservation of the public health, safety, and welfare.

Finding 6: The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

Evidence: The proposed site contains a gas easement and will involve the dedication of a roadway for the extension of Limonite Avenue, and the widening of Archibald Avenue. The proposed dedications and easements will not conflict with the proposed subdivision and will encourage pedestrian and vehicular circulation around the project site.

## *Variance Findings*

Finding 1: There are special circumstances applicable to the property, including size, shape, topography, location or surroundings, such that the strict application of this title deprives such property of privileges enjoyed by other properties in the vicinity and under identical land use zoning district classifications.

Evidence: The project site is required by the City to provide 50-percent shading per the Eastvale Municipal Code. However, because conditions of approval from the Riverside County Airport Land Use Commission (ALUC) limit the use of trees in several areas of the parking lot, required shading standards cannot be met. In order to meet the requirements of the Riverside County ALUC, the project must reduce landscaping provided. The special circumstance which requires a variance from the parking lot shading requirement is the site's location near the Chino Airport, which places the project in the airport's "Zone C" safety area and leads to the requirement for open space areas. Other projects have been approved by the City in Zone C, but those were able to meet the open space requirement without a variance because they included private roadways and other large areas such as truck loading docks that did not need to be landscaped. Therefore, the granting of this application is consistent with and required of all projects located in certain airport compatibility zones which require the provision of as much open land as possible in order to reduce large obstacles in an event that a light aircraft is forced to land away from an airport.

Finding 2: Granting the variance does not constitute a special privilege inconsistent with the limitations upon other properties in the vicinity and land use zoning district in which such property is located.

Evidence: Granting the variance would not grant a special privilege to the applicant. Granting the variance does not increase the amount of development that can take place compared to other similarly zoned industrial sites and would not reduce the amount of parking. Granting the variance would place fewer trees in a portion of the parking areas designated as ALUC landing areas. However, the project is conditioned to plant the trees elsewhere on the site.

Finding 3: Granting the variance will not adversely affect the interests of the public or the interests of residents and property owners in the vicinity of the premises in question.

Evidence: Because the reduction in landscaping is site specific, adjacent property owners will not be affected by the reduction in shading. Therefore, even though granting the variance would reduce the amount of landscaping and shade in a portion of the The Homestead site, the effect of this reduced landscaping would be limited to the project site and would not have "spillover" impacts that would affect adjacent properties.

Finding 4: Granting the variance is consistent with the objectives of the general plan and zoning code.

Evidence: Although the variance would allow less parking shade in portions of the parking lot, it would facilitate the development of the site. Denying the variance and limiting parking to the area that could be shaded to meet Zoning Code requirements, would limit industrial development to a much smaller size. Therefore, granting the variance would be consistent with the objectives of the General Plan and Zoning Code to provide new industrial development and job creation opportunities.

Finding 5: If the project as approved with the variance is located within the Chino Airport influence area, the approved variance is consistent with the most recently adopted version of the airport land use compatibility plan.

Evidence: The Riverside County ALUC has determined that the proposed project is consistent with the Chino Airport Land Use Compatibility Plan.

#### Public Hearing Notification and Comment

A notice of availability for the draft environmental impact report was published in the Riverside Press Enterprise. The comment period for the Environmental Impact Report was from January 24, 2020 to March 10, 2020. The City received four comment letters which are included as an appendix in the EIR, as well as the City's response.

The project requires a 10-day public hearing notification period for property owners and tenants within a 600-foot radius of the project site. The public hearing notice was published on March 7, 2020 for the Planning Commission meeting on March 18, 2020. On March 5, 2020, a total of 45 notices were sent via USPS first class mail. A map showing the properties that received notification, and a mailing list, are included as Attachment 3, Notification Map and Mailing List, to this staff report. At the time of staff report preparation, no comments have been received.

### **Strategic Plan Action – Priority Level: 1A | Target #: 3 | Goal #: 3**

Create value-added development

#### **Fiscal Impact**

Processing of the proposed Major Development Review will have no fiscal impact on the City as the project is funded by the applicant.

#### **Attachment(s)**

1. Resolution Recommending City Council Approval of the project
2. Conditions of Approval for the Major Development Review
3. Conditions of Approval for the Variance
4. Conditions of Approval for Tentative Parcel Map 37771
5. Radius Map and Mailing List
6. Development Plans
7. Draft Environmental Impact Report and Appendices

**RESOLUTION NO. 20-XX**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF EASTVALE, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE PLN 19-20026, A MAJOR DEVELOPMENT REVIEW, VARIANCE, TENTATIVE PARCEL MAP, AND LOT LINE ADJUSTMENT FOR THE DEVELOPMENT OF A 1,055,542 SQUARE FOOT INDUSTRIAL CENTER (THE HOMESTEAD), AND RECOMMENDATION THAT THE CITY COUNCIL CERTIFY THE ENVIRONMENTAL IMPACT REPORT FOR PLN 19-20026 AND ADOPT A STATEMENT OF OVERRIDING CONSIDERATIONS.**

**WHEREAS**, the applicant, Raymond Polverini on behalf of Homestead LLC, submitted Planning Application No. 19-20026, A Major Development Review, Variance, Tentative Parcel Map, and Lot Line Adjustment for the development of a 1,055,542 square foot industrial center (The Homestead) at the northwest corner of Archibald and Limonite Avenues, Assessor's Parcel Number 144-010-015, 018, 020, 023, 032, know herein as the "project"; and

**WHEREAS**, the proposed project (Project No. PLN19-20026) is considered a "project" as defined by the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq.; and

**WHEREAS**, the City, as the Lead Agency, determined that the proposed project required the preparation of an Environmental Impact Report (EIR) for compliance with the provisions of CEQA; and

**WHEREAS**, on September 16, 2019, using the method under CEQA Guidelines Section 21092, the City provided a Notice of Preparation (NOP) for the proposed Draft EIR (SCH No. 2018061065) to the State Office of Planning and research (OPR) and the Riverside County Clerk, and also published the NOP in compliance with state law in the Press Enterprise, a local newspaper of general circulation, regarding a public scoping meeting and a 30-day public commenting period; and

**WHEREAS**, on January 24, 2020, using the method required under CEQA Guidelines Section 15087, the City provided a Notice of Availability (NOA) for the proposed Draft EIR (SCH No. 2018061065) to the State Office of Planning and Research (OPR) and the Riverside County Clerk, and also published the NOA on January 24, 2020 in compliance with state law in the Press Enterprise, a local newspaper of general circulation, regarding the 45-day public review period; and

**WHEREAS**, the City made the proposed Draft EIR available for public review beginning January 24, 2020, and concluding on March 10, 2020, a period of not less than 45 days as prescribed by law; and which during said public review period, the City received 8 written comment letters concerning aesthetics, air quality, agriculture, hazardous materials, land use and planning, noise, tribal cultural resources, and water quality; and

**WHEREAS**, the Planning Commission conducted a duly noticed public hearing on March 18, 2020, at which public testimony was received concerning Project No. PLN19-20026; and.

**WHEREAS**, on March 7, 2020, the City of Eastvale City Clerk published a legal notice concerning Project No. PLN19-20026 in the Press Enterprise, a local newspaper of general circulation, regarding the Planning Commission meeting on March 18, 2020. In addition, on March 5, 2020, a public hearing notice was mailed to each property owner and commercial tenant within a 600-foot radius of the project site, indicating time and place of the public hearing for Project No. PLN19-20026; and

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EASTVALE DOES HEREBY RESOLVE, DETERMINE, AND ORDER AS FOLLOWS:**

**SECTION 1. FINDINGS FOR ENVIRONMENTAL IMPACT REPORT:**

The Planning Commission of the City of Eastvale, in light of the whole record before it, including, but not limited to, the City's local CEQA guidelines and thresholds of significance, the EIR incorporated herein by reference, and other documents incorporated therein by reference, any written comments received and responses provided, and other substantial evidence, within the meaning of Public Resources Code Sections 21080(e) and 21082.2, within the record and/or provided at the public hearing, hereby finds, determines, and certifies as follows:

A. Review Period: That the EIR has been provided for public review within the duration required under CEQA Guidelines Sections 15087 and 15105.

B. Compliance with Law: That the EIR was prepared, processed, and noticed in accordance with CEQA (Public Resources Code Section 21000 et seq.), the CEQA Guidelines (14 California Code of Regulations Section 15000 et seq.), and the local CEQA guidelines and thresholds of significance adopted by the City of Eastvale. That the DEIR was presented to the Planning Commission, and the Planning Commission has reviewed and considered the information contained in the DEIR, and public testimony received thereon during the hearing, prior to any action on the project.

C. Independent Judgment: That the EIR reflects and represents the City of Eastvale's independent judgment and analysis and adequately addresses the impacts of, and proposes appropriate mitigation measures upon, the City's actions in approving or taking action on proposed Project No. PLN19-20026.

D. Mitigation Monitoring Program: That a Mitigation Monitoring and Reporting Program (MMRP) was prepared as part of the EIR and included herein as attachment 7 for adoption to ensure compliance during project implementation and that changes to the project and/or mitigation measures have been incorporated into the projects and are fully enforceable through permit conditions, agreements, or other measures as required by Public Resources Code Section 21081.6.

E. Statement of Overriding Considerations: That the Statement of Overriding Considerations was prepared and verifies that the proposed projects will result in the occurrence of significant effects which are identified in the EIR but are not avoided or substantially lessened within the meaning of CEQA Guidelines Section 15093.

## **SECTION 2: FINDINGS FOR THE MAJOR DEVELOPMENT REVIEW**

Pursuant to Section 120.02.010 "c""6" of the Eastvale Municipal Code, the City Council makes the following findings pertaining to the approval of Major Development Review No. PLN19-20026:

Finding 1: The proposed project is consistent with the City's General Plan as specified in Government Code Section 65451.

Evidence: The proposed General Plan land use designation for the site is Light Industrial. The Light Industrial land use designation allows for the development of a wide variety of industrial and related uses, including assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers, and supporting retail uses. The proposed project is consistent with the General Plan.

Finding 2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence: The proposed project has been designed to conform to the logical pattern of development as envisioned by the Eastvale General Plan and has been designed to satisfy the General Plan design policies. The project has been designed with high-quality urban design, architecture, and landscaping and includes providing pedestrian open space area and connectivity between the office and commercial/retail buildings, and landscaping along the proposed private street and driveways. The project has been designed to provide connections to the future trail along the Southern California Edison (SCE) easement, which will promote pedestrian activities between the project site and nearby uses including a pedestrian connection from the future Limonite alignment to the trail along the SCE easement. Thus, the proposed design is consistent with the Design Element of the General Plan.

Finding 3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting, and similar elements, establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The architecture of the proposed industrial and office buildings as conditioned, has been designed to satisfy the design goals and policies of the Eastvale Design Guidelines and Municipal Code. The elevations of the buildings that are visible to the public have been designed to create variation and interest to minimize their large scale and to satisfy the design goals.

Finding 4: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

Evidence: The proposed project is conditioned to provide roadway dedications and improvements to ensure adequate circulation to and from the site. All streets have also been designed to handle the type and quantity of vehicular traffic associated with the project proposal. As conditioned, the project will include sidewalk and pedestrian and bicycle connections that will not create conflicts with motorized vehicles.

Finding 5: The proposed project is consistent with the most recently adopted version of the Chino Airport Land Use Compatibility Plan.

Evidence: On November 14, 2019, the Riverside County Airport Land Use Commission (ALUC) reviewed the project design and found that the proposed project is consistent with the Chino Airport Land Use Compatibility Plan. The ALUC recommended that several conditions be placed on the project to ensure consistency with the airport. Those conditions have been added to the conditions of approval for the project. The proposed project meets these conditions and requirements; therefore, the proposed project is consistent with the most recent adopted version of the Chino Airport Land Use Compatibility Plan.

### **SECTION 3: FINDINGS FOR THE CHANGE OF ZONE:**

Finding 1: The changes are consistent with the General Plan goals, policies, and implementation programs.

Evidence: The proposed Change of Zone for the eastern half of the project site Agriculture to Industrial Park zoning is consistent with the proposed General Plan land use designation of Light Industrial for the project site. The Business Park zoning permits a variety of light industrial and warehouse and distribution uses which is consistent with the Light Industrial land use designation.

Finding 2: The amendment is consistent with the most recent adopted version of the Chino Airport land Use Compatibility Plan.

Evidence: The Airport Land Use Compatibility Plan shows that portions of the project site is located in Zones C and D, which prohibits highly noise-sensitive outdoor nonresidential uses, discourages schools, hospitals, and nursing homes, and requires airspace review for structures higher than 70 feet. The proposed project does not involve development of prohibited or discouraged uses in these zones. The proposed building has been designed to not exceed 40 feet in height and the intensity of the project is within the maximum intensity allowed in both zones. Additionally, the project site plan was reviewed and determined by the Riverside County Airport Land Use Commission to be consistent with average intensity allowed in both Zones C and D. Thus, the project is consistent with the policies of the City of Eastvale General Plan and the Airport Land Use Compatibility Plan.

**SECTION 4: FINDINGS FOR TENTATIVE PARCEL MAP 37771:**

Finding 1: The proposed map is consistent with the City's General Plan and any applicable specific plan as specified in Government Code Section 65451.

Evidence: The General Plan land use designation of the site is Light Industrial and the project involves a change of zone of the site from Agriculture to Industrial Park, which will allow for uses consistent with the Light Industrial land use designation.

Finding 2: The design of the proposed project is consistent with the City's General Plan and any applicable specific plan.

Evidence: Vehicular access to the proposed project would occur from Limonite Avenue and Archibald Avenue. Both roadways are major arterial roadways, and are suited for the traffic volumes associated with the proposed project. Additionally, the proposed project would provide sidewalks along its frontages with both roadways, thereby closing a gap in the City's pedestrian network. The project would also involve the extension of Limonite avenue, improving vehicular connectivity to the site. Collectively, these characteristics would promote land use patterns and transportation networks that not only encourage physical activity and promote healthy living, but are also consistent with all City standards applicable to industrial development, which are designed to provide satisfactory pedestrian and vehicular circulation, including emergency vehicle access and on- and off-site public improvements. Further, all streets, utilities, and drainage facilities have been designed and are required to be constructed in conformance with City standards.

Finding 3: The site is physically suitable for the type and proposed density of development.

Evidence: On site topography is generally flat without significant slopes and consists of approximately 55.86 gross acres that would be developed with six light industrial buildings. The project site previously supported a dairy and is characterized as an underutilized, infill site. It does not have any environmental constraints (floodplains, waterways, earthquake faults, steep slopes, etc.). In addition, the project site is located within an area of Eastvale that is primarily industrial, with industrial development to the west, south, and east. The proposed project would be easily accessible to multiple modes of transportation (car, bus, bike, or foot) and, therefore, advance the objective of reducing the number and length of motor vehicle trips. Given this, the site is physically suitable for the type and proposed density of development.

Finding 4: The design of the subdivision or proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Evidence: The City prepared an EIR for the proposed project. The EIR analyzed the required environmental issues required by CEQA. However, through the CEQA process, it was determined

that the proposed project would not have any impact to fish or wildlife or their habitat. Further, the draft EIR was made available for the required 45-day public review period which started on January 24, 2020, and concluded on March 10, 2020, and no comments were received from any state agency related to fish or wildlife. The design of the subdivision and proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Finding 5: The design of the subdivision or type of improvements is not likely to cause serious public health problems.

Evidence: The designs of the project and subdivision are in conformance with the City's General Plan, Zoning Code, and the Subdivision Ordinance No. 460. The construction of all improvements on the site has been conditioned to comply with all applicable City of Eastvale ordinances, codes, and standards including, but not limited to, the California Uniform Building Code and the City's ordinances relating to stormwater runoff management and controls. The City's ordinances, codes, and standards have been created based on currently accepted standards and practices for the preservation of the public health, safety, and welfare.

Finding 6: The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision.

Evidence: The proposed site contains a gas easement, and will involve the dedication of a roadway for the extension of Limonite Avenue, and the widening of Archibald avenue. The proposed dedications and easements will not conflict with the proposed subdivision, and will encourage pedestrian and vehicular circulation around the project site.

## **SECTION 5: VARIANCE FINDINGS**

Finding 1: There are special circumstances applicable to the property, including size, shape, topography, location or surroundings, such that the strict application of this title deprives such property of privileges enjoyed by other properties in the vicinity and under identical land use zoning district classifications.

Evidence: The project site is required by the City to provide 50-percent shading per the Eastvale Municipal Code. However, because conditions of approval from the Riverside County Airport Land Use Commission (ALUC) limit the use of trees in several areas of the parking lot, required shading standards cannot be met. In order to meet the requirements of the Riverside County ALUC, the project must reduce landscaping provided. The special circumstance which requires a variance from the parking lot shading requirement is the site's location near the Chino Airport, which places the project in the airport's "Zone C" safety area and leads to the requirement for open space areas. Other projects have been approved by the City in Zone C, but those were able to meet the open space requirement without a variance because they included private roadways and other large areas such as truck loading docks that did not need to be landscaped. Therefore, the granting of this application is consistent with and required of all projects located in certain

airport compatibility zones which require the provision of as much open land as possible in order to reduce large obstacles in an event that a light aircraft is forced to land away from an airport.

Finding 2: Granting the variance does not constitute a special privilege inconsistent with the limitations upon other properties in the vicinity and land use zoning district in which such property is located.

Evidence: Granting the variance would not grant a special privilege to the applicant. Granting the variance does not increase the amount of development that can take place compared to other similarly zoned industrial sites, and would not reduce the amount of parking. Granting the variance would place fewer trees in a portion of the parking areas designated as ALUC landing areas. However, the project is conditioned to plant the trees elsewhere on the site.

Finding 3: Granting the variance will not adversely affect the interests of the public or the interests of residents and property owners in the vicinity of the premises in question.

Evidence: Because the reduction in landscaping is site specific, adjacent property owners will not be affected by the reduction in shading. Therefore, even though granting the variance would reduce the amount of landscaping and shade in a portion of the Homestead site, the effect of this reduced landscaping would be limited to the project site, and would not have "spillover" impacts that would affect adjacent properties.

Finding 4: Granting the variance is consistent with the objectives of the general plan and zoning code.

Evidence: Although the variance would allow less parking shade in portions of the parking lot, it would facilitate the development of the site. Denying the variance, and limiting parking to the area that could be shaded to meet Zoning Code requirements, would limit industrial development to a much smaller size. Therefore, granting the variance would be consistent with the objectives of the General Plan and Zoning Code to provide new industrial development and job creation opportunities.

Finding 5: If the project as approved with the variance is located within the Chino Airport influence area, the approved variance is consistent with the most recently adopted version of the airport land use compatibility plan.

Evidence: On November 14, 2019, Riverside County ALUC determined that the proposed project is consistent with the Chino Airport Land Use Compatibility Plan.

## **SECTION 6. MULTIPLE SPECIES HABITAT CONSERVATION PLAN**

Finding: The project is found to be consistent with the Multiple Species Habitat Conservation Plan (MSHCP).

Evidence: The project is located outside of any MSHCP criteria area, and mitigation is provided through payment of the MSHCP mitigation fee.

**SECTION 7. RECORD OF PROCEEDING**

The documents and other materials that constitute the record of the proceedings upon which the City Council's decision is based, which include but are not limited to the staff reports as well as all materials that support the staff reports for the proposed project, are located in the Planning Department of the City of Eastvale at 12363 Limonite Avenue, Suite 910, Eastvale, CA 91752. The custodian of these documents is the City Clerk's Office of the City of Eastvale.

**SECTION 8. DETERMINATION**

Based upon the findings outlined in Sections 1 through 7, the Planning Commission of the City of Eastvale hereby recommends that the City Council approve PLN 19-20026, a major development review, variance, tentative parcel map, and lot line adjustment for the development of a 1,055,542 square foot industrial center, subject to the attached conditions of approval. Further, the Planning Commission recommends that the City Council certify the Environmental Impact Report for PLN 19-20026 and adopt a statement of overriding considerations.

**PASSED, APPROVED AND ADOPTED** this 18th day of March, 2020.

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Josh Lee  
Chair

APPROVED AS TO FORM:

ATTEST:

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Chad Herrington  
Assistant City Attorney

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Jessica Cooper, CMC  
Deputy City Clerk

STATE OF CALIFORNIA)  
COUNTY OF RIVERSIDE) §  
CITY OF EASTVALE )

I, Jessica Cooper, Deputy City Clerk of the City of Eastvale, California, do hereby certify that the foregoing Planning Commission Resolution No. 20-XX, was duly adopted by the Planning Commission of the City of Eastvale, California, at a meeting held on the 18th day of March 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Jessica Cooper, CMC  
City Clerk

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL			
<p><b>Planning Application Number and Description:</b> Project No. PLN19-20026 – Major Development Review No. 19-20026 for the development of The Homestead consisting of six industrial buildings totaling approximately 1,055,542 square feet located at the northwest corner of Limonite Avenue and Archibald Avenue.</p>			
<p><b>Assessor’s Parcel Number:</b> 144-010-015, 018, 020, 023, 032</p>			
<p><b>Planning Commission Review Date:</b> March 18, 2020</p>			
<p><b>City Council Approval Date:</b></p>			
Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
General Conditions/Requirements			
<p>1. The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department. The signed statement of acceptance is required prior to submittal for Building and Grading plan check and issuance of Building and Grading Permits.</p> <hr/> <p>Applicant Signature <span style="float: right;">Date</span></p> <hr/> <p>Print Name <span style="float: right;">Date</span></p>	<p>Must be completed prior to building or grading plan check</p>	<p>Planning Department</p>	

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
2.	<p>The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative, or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act (CEQA), the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.</p>	Ongoing	Planning Department	
3.	<p>The project shall be developed in accordance with the Major Development Review application approved by the City Council on _____, including the approved site plan, architectural elevations, etc. The applicant may request modifications or revisions to the approved project as outlined in the Zoning Code.</p>	Ongoing	Planning Department	

## Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
4.	Any approval shall not be final until and unless the applicant's deposit account has a balance of at least <b>\$10,000</b> at the time that the applicant signs these conditions of approval (per Condition No. 1) to cover staff time for follow-up, monitoring, and other post-approval work by staff. The City reserves the right to request additional deposits to cover post-approval staff work and to halt work if the deposit account is exhausted. Make check payable to the City of Eastvale and include <b>Project No. PLN19-20026</b> on the check.	Ongoing	Planning Department	
Prior to the Issuance of Grading Permit				
5.	Submit an in-lieu payment for the design and construction of the raised median on Limonite Avenue and Archibald Avenue	Prior to issuance of Grading	Public Works Department	
6.	All Public Improvements Plans including but not limited to Street, Storm Drain, Street Lighting, Traffic Signals, Signing and Striping, and Landscape, shall be prepared by a Licensed Civil Engineer/Licensed Landscape Architect, and submitted to and approved by the City Engineer.  The Improvements Plans shall be prepared in accordance with the City of Eastvale Road Improvement Standards & Specification and Improvement Plan Check Policies and Guidelines. The plans must include the following:  A. Limonite Avenue B. Archibald Avenue	Prior to issuance of Grading Permit	Public Works Departments	
7.	Submit a Final Water Quality Management Plan (WQMP) to be reviewed and approved by the City Engineer. The WQMP shall include Operation and Maintenance Agreement between the applicant/property owner/property owner association and the City of Eastvale.	Prior to issuance of Grading Permit	Planning & Public Works Departments	
8.	A Construction Traffic Control Plan prepared by a Licensed Civil Engineer/Traffic Engineer shall be submitted to the City Engineer for review	Prior to issuance of a grading	Public Works Department	

## Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
	and approval. The Plan must stipulate that during construction, the implementing developer or its general contractor are required to notify the City of Eastvale Public Works Department at least five (5) business days in advance of any planned lane closure that will be caused by project construction. If deemed necessary by the City of Eastvale Public Works Department, the project's lane closure may be postponed or rescheduled.	permit		
9.	A permit for the hauling of material to and from the project site shall be submitted to the City for approval. This permit shall be in place prior to the issuance of the grading permit and the mobilization of equipment on the project site.	Prior to issuance of a grading permit	Public Works Department	
10.	<b>Burrowing Owl Preconstruction Survey.</b> Pre-construction presence/absence surveys for burrowing owl shall be conducted in the survey area where suitable habitat is present prior to ground disturbance in new areas, throughout the construction phase of the project. Pre-construction surveys shall be conducted by a qualified biologist no more than 30 days prior to grading or other significant site disturbance. Surveys shall include the development footprint and consider up to a 500-foot buffer of adjacent areas to the extent feasible (e.g. a visual survey of adjacent areas will suffice for off-site areas not accessible). The surveys shall be conducted in accordance with the most recent California Department of Fish and Wildlife and California Burrowing Owl Consortium guidelines. A burrow shall be considered occupied when there is confirmed use by burrowing owl based on observations made by a qualified biologist. If owls are not found to be occupying habitat in the survey area during the pre construction survey, the proposed disturbance activities may proceed. Take of active nests shall be avoided.  <i>(Mitigation Measure Bio-1A)</i>	Prior to issuance of Grading Permit	Planning Department	

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
11.	<p>If owls are discovered on and/or within 500 feet of the proposed project site, avoidance measures shall be developed in compliance with the Multiple Species Habitat Conservation Plan and in coordination with the California Department of Fish and Wildlife and/or Western Riverside County Regional Conservation Authority. Such measures will include but not be limited to the following:</p> <ul style="list-style-type: none"> <li>• Burrowing owls shall not be disturbed on-site and/or within a 500-foot buffer between February 1 and August 31 to avoid impacting nesting.</li> <li>• Prior to any ground disturbance, all limits of project construction shall be delineated and marked to be clearly visible to personnel on foot and in heavy equipment. All construction-related activities shall occur inside the limits of construction and designated staging areas. Construction staging and equipment storage shall be situated outside of any occupied burrowing owl burrow locations. All construction-related movement shall be restricted to the limits of construction and staging areas.</li> <li>• Avoidance measures shall include passive relocation by a qualified biologist to remove the owls between September 1 and January 31, which is outside of the typical nesting season. (Mitigation Measure Bio-1B)</li> </ul>	Prior to issuance of Grading Permit	Planning Department	
12.	<p>Prior to issuance of grading permits, the following measures shall be implemented:</p> <ul style="list-style-type: none"> <li>• To avoid disturbance of nesting and special-status bird species protected by the Migratory Bird Treated Act and California Fish and Game Commission, activities related to the project, including but not limited to, vegetation removal, ground disturbance, and construction and demolition shall occur outside of the bird breeding season</li> </ul>			

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
	<p>(February 1 through August 31). If construction must begin during the breeding season, then a pre-construction nesting bird survey shall be conducted no more than 30 days prior to initiation of construction activities. The nesting bird pre-construction survey shall be conducted on foot inside the project site disturbance areas. If an active avian nest is discovered during the pre-construction clearance survey, construction activities shall stay outside of a 300-foot buffer around the active nest. For listed and raptor species, this buffer shall be expanded to 500 feet.</p> <ul style="list-style-type: none"> <li>· Inaccessible areas (e.g., private lands) shall be surveyed from afar using binoculars to the extent practical. The survey shall be conducted by a qualified biologist familiar with the identification of avian species known to occur in western Riverside County. If nests are found, an appropriate avoidance buffer shall be determined by a qualified biologist and demarcated by a qualified biologist with bright orange construction fencing, flagging, construction lathe, or other means to mark the boundary. Effective buffer distances are highly variable and based on specific project stage, bird species, stage of nesting cycle, work type, and the tolerance of a particular bird pair. The buffer may be up to 500 feet in diameter, depending on the species of nesting bird found and the biologist’s observations.</li> <li>· If nesting birds are located adjacent to the project site with the potential to be affected by construction activity noise above 60 dBA Leq (see Section 4.10, Noise, for definitions and discussion of noise levels), a temporary noise barrier shall be erected consisting of large panels designed specifically to be deployed on construction sites for reducing noise levels at sensitive receptors. If 60 dBA Leq is exceeded, an acoustician would require the construction contractor to make operational and barrier changes to reduce noise levels to 60 dBA</li> </ul>			

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
	<p>during the breeding season (February 1 through August 31). Noise monitoring shall occur during operational changes and installation of barriers to ensure their effectiveness. All construction personnel shall be notified as to the existence of the buffer zone and to avoid entering the buffer zone during the nesting season. No parking, storage of materials, or construction activities shall occur within this buffer until the avian biologist has confirmed that breeding/nesting is completed, and the young have fledged the nest. Encroachment into the buffer shall occur only at the discretion of the qualified biologist, if it is determined such encroachment will not adversely impact the nesting birds.</p> <p><i>(Mitigation Measure Bio-2)</i></p>			
13.	<p><b>Unanticipated Discovery of Fossils.</b> Excavations exceeding five feet in depth shall be monitored to identify any fossil remains. If fossil remains are discovered, the contractor shall cease ground disturbing activities within 50 feet of the find until it can be assessed by the qualified paleontologist. If the find is determined to be not significant by the paleontologist, excavation activities can continue. If the find is determined to be significant or potentially significant by the qualified paleontologist, the ground disturbing activities within 50 feet of the find shall continue to cease until the sampling and data recovery of resource is completed. After recovering the resource, the paleontologist shall follow the Society of Vertebrate Paleontology standard guidelines for analyzing the fossil specimens, store the specimens at a museum depository that is capable to provide access for future research, prepare a final report documenting the find(s), and submit the document to the City of Eastvale and any other requesting party.</p> <p><i>(Mitigation Measure Paleo-1)</i></p>	<p>Prior to issuance of Grading Permit</p>	<p>Planning Department</p>	

## Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
14.	<p><b>Unanticipated Discovery of Cultural Resources.</b> If cultural resources are encountered during ground-disturbing activities, work in the immediate area shall be halted and an archaeologist meeting the Secretary of the Interior's Professional Qualification Standards for archaeology (National Park Service 1983) shall be contacted immediately to evaluate the find. If necessary, the evaluation may require preparation of a treatment plan and archaeological testing for California Register of Historic Resources eligibility. If the discovery proves to be significant under the California Environmental Quality Act and cannot be avoided by the project, additional work such as data recovery excavation and Native American consultation and archaeological monitoring may be warranted to mitigate any significant impacts to cultural resources.</p> <p><i>(Mitigation Measure Cul-1)</i></p>	Prior to issuance of Grading Permit	Planning Department	
15.	<p><b>Unanticipated Discovery of Human Remains.</b> If human remains are found, existing regulations outlined in the State of California Health and Safety Code Section 7050.5 state that no further disturbance shall occur until the County Coroner has made a determination of origin and disposition pursuant to Public Resources Code Section 5097.98. In the event of an unanticipated discovery of human remains, the County Coroner must be notified immediately. If the human remains are determined to be prehistoric or Native American in origin, the Coroner will notify the Native American Heritage Commission, which will determine and notify a most likely descendant (MLD). The MLD shall complete the inspection of the site within 48 hours of being granted access and provide recommendations as to the treatment of the remains to the landowner.</p> <p><i>(Mitigation Measure Cul-2)</i></p>			
16.	<p><b>Tribal Monitoring.</b> Prior to the issuance of a grading permit, the Project Applicant shall contact the consulting tribe(s) with notification of the proposed grading and shall make a good-faith effort, as determined by the</p>	Prior to issuance of Grading	Planning Department	

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
	<p>City's Community Development Director, to enter into a Tribal Cultural Resources Treatment and Monitoring Agreement that determines its tribal cultural resources may be present on the site. The agreement shall include, but not be limited to, outlining provisions and requirements for addressing the handling of tribal cultural resources; Project grading and development scheduling; terms of compensation for the Tribal monitors; treatment and final disposition of any tribal cultural resources, including but not limited to sacred sites, burial goods and human remains, discovered on the site; and establishing on-site monitoring provisions and/or requirements for professional Tribal monitors during all ground-disturbing activities. The terms of the agreement shall not conflict with any of these mitigation measures. A copy of the agreement shall be provided to the City of Eastvale Planning Department prior to the issuance of a grading permit.</p> <p><i>(Mitigation Measure TCR-1A)</i></p>	Permit		
17.	<p><b>Archaeological Monitoring.</b> At least 30 days prior to application for a grading permit and before any grading, excavation and/or ground disturbing activities on the site take place, the Project Applicant shall retain a Secretary of Interior Standards-qualified archaeological monitor to monitor all ground-disturbing activities in an effort to identify any unknown archaeological resources. Ground-disturbing activities may include, but are not limited to, pavement removal, pot-holing or auguring, grubbing, weed abatement, boring, grading, excavation, drilling, and trenching. The on site monitoring would end when the project site grading and excavation activities are completed, or when the monitor has indicated that the site has a low potential for archeological resources. The Project Archaeologist, in consultation with interested Tribes identified in Mitigation Measure TCR-1A, and the Project Applicant, shall develop an Archaeological Monitoring Plan to address the details, timing and responsibility of all archaeological and cultural activities that will occur on the Project site. Details in the Plan shall</p>	Prior to issuance of Grading Permit	Planning Department	

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
	<p>include:</p> <ol style="list-style-type: none"> <li>1. Project grading and development scheduling.</li> <li>2. The development of a rotating or simultaneous schedule in coordination with the Project Applicant and the Project Archeologist for designated Native American Tribal Monitors from the consulting Tribes during grading, excavation and ground-disturbing activities on the site.</li> <li>3. The safety requirements, duties, scope of work, and Native American Tribal Monitors' authority to stop and redirect grading activities in coordination with all Project Archaeologists.</li> <li>4. The protocols and stipulations that the Project Applicant, Tribes and Project Archaeologist will follow in the event of inadvertent cultural resources discoveries, including any newly discovered cultural resource deposits that shall be subject to a cultural resources evaluation.</li> </ol> <p><i>(Mitigation Measure TCR-1B)</i></p>			
18.	<p><b>Treatment and Disposition of Tribal Cultural Resources.</b> If tribal cultural resources are inadvertently discovered during ground-disturbing activities for this project. The following procedures will be carried out for treatment and disposition of the discoveries:</p> <ol style="list-style-type: none"> <li>1. Temporary Curation and Storage. During the course of construction, all discovered resources shall be temporarily curated in a secure location on-site or at the offices of the Project Archaeologist. The removal of any artifacts from the project site will need to be thoroughly inventoried by the Project Archeologist with tribal monitor oversight of the process.</li> <li>2. Treatment and Final Disposition. The Project Applicant shall relinquish ownership of all cultural resources, including sacred items, burial</li> </ol>	Prior to issuance of Grading Permit	Planning Department	

Project No. PLN19-20026 The Homestead Major Development Review

<b>CONDITIONS OF APPROVAL</b>			
<p>goods, and all archaeological artifacts and non-human remains as part of the required mitigation for impacts to cultural resources. The Project Applicant shall relinquish the artifacts through one or more of the following methods and provide the City of Eastvale Planning Department with documentation of same:</p> <p>a. Reburial on-site. Accommodate the process for on-site reburial of the discovered items with the consulting Tribes. This shall include measures and provisions to protect the future reburial area from any future impacts. Reburial shall not occur until all cataloguing and basic recordation have been completed.</p> <p>b. Curation. A curation agreement with an appropriate qualified repository within Riverside County that meets federal standards pursuant to 36 CFR Part 79, and therefore, would be professionally curated and made available to other archaeologists or researchers for further study. The collections and associated records shall be transferred, including title, to an appropriate curation facility within Riverside County, to be accompanied by payment of the fees necessary for permanent curation.</p> <p>c. Disposition Dispute. If more than one Tribe is involved with the Project and cannot come to a consensus as to the disposition of cultural materials, they shall be curated at the Western Science Center.</p> <p>d. Final Report. At the completion of grading, excavation and ground-disturbing activities on the site, a Phase IV Monitoring Report shall be submitted to the City documenting monitoring activities conducted by the Project Archaeologist and Tribal Monitors within 60 days of completion of grading. This report shall:</p> <p>i. Document the impacts to the known resources on the property;</p> <p>ii. Describe how each mitigation measure was fulfilled;</p>			

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
	<p>iii. Document the type of cultural resources recovered and the disposition of such resources;</p> <p>iv. Provide evidence of the required cultural sensitivity training for the construction staff held during the required pre-grade meeting;</p> <p>v. In a confidential appendix, include the daily/weekly monitoring notes from the archaeologist.</p> <p>vi. All reports produced will be submitted to the City, Eastern Information Center and consulting tribes.</p> <p><i>(Mitigation Measure TCR-1C)</i></p>			
19.	<p>If the project is within a priority land use as defined by California Regional Water Quality Control Board San Diego Region Order No. R9-2017-0077, the developer shall install full capture systems for all storm drains that capture runoff from the project. For any full capture systems that will require future City maintenance, the developer shall obtain maintenance estimates from the full capture system vendor, submit the maintenance costs to the City, and include the maintenance cost for the full capture systems in the Community Facilities District (CFD) annexation to ensure adequate funds are available to the City for maintenance. The developer shall also size storm drain facilities with full capture systems to ensure that the systems do not reduce the drainage capacity of the facilities, to the satisfaction of the City Engineer</p>	<p>Prior to issuance of Grading Permit and/or Building Permits</p>	<p>Planning and Public Works Departments</p>	
20.	<p>The maintenance of Water Quality Best Management Practices (BMP), and trash capture devices shall be the responsibility of the property owner or appropriate entity to the satisfaction of the City Engineer.</p>	<p>Prior to issuance of Grading Permit and/or Building Permits</p>	<p>Planning and Public Works Departments</p>	
<p><b>Statements to be added on Grading and Construction Plans Prior to Issuance</b></p>				

Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
21.	<p><b>Air Quality.</b> The project applicant/owner shall encourage the trucks visiting the facility to incorporate energy efficiency improvements by providing information about the Carl Moyer Program, including the benefits of truck modernization, retrofits, and/or aerodynamic kits and low rolling resistance tires, towards reduced fuel consumption.</p> <p><i>(Mitigation Measure AQ-2)</i></p>	Prior to issuance of Grading Permit and/or Building Permits	Planning and Public Works Departments	
Prior to Issuance of Building Permit				
22.	<p>Prior to issuance of building permit, the applicant shall submit signage and security plans to the Eastvale Police Department for review and approval to ensure compliance with the following:</p> <p><b>SIGNS</b></p> <p>A. Proper display of “No Trespassing or Loitering” signs prominently around business and any exterior perimeter fencing and adhering to the City of Eastvale Municipal Code.</p> <p><b>ADDRESS NUMBERING</b></p> <p>B. Prominently displayed address numbering in appropriate size and in contrasting color from the building façade or on a fixed sign near the street/main entrances. The numbers need to be visible from the street and interior property sides for any approaching emergency vehicles. No obstructions should limit their visibility (e.g., landscaping).</p> <p><b>SECURITY PLAN</b></p> <p>C. To facilitate the installation of security cameras for tenants, conduits and other electrical wiring to support the cameras shall be installed in all buildings. The intent of this condition is to reduce the cost of installation for future tenants, and thereby encourage the use of</p>	Prior to issuance of building permit	Planning and Police Departments, Building Safety Division	

## Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
	<p>security cameras as a crime reduction measure.</p> <p>D. All exterior access points shall be properly secured and illuminated to make clearly visible anyone on or about the premises during the hours of darkness.</p> <p>This condition shall apply to the issuance of each individual building permit, regardless of location.</p>			
23.	<p>The applicant shall submit an Outdoor Photometric Lighting Plan showing compliance with Section 120.05.050 of the Eastvale Municipal Code.</p> <p><i>Except as otherwise exempt, all outdoor lighting shall be constructed with full shielding and/or recessed to reduce light trespass to adjoining properties. Each fixture shall be directed downward and away from adjoining properties and public rights-of-way, so that no light fixture directly illuminates an area outside of the site.</i></p> <p>This condition shall apply to the issuance of each individual building permit, regardless of location.</p>	Prior to issuance of building permit	Planning Department	
24.	<p>The project shall be designed to incorporate electric vehicle charging stations in parking areas and provide spaces designated for low-emission, fuel efficient, or carpool/vanpool vehicles, consistent with applicable CalGreen requirements. (Mitigation Measure AQ-3)</p>	Prior to issuance of building permit	Planning Department	
25.	<p>All buildings shall be designed to provide infrastructure to support use of electric-powered forklifts and/or other interior vehicles. (Mitigation Measure AQ-4)</p>	Prior to issuance of building permit	Planning Department	
26.	<p>Prior to the issuance of a building permit, the Applicant shall remove dieldrin containing soil and conduct post removal testing consistent with the recommendation in the Phase II Environmental Site Assessment (October 2019) prepared by Stantec for the project site. The soil removal and post-</p>	Prior to issuance of building permit	Planning Department	

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CONDITIONS OF APPROVAL				
	removal testing results shall be documented in a report and provided to the city for confirmation that the residual pesticide levels remain below screening levels. The Applicant shall take additional remediation actions if recommended based on the post-removal results to the satisfaction of the City. <i>(Mitigation Measure Haz-1)</i>			
27.	Prior to issuance of a demolition permit, the Applicant shall provide evidence that the single-family residence at 6207 Archibald Avenue has been evaluated for asbestos containing materials (ACM) by a certified asbestos consultant. If ACM are found to be present in building materials to be removed, demolished and disposed, the Applicant shall submit a plan signed by a certified asbestos consultant for the removal of the identified ACM in accordance with all applicable laws and regulations, including but not necessarily limited to: California Code of Regulations, Title 8; Business and Professions Code; Division 3; California Health and Safety Code 25915 25919.7. <i>(Mitigation Measure Haz-2)</i>	Prior to issuance of building permit	Planning Department	
28.	Final Landscape Planting Plans shall be submitted to and approved by the Community Development Director that include the following project specific landscape details:  A. Landscape plans shall be submitted to and approved by the Community Development Director. A licensed Landscape Architect shall prepare the plans.  B. The above-described plans shall be in substantial conformance with the conceptual plans as approved by the City Landscape Architect, City Administrative Staff, Planning Commission and/or City Council. Notes, details, and specifications shall be included.	Prior to issuance of building permit	Planning Department	

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<b>CONDITIONS OF APPROVAL</b>			
	<p>C. All landscape and irrigation plans shall be consistent with the City of Eastvale Zoning Code, with Section 5.4 Landscaping General Provisions, the City of Eastvale Design Standards and Guidelines, and the City of Eastvale Chapter 14.24 Water Efficient Landscape Regulations, and other applicable codes and guides.</p> <p>D. Landscape plans shall be drawn at a scale of 20 feet equal to 1 foot or larger.</p> <p>E. No substitutions for equipment, plants, fertilizers, etc. will be accepted without prior written approval by the City Landscape Architect.</p> <p>F. Planter areas shall contain a minimum width of 5 feet or greater of planting space.</p> <p>G. The plant palette along Limonite Avenue shall coordinate with the existing established plant palette along Limonite Avenue west of the project.</p> <p>H. Mature specimen trees in 36-inch and 48-inch boxes, with approved accent shrubs installed from 15 gallon containers, shall be supplied in sufficient quantity to provide a prominent project entry statement and the corner of Archibald Avenue and Limonite Avenue and other main focal areas.</p> <p>I. Shrubs shall be installed from a minimum of 5 gallon containers unless approved by the City of Eastvale Landscape Architect for appropriateness. Shrubs shall be designed for installation at reasonable spacing to allow for growth and filling in of shrubs to relative maturity.</p>		

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<b>CONDITIONS OF APPROVAL</b>			
	<p>J. All ground covers shall be installed from living plant materials. Spacing shall be such to allow plants grow to maturity in 2 years from the time of installation.</p> <p>K. No plant container shall be installed within 18 inches of a sidewalk, curb, walkway, or equal.</p> <p>L. Trees shall be installed from a minimum of 24-inch box.</p> <p>M. Medium width canopy shade trees shall be located directly adjacent to parking spaces at no farther than 30 feet on center. Shade trees located within tree wells or islands shall be located at approximately 27 feet on center.</p> <p>N. Plant materials within planting areas shall be hydro-zoned using WUCOLS IV, Region 4.</p> <p>O. A top mulch layer of approved wood bark mulch shall be applied to the soil a minimum of 3 inches deep.</p> <p>P. Utility and trash enclosure walls shall be appropriately screened within planting areas at least 5 feet wide with shrubs and vines that mitigate the view of the walls and the equipment within the enclosure.</p> <p>Q. Root barriers shall be installed for all trees located within 5 feet of paving in 10 to 12 foot lengths. Trees located within 10 feet of curbs or city sidewalks and within planted parkways shall utilize 20 lineal feet of root barrier.</p> <p>R. Above ground utility locations shall be located in shrub areas and screened from public view. Transformers shall be screened with a minimum of 3 foot wide planting area located outside the SCE setback to the transformer.</p>		

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CONDITIONS OF APPROVAL				
	<p>S. All irrigation in shrub areas within 24 inches of paving shall be designed and installed using drip irrigation measured in gallons per hour.</p> <p>T. A weather-based smart irrigation controller shall be installed. A rain shut off device or weather station shall be installed connected with the irrigation controller.</p> <p>U. All fertilizers and soil amendments used during planting preparation and installation shall be derived from organic based materials as a best management practice for storm water source control. Humate and mycorrhizae shall be included. Organic soil amendments at 4 cubic yards per thousand square foot shall be incorporated into the planting preparation, unless otherwise recommended by the soil management plan.</p> <p>This condition shall apply to the issuance of each individual building permit, regardless of location.</p>			
29.	<p>Prior to the initiation of landscape construction, the City Landscape Architect shall be contacted to meet with the job site superintendent and the landscape contractor for a pre-job meeting. A copy of the soil fertility recommendations and soil management plan shall be provided via electronic email. The recommendations shall utilize humate, mycorrhizae, and organic fertilizer. No landscape work shall occur prior to the meeting.</p>			
30.	<p>Site plan and landscape plan shall identify the location of the following required bicycle parking:</p>	<p>Prior to issuance of building permit</p>	<p>Planning Department</p>	

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CONDITIONS OF APPROVAL				
	<p>Industrial Park</p> <p>A. Employees: One (1) bicycle spaces per 25 automobile parking spaces required for <b>each building</b>. These spaces must be in an enclosed and lockable area outside the building or inside the building.</p> <p>B. Visitors: One (1) bicycle spaces per 33 automobile parking spaces required for <b>each building</b>. These spaces do not have to be in an enclosed and lockable area.</p> <p>The location of bicycle parking is subject to approval by the Planning Department. Visitor bicycle parking should be as close to the main entrance as possible.</p> <p>This condition shall apply to the issuance of the first building permit, regardless of location.</p>			
31.	<p>The construction plan shall illustrate the installation of appropriate technology to prevent shopping carts from leaving the retail center. Location shall be to the satisfaction of the Planning Director and shall be identified on the pavement to inform customers of the boundary.</p> <p>This condition shall apply to the issuance of a building permit for the grocery store.</p>	Prior to issuance of building permit	Building and Planning Departments	
32.	<p>Submit an overall site plan showing that at least 3.85 acres of ALUC-eligible open areas (at least 75 feet in width and 300 feet in length) shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater). <i>(ALUC Condition)</i></p> <p>This condition shall apply to the issuance of the first building permit, regardless of location.</p>	Prior to issuance of building permit	Planning Department	

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CONDITIONS OF APPROVAL				
33.	<p><b>Contribute Funding for Transportation Program and Fair-Share Improvements.</b> The project Applicant shall participate in the funding of off-site improvements through the payment of City of Eastvale Development Impact Fees (if the improvements are included in the Development Impact Fees program), Western Riverside Council of Governments Transportation Uniform Mitigation Fee, Mira Loma Road and Bridge Benefit District Program, or on a fair share basis for those improvements that are not included in a pre existing fee program. These fees shall be collected by the City of Eastvale, with the proceeds solely used as part of a funding mechanism aimed at ensuring that regional highways and arterial expansions keep pace with the projected population increases.</p> <p><i>(Mitigation Measures T-4)</i></p>	Prior to issuance of building permit	Planning & Public Works Department	
34.	<p>The Applicant shall construct the following improvements prior to the opening of the Limonite Avenue bridge, which is located west of the Project site:</p> <ul style="list-style-type: none"> <li>· Hellman Avenue and Kimball Avenue (No. 1). Add a second northbound left turn lane.</li> <li>· Archibald Avenue and Limonite Avenue intersection (No. 12). Add a second southbound left turn lane.</li> </ul> <p><i>(Mitigation Measure T-3)</i></p>	Prior to issuance of building permit	Planning & Public Works Department	
35.	<p>The Applicant shall construct the following improvements prior to operation:</p> <ul style="list-style-type: none"> <li>· Archibald Avenue and Limonite Avenue intersection (No.12). Add a second southbound left-turn lane.</li> </ul> <p><i>(Mitigation Measure T-2)</i></p>	Prior to issuance of building permit	Planning & Public Works Department	
36.	<p>The applicant shall stripe the "exit" lane for the northernmost project driveway on Archibald as a right-turn-only lane with a Type IV (R) Arrow and</p>	Prior to issuance of building	Planning & Public Works	

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CONDITIONS OF APPROVAL				
	provide a "Right Turn Only" (R3-5 (R)) sign.	permit	Department	
Prior to Issuance of Final Certificate of Occupancy				
37.	<p>All required landscape planting and irrigation shall have been installed consistent with the approved Final Landscape Plan and shall be in a condition acceptable to the Community Development Director. If the Project Landscape Architect has provided inspection of the landscaping, the Project Landscape Architect shall provide the City with a Certificate of Compliance stating the landscape was installed per the approved plans. The City will review the Certificate of Compliance and conduct inspections to ensure that the landscape installation is in compliance with the approved landscape plans.</p> <p>This condition shall apply individually to each certificate of occupancy and shall be applied to the landscaping for the building.</p>	Prior to issuance of a final certificate of occupancy of <b>each building</b>	Planning Department	
38.	<p>Any damages to the landscaping, irrigation, or other improvements in the prior phase(s) shall be remediated to a condition acceptable to the Planning Director.</p> <p>This condition shall apply individually to each certificate of occupancy.</p>	Prior to issuance of a final certificate of occupancy of <b>each building</b>	Planning Department	
39.	<p>Prior to the final landscape inspection, a water audit shall be conducted by an independent water auditor and WELO documentation shall be provided to the City Planning Department and City Landscape Architect via email.</p> <p>This condition shall apply individually to each certificate of occupancy.</p>	Prior to issuance of a final certificate of occupancy of <b>each building</b>	Planning Department	
40.	<p>The truck access gates and loading docks within the truck court on the project site shall be posted with signs which include the following:</p> <ul style="list-style-type: none"> <li>• Truck drivers shall turn off engines when not in use;</li> </ul>	Prior to issuance of a final certificate of occupancy of	Planning Department	

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CONDITIONS OF APPROVAL				
	<ul style="list-style-type: none"> <li>· Diesel delivery trucks servicing the project shall not idle for more than five (5) minutes; and</li> <li>· Telephone numbers of the building facilities manager and the California Air Resources Board to report violations. <i>(Mitigation Measure AQ-1)</i></li> </ul>	each building		
41.	A minimum of one electric vehicle charging stations per parcel shall be in place and operational.	Prior to issuance of a final certificate of occupancy of the <b>last building</b>	Planning Department	
42.	<p>The applicant shall construct the following improvements to the satisfaction of the City Engineer:</p> <p>A. Full public improvements (*) across project frontage along Archibald and Limonite Avenues.</p> <p>B. All intersection curb returns to satisfy truck-turning requirements.</p> <p>C. Provide a multipurpose trail along Limonite Avenue on both sides of the street.</p> <p>D. Provide a multipurpose trail along Archibald Avenue fronting the project site.</p> <p>E. Provide a 14' wide landscape median on Limonite Avenue within the project site area. The applicant shall proof of acceptance by the applicable CFD, or an agreement with the City to pay for maintenance of the median in perpetuity to the satisfaction of the City Engineer.</p> <p>F. Provide flashing beacon, LED technology, for the pedestrian crossings of the proposed roundabout on Limonite Avenue. Alternatively, a bond may be provided for the anticipated cost and held for five years. The engineer</p>	Prior to issuance of final certificate of occupancy of the <b>first building</b>	Public Works Department	

## Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
	<p>of record shall provide a recommendation on the need for flashing beacons should the need arise.</p> <p>(*) Full public improvements include curbs, gutters, sidewalks, streetlights, traffic signage and striping, interconnect conduit or other signal interconnect method acceptable to the City, landscaped parkways, and landscaped medians as required by this project.</p>			
43.	<p>The applicant shall construct Archibald Avenue from the northern project boundary to the southern project boundary at its ultimate half-section width as a six-lane urban arterial highway. In the event that Southern California Edison has not completed the relocation of their transmission lines along the project frontage, the applicant shall post a bond in the amount sufficient to cover the cost of the improvements, submit for approval an interim striping plan to the satisfaction of the City Engineer, and implement the striping plan.</p>	<p>Prior to issuance of final certificate of occupancy of the <b>first building</b></p>	<p>Public Works Department</p>	
44.	<p>The applicant shall install and/or modify the traffic signals and appurtenances to the satisfaction of the City Engineer at:</p> <p>A. Limonite and Archibald intersection</p> <p>B. Limonite and project access</p> <p>C. Interconnect conduit and fiber optic lines across project frontages along Archibald and Limonite</p> <p>D. Improve the traffic signal at Limonite/Archibald to include interconnect capability with other nearby signals using wireless technology, camera detection system and radar for bicycle detection.</p>	<p>Prior to issuance of final certificate of occupancy of the <b>first building</b></p>	<p>Public Works Department</p>	

## Project No. PLN19-20026 The Homestead Major Development Review

CONDITIONS OF APPROVAL				
45.	The applicant shall provide documentation showing the responsible entity for maintaining the parking areas (including landscaping and stormwater treatment facilities) and maintaining the landscaped areas, including the median along the Limonite Avenue and Archibald Avenue frontages to the City for review and approval.	Prior to issuance of final certificate of occupancy of the <b>first building</b>	Public Works and Planning Departments	
46.	The applicant shall construct public facilities, including but not limited to storm drain facilities up to 36 inches in diameter, and sewer, water, and flood control facilities (greater than 36 inches in diameter) in accordance with each respective agency's requirements and specifications and to the satisfaction of the City Engineer.	Prior to issuance of final certificate of occupancy of the <b>first building</b>	Public Works Department	
47.	All aerial utility lines including electrical power lines at 34.5KV and under located within the public right-of-way shall be placed underground.	Prior to issuance of certificate of occupancy of the <b>first building</b>	Public Works Department	
48.	Demonstrate that the development has annexed into all applicable City of Eastvale-owned and administered Community Facilities Districts and/or Landscaping Maintenance Districts for traffic signals, street lighting, landscape maintenance, limited to the raised landscape median to be reviewed and approved to the satisfaction of the City Engineer.	Prior to issuance of certificate of occupancy of the <b>first building</b>	Public Works Department	
49.	All required landscape planting and irrigation shall have been installed in acceptable condition to the City and consistent with the approved construction plans.  This condition shall apply to the issuance of a certificate of occupancy for any building on the same parcel as the landscaped area.	Prior to issuance of certificate of occupancy of <b>each building</b>	Planning Department	

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CONDITIONS OF APPROVAL				
50.	<p>The applicant shall provide copy of a recorded deed notice as required by the Riverside County Airport Land Use Commission noting the site's location near the Chino Airport (<i>ALUC Condition</i>)</p> <p>This condition shall apply to the issuance of the first certificate of occupancy, regardless of location.</p>	<p>Prior to issuance of certificate of occupancy of the <b>first building</b></p>	<p>Planning Department</p>	
Fire Department Conditions of Approval				
<p>The Fire Department requires that the listed fire protection measures be provided in accordance with the City of Eastvale and/or the Riverside County Fire Department Fire Protection Standards.</p> <ol style="list-style-type: none"> <li>1. A water system capable of delivering the required fire flow in accordance with Appendix B of the California Fire Code shall be installed and available before any combustible material is placed on the construction site.</li> <li>2. Approved accessible on-site fire hydrants shall be located as required in Appendix C of the California Fire Code. Any portion of the facility or of an exterior wall of the first story of the building shall not be located more than 150 ft. from fire apparatus access as measured by an approved route around the complex, exterior of the facility, or building.</li> <li>3. Prior to building plan approval and construction, applicant/developer shall route a copy of the Water Improvement Plans (civil drawings) to the Fire Department for review of private hydrant placement only. Water Improvement Plans are not approved for installation of private hydrant mains or fire sprinkler supply. The installing contractor shall submit a separate set of working plans designed in accordance with NFPA 13 and NFPA 24 to the Fire Department for a permit to install private water mains.</li> <li>4. Fire Apparatus access roads, minimum 24 feet wide, shall comply with the Riverside County Fire Department Standard number 06-05. Roads shall be designed to withstand the weight of 75,000 thousand pounds over 2 axles and have a turning radius capable of accommodating fire apparatus. Roads shall be constructed with a surface to provide all-weather driving capabilities during construction.</li> <li>5. Dead-end fire apparatus access roads longer than 150 feet shall be provided with an approved turnaround for fire apparatus (hammerhead or equivalent). See building #8.</li> </ol>				

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**CONDITIONS OF APPROVAL**

6. Driveway loops, fire apparatus access lanes and entrance curb radius should be designed to adequately allow access of emergency fire vehicles. The applicant or developer shall include in the building plans the required fire lanes and include the appropriate lane printing and/or signs.
7. Install a complete commercial fire sprinkler system (per NFPA 13, 2016 Edition), in all buildings more than 3,600 square feet.
8. Where fire sprinkler systems are required in buildings of undetermined use, they shall be designed and installed to have a sprinkler density of not less than that required for Ordinary Hazard Group 2 use with a minimum design area of 3,000 sq. ft. Where a subsequent occupancy requires a system with greater capability, it shall be the responsibility of the occupant to upgrade the system to the required density for the new occupancy. Storage height of combustible commodities is generally limited to 12 ft. under this design density unless otherwise allowed by specific sections of the California Fire Code and/or NFPA 13.
9. A fire sprinkler alarm monitoring system shall be provided in each sprinklered building.
10. A fire alarm system may be required in accordance with 907.2.7 of the California Fire Code for the Major 1 Grocery Building.
11. A UL 300 hood/duct fire extinguishing system shall be installed over commercial cooking equipment.
12. Air handling systems supplying air in excess of 2,000 cubic feet per minute to enclosed spaces within buildings shall be equipped with an automatic shutoff in accordance with the 2016 California Mechanical Code.
13. Radio frequency coverage shall be tested prior to building final to ensure adequate voice and/or data transmission. Radio communications equipment may be required to be installed per Section 510 of the California Fire Code if coverage is found to not be adequate.
14. An approved fire department access key lock box (minimum Knox 3200 series) shall be installed at the main entrance to each building; gate switches or padlocks shall be installed at each automatic or manual gate. Locations shall be shown on plans submitted for a building permit.
15. New motorized gates shall be provided with means to be automatically opened remotely by emergency vehicles in accordance with Riverside County standards and policies. The system shall be compatible with, but not limited to, the detection of the

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**CONDITIONS OF APPROVAL**

following manufacturers of emergency vehicle preemption: Federal Signal, Whelen, and Tomar. Upon installation of the system, compliance testing shall be completed by the Riverside County Fire Department. (RVC Amendment to CFC 503.6.1)

16. Fire extinguishers, with a minimum rating of 2A-10BC shall be installed within 75 feet of travel distance. Where not readily visible, signs shall be posted above all extinguishers to indicate their locations.
17. Exit signs, door hardware, markers and exit path marking shall be per the 2016 California Building Code.
18. Fire sprinkler riser doors shall be posted "FIRE RISER" on the outside of the door.
19. Electrical room doors shall be posted "ELECTRICAL ROOM" on the outside of the door.
20. Fire alarm control unit doors shall be posted "FACU" on the outside of the door.
21. Roof access doors shall be posted "ROOF ACCESS" on the outside of the door.
22. This building has not been reviewed or approved for high pile/rack storage. Prior to such use, a licensed Fire Protection Engineer or a Fire Department approved consultant must prepare plans for high-piled storage or aerosol storage in accordance with the California Fire Code and NFPA 13.
23. Provide specific fire department conditions on plans for building permit submittal.

The proposed project may have a cumulative adverse impact on the Fire Department's ability to provide an acceptable level of service. These impacts include an increase in the number of emergency and public service calls due to the increased presence of structures, traffic, and population. The project proponents/developers will be expected to provide for a proportional mitigation to these impacts via capital improvements and/or impact fees.

**Riverside County Airport Land Use Commission Conditions of Approval**

The Airport Land Use Commission requires the project to be subject to the listed conditions to comply with the 2008 Chino Airport Land

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### CONDITIONS OF APPROVAL

#### Use Compatibility Plan:

1. The following uses shall be prohibited:
  - a. Any use would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, or other than an FAA-approved navigational signal light or visual approach slope indicator.
  - b. Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - c. Any use which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including water features, trash transfer stations that are open on one or more side, recycling centers, containing putrescible wastes, construction and demolition debris facilities, incinerators.
  - d. Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - e. Children's schools, hospitals, nursing homes (skilled nursing facilities), day care centers (including children's nurseries), and libraries.
  - f. Highly noise-sensitive outdoor nonresidential uses and hazards to flight.
2. This project has be evaluated as consisting of: (1) an industrial development consisting of 198,85 square feet of warehouse area, 80,950 square feet of manufacturing area, , 27,366 square feet of mezzanine warehouse area, and 20,000 square feet of associated office area; and (2) a commercial development consisting of 2,955 square foot gas station convenience store and 8 fueling stations, 11,700 square foot drug store, 8,800 square foot retail store, 30,150 square foot grocery store, 4,000 square foot carwash facility, 2,317 square foot restaurant pad with 13 vehicle stack drive- thru, 3,900 square foot retail/restaurant pad, and 4,000 square foot retail/restaurant pad with 12 vehicle stack drive-thru. Any increase in building area, change in use or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the

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CONDITIONS OF APPROVAL
<p>ALUCP compatibility criteria.</p> <p>3. The maximum square footage of restaurant dining area in Pad 3 shall not exceed 1,010 square feet and shall be located in the easterly portion of the building (Zone D).</p>

### General Compliance Items/Requirements and Information

The following items are noted for the applicant's information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for Eastvale and many other agencies, including but not limited to the Jurupa Community Services District, Jurupa Area Recreation and Parks District, Riverside County Flood Control District, and state and federal agencies.

Developer and applicant are used interchangeably below.

1. In compliance with Section 15075 of the California Environmental Quality Act (CEQA) Guidelines, a Notice of Determination (NOD) shall be filed with the Riverside County Clerk within five (5) days of project approval in order for the NOD to commence the 30-day statute of limitations on the environmental document. The NOD shall include the required California Department of Fish and Wildlife (CDFW) (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to the **Riverside County Clerk** in the amount of **\$3,218.00** no later than **May 13, 2020**. The fee is broken down as follows:
  - Riverside County Clerk administrative fee of \$50.00.
  - Environmental Impact Report filing fee of \$3,168.00
2. Three (3) of Construction Landscape plans shall be submitted to the Planning Department during building permit review process. the Landscape Plans shall be prepared by a licensed Landscape Architect and shall include the following:
  - a. Three sets of construction landscape plans shall be submitted to the Planning Department. A licensed Landscape Architect shall prepare the plans.

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- b. The above-described plans shall be in substantial conformance with the conceptual plans as requested for modification and as approved by the City Landscape Architect, City Administrative Staff, Planning Commission and/or City Council. Notes, details, and specifications shall be included.
  - c. All landscape and irrigation plans shall be consistent with the City of Eastvale Zoning Code, with Section 5.4 Landscaping General Provisions, the City of Eastvale Design Standards and Guidelines, and the City of Eastvale Chapter 14.24 Water Efficient Landscape Regulations, and other applicable codes and guides.
  - d. Landscape plans shall be drawn at a scale of 20 feet equal to 1 foot or larger.
3. Landscape plans shall be submitted to and approved by the Planning Director that adhere to the City of Eastvale's Water Efficient Landscape Regulations, use recycled water where available, and include a dedicated landscape water meter or submeter.
  4. Prior to the issuance of a grading permit, the developer shall pay all necessary fees as determined by the City Engineer including but not limited to Multiple Species Habitat Conservation Plan (MSHCP) fees and grading permit fees.
  5. Roads Bridges Benefit District (RBBD) fees, Transportation Uniform Mitigation Fees (TUMF), Area Drainage Plan (ADP) fee and any development impact fees that are in effect at that time shall be paid prior to the issuance of a certificate of occupancy, or as otherwise allowed per ordinance.
  6. The applicant shall design and construct all improvements in accordance with City of Eastvale Road Improvement Standards and Specifications, Improvement Plan Check Policies and Guidelines, as further conditioned herein and to the satisfaction of the City engineer.
  7. Prior to the issuance of a certificate of occupancy, the development shall be annexed into all applicable community service areas and landscaping maintenance districts for lighting, drainage, and maintenance to the satisfaction of the City Engineer or otherwise form a district where one is not currently in place. The City may at its discretion require a separate landscaping and lighting maintenance
  8. The applicant shall comply with all provisions and procedures of the Eastvale Building Department related to the plan check review process. (Please contact the Building Department at 951-703-4450.)
  9. Provide all will-serve letters from all utility agencies to be reviewed and approved to the satisfaction of the City.

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10. No obstruction shall be placed which would conflict with any existing easement except with the documented approval of the easement holder(s).
11. The developer shall make best efforts to obtain written permission from the affected property owners allowing the proposed grading and/or facilities to be installed outside of the project boundaries.
12. Project runoff shall be directed to a safe point of discharge. Any additional easement that may be necessary to accomplish such shall be obtained prior to issuance of a grading permit. The applicant shall submit a Final Water Quality Management Plan (WQMP) in conformance with the requirements of the Santa Ana Regional Water Quality Control Board. All stormwater quality treatment devices shall be located outside of the ultimate public right-of-way. The applicant shall design the stormwater quality treatment devices to accommodate all project runoff, ensuring that post-construction flow rate, volumes, velocity, and duration do not exceed preconstruction levels, in accordance with the City of Eastvale's Hydrology Manual, Stormwater Quality Best Management Practice Design Handbook, Improvement Standards, and to the satisfaction of the City Engineer. These best management practices shall be consistent with the Final WQMP and installed to the satisfaction of the City Engineer.
13. All connections to flood control facilities (greater than 36 inches in diameter) shall be reviewed and permitted by the Riverside County Flood Control and Water Conservation District and shall be submitted through the City of Eastvale, unless otherwise directed by the City Engineer.
14. The developer shall prepare and submit to the City for review and approval all required development plans including but not limited to grading (rough and/or precise), street improvement, on-site lighting, and storm drain. All applicable processing and review fees and/or deposits shall be submitted with the first plan submittal.
15. All grading shall conform to the California Building Code and to all other relevant laws, rules, and regulations governing grading in Eastvale. Prior to commencing any grading which includes 50 or more cubic yards, the developer shall obtain a grading permit from the Public Works Department.
16. All necessary measures to control dust shall be implemented by the applicant during grading to the satisfaction of the City Engineer.
17. Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved by the City Engineer.

Project No. PLN19-20026 The Homestead Major Development Review

18. Grading in excess of 199 cubic yards will require performance security to be posted with the City.
19. Erosion control-landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded. Planting shall occur within 30 days of meeting final grades to minimize erosion and to ensure slope coverage prior to the rainy season. The developer shall plant and irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the City Engineer.

Project No. PLN19-20026 The Homestead Major Development Review

Eastvale Planning Commission  
 Project No. PLN19-20026 –TPM 37771 for Homestead Industrial Center

<b>CONDITIONS OF APPROVAL</b>
<b>Project No. 19-20026: Tentative Parcel Map No. 37771:</b> Tentative Parcel Map 37771 for the subdivision of the existing
<b>Assessor’s Parcel Numbers:</b> 144-010-015, 018, 020, 023, 032
<b>Planning Commission Review Date:</b> March 18, 2020

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<b>General Conditions</b>			
1. The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department. The signed statement of acceptance is required prior to submittal for Building and Grading plan check and issuance of Building and Grading Permits.  <hr/> Applicant Signature Date  <hr/> Print Name          Date	Prior to Recordation of Final Map	Planning Department	
2. The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative, or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively “Actions”),	Prior to Recordation of Final Map	Planning Department	

Eastvale Planning Commission  
 Project No. PLN19-20026 –TPM 37771 for Homestead Industrial Center

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<p>brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act (CEQA), the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City’s defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.</p>			
<p>3. The project shall be developed in accordance with the approved Tentative Parcel Map and Major Development Review, including the approved site plan, architectural elevations, conceptual landscape plan, and interim and ultimate improvements on Archibald Avenue and Limonite Avenues. The applicant may request modifications or revisions to the approved project as provided in the Eastvale Zoning Code.</p>	<p>Ongoing</p>	<p>Public Works and Planning Departments</p>	

Eastvale Planning Commission  
 Project No. PLN19-20026 –TPM 37771 for Homestead Industrial Center

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
4. Any approval shall not be final until and unless the applicant’s deposit account has a balance of at least <b>\$10,000</b> at the time that the applicant signs these conditions of approval (per Condition No. 1) to cover staff time for follow-up, monitoring, and other post-approval work by staff. The City reserves the right to request additional deposits to cover post-approval staff work and to halt work if the deposit account is exhausted. Make check payable to the City of Eastvale and include <b>Project No. PLN19-20026</b> on the check.	Ongoing	Public Works and Planning Departments	
<b>Prior to Recordation of Final Parcel Map</b>			
5. The applicant shall submit a proposed final parcel map and all supporting documents to Public Works for review and approval.	Prior to map recordation	Public Works Department	
6. The development shall be annexed into all applicable City of Eastvale owned and administered Community Facilities Districts and/or Landscaping Maintenance Districts for traffic signals, street lighting, and landscape maintenance of raised landscaped median and public parkways, to the satisfaction of the City Engineer or otherwise form a district where one is not currently in place.	Prior to map recordation	Public Works Department	
7. The applicant shall enter into a Subdivision Improvement Agreement with the City, and shall guarantee by posting security(ies) to include all public improvements that the developer is conditioned to construct as part of this approval, as included in the conditions of approval for Major Development Review 12-0051 and as illustrated on the proposed off-site interim and ultimate conditions plans	Prior to map recordation	Public Works Department	

Eastvale Planning Commission

Project No. PLN19-20026 –TPM 37771 for Homestead Industrial Center

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
	(Sheets C-3A-Site Plan, C-3B Interim Design, and C-3C-Ultimate Design).			
8.	The applicant shall submit to the City Engineer for review and approval the Covenants, Conditions and Restrictions (CC&Rs) and/or a Property Owners Association document to maintain and operate common areas and/or facilities including but not limited to water quality basins.	Prior to map recordation	Public Works Department	
9.	Show on the Final Map dedication of the public right-of-way for, Archibald Avenue and Limonite Avenue, as listed below, in accordance with the City of Eastvale Road Improvement Standards & Specification, Improvement Plan Check Policies and Guidelines, to the satisfaction of the City Engineer, and in coordination with the adjacent agencies as applicable. A. Limonite Avenue: From Archibald Avenue to Cucamonga Creek B. Archibald Avenue: From the City boundary to Providence Way	Prior to map recordation	Public Works Department	
10.	The applicant shall provide a copy of a reciprocal access agreement to access Providence Way, and documentation showing the responsible entity for maintaining the parking areas (including landscaping) in the center, and maintaining the landscaped areas along the Limonite Avenue and Archibald frontages to the City Engineer for review and approval.	Prior to map recordation	Public Works Department	
11.	The applicant shall provide will-serve letters from all utility agencies.	Prior to map recordation	Public Works Department	

Eastvale Planning Commission  
 Project No. PLN19-20026 –TPM 37771 for Homestead Industrial Center

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
12.	Various blanket and specific transportation and/or water easements that are no longer in use are to be quitclaimed/abandoned on the final map.	Prior to map recordation	Public Works Department	
13.	The applicant shall record appropriate easement(s) and agreement(s) for the construction and maintenance of water quality to meet the Storm Water Permit/Water Quality Management Plan Requirements.	Prior to map recordation	Public Works Department	
14.	Provide plans (landscape, grading, etc.) showing a multipurpose trail fronting the property per the City Standard Drawings.	Prior to map recordation	Public Works Department	
15.	Utilize 11-foot drive lanes for the street width – three lanes on Archibald Ave.	Prior to map recordation	Public Works Department	
16.	The intersection of Archibald Ave and Limonite Ave. will need to be designed for 2040 traffic with Limonite Avenue assumed to be 4 lanes west of Archibald Avenue. This could require a 14' median, two 10' left turns, three 11' through lanes and one right turn lane depending upon the traffic analysis.	Prior to map recordation	Public Works Department	
17.	Underground all distribution utilities fronting the property.	Prior to map recordation	Public Works Department	
18.	Install conduit for fiber optic along property frontage per City Standards.	Prior to map recordation	Public Works Department	
19.	Upgrade traffic signals within 100' of the property to provide synchronization.	Prior to map recordation	Public Works Department	
20.	Install License Plate Reader Cameras to tie-into the existing City-wide system at each traffic signal serving the property.	Prior to map recordation	Public Works Department	

Eastvale Planning Commission  
 Project No. PLN19-20026 –TPM 37771 for Homestead Industrial Center

	<b>Conditions of Approval</b>	<b>Timing/ Implementation</b>	<b>Enforcement/ Monitoring</b>	<b>Verification (Date and Signature)</b>
21.	Install PTZ cameras at each intersection to monitor traffic.	Prior to map recordation	Public Works Department	
22.	Include assessment of traffic signal synchronization, LPR and cameras and streetlights in the CFD or LMD for ongoing maintenance.	Prior to map recordation	Public Works Department	
23.	Provide on project plans (grading, site plan, etc.) design for the roundabout to be constructed east of Cucamonga creek.	Prior to map recordation	Public Works Department	
24.	Provide safe, functional pedestrian pathways throughout the site.	Prior to map recordation	Public Works Department	
25.	Provide photometric of street lighting. All streets light shall be Edison LS-3 tariff and utilize General Electric Evolve LED luminaires per City specifications.	Prior to map recordation	Public Works Department	

**GENERAL COMPLIANCE ITEMS/REQUIREMENTS AND INFORMATION**

The following items are noted for the applicant's information. These items are required by the City, other local agencies, or state and federal agencies, and are not conditions of approval of the project.

1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned. Amended entitlement approvals may be necessary as a result.
2. Submit a final parcel map and all supporting documents for review and approval to the satisfaction of the City Engineer and Public Works Department.
3. Applicants are responsible for all costs associated with off-site right-of-way acquisition, including any costs associated with the eminent domain process, if necessary.

Eastvale Planning Commission

Project No. PLN19-20026 –TPM 37771 for Homestead Industrial Center

4. Should this project lie within any assessment/benefit district, the project proponent shall, prior to acceptance of improvements, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district unless said fees are otherwise deferred.



	<p>agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.</p>			
<p>3.</p>	<p>The project shall be developed in accordance with the Planning Application PLN 19-20026 reviewed and approved by the City Council on XX-XX-XX, including the approved site plan, architectural elevations, conceptual landscape plan, etc. The applicant may request modifications or revisions to the approved project as outlined in the Eastvale Zoning Code.</p>	<p>Ongoing</p>	<p>Planning Department</p>	

4.	Any approval shall not be final until and unless the applicant’s deposit account has a balance of at least <b>\$10,000</b> to cover time for follow-up, monitoring, and other post-approval work by staff. The City reserves the right to request additional deposits to cover post-approval staff work and to halt work if the deposit account is exhausted. Make check payable to the <b>City of Eastvale</b> and include <b>PLN 19-20026</b>	Funding must be in place at the time Condition of Approval #1 is satisfied.	Planning Department	
5.	The Applicant shall comply with all applicable EIR Mitigation Measures and other requirements set forth in the certified EIR that was reviewed and approved by the City for PLN 19-20026.			

General

**Compliance Items/Requirements and Information**

The following items are noted for the applicant’s information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for Eastvale and many other agencies, including but not limited to the Jurupa Community Services District, Riverside County Flood Control District, and state and federal agencies.

Developer and applicant are used interchangeably below.

1. In compliance with Section 15075 of the CEQA Guidelines, a Notice of Determination (NOD) must be filed with the Riverside County Clerk within five (5) County working days of certification of the Environmental Impact Report (EIR) in order for the NOD to commence the 30-day statute of limitations on the EIR. The City must include the required California Department of Fish and Wildlife (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to “Riverside County Clerk” in the amount of **\$50.00 within one (1) City working day after project approval**. Failure to pay the required fees will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c)). The fee is broken down as follows:
  - a. Riverside County Clerk administrative fee of \$50.00.
2. Prior to the issuance of a grading permit, the developer shall pay all necessary fees as determined by the City Engineer to include but not be limited to Multiple Species Habitat Conservation Plan fees and grading permit fees.

Eastvale Planning Commission  
Project No. PLN 19-20026 Homestead

3. Transportation Uniform Mitigation Fees (TUMF) and any development impact fees that are in effect at that time shall be paid prior to the issuance of a certificate of occupancy, or as otherwise allowed per ordinance. The project may be qualified for TUMF credit through the approval process by the City of Eastvale and the Western Riverside Council of Governments (WRCOG).
4. The applicant shall comply with all provisions and procedures of the Eastvale Building Department related to the plan check review process. (Please contact the Building Department at 951-703-4450.)
5. No obstruction shall be placed on any existing easement. An approval document from easement holders shall be required for any easement encroachment.
6. Written permission shall be obtained from the affected property owners allowing the proposed grading and/or facilities to be installed outside of the project boundaries, including the maintenance of such off-site grading.
7. No grading shall be performed without prior issuance of a grading permit by the City.
8. All grading shall conform to the California Building Code and to all other relevant laws, rules, and regulations governing grading in the City of Eastvale. Prior to commencing any grading which includes 50 or more cubic yards, the developer shall obtain a grading permit from the Public Works Department.
9. All necessary measures to control dust shall be implemented by the applicant during grading to the satisfaction of the City Engineer.

Development Review and CUP Requirements

**PUBLIC HEARING NOTICE CERTIFICATION FORM**

I, SEAN WILSON, certify that on 03/04/2020,  
Print Name of Preparer Date

the attached property owner's list was prepared by:

TITLE PRO INFO SYSTEMS for the following project, 19-20026,  
Name of Company or Individual Project Case Number(s)

using a radius distance of 600 feet (or 1,000 feet for alcohol sale), pursuant to application requirements furnished by the City of Eastvale Planning Department. Said list is a complete and true compilation of the project applicant, the applicant's consultant's and/or representatives, the owner(s) of the subject property, adjacent city/district agencies (as applicable) based upon the latest equalized assessment rolls.

I further certify that the information field is true and correct to the best of my knowledge.

Name: SEAN WILSON

Title/Registration: VICE PRESIDENT - TITLE PRO INFORMATION SYSTEMS

Address: 13520 SCARSDALE WAY

City: SAN DIEGO State: CA Zip Code: 92128

Telephone No.: (760) 295-3951 Fax No.: (760) 295-4038

E-Mail Address: info@titleprois.com

Project/Permit No.: 19-20026

0218-083-01-0-000  
LOZANO, MIGUEL & MARIA DELALUZ  
5190 S KENSINGTON AVE  
ONTARIO, CA 91762

0218-083-02-0-000  
OH, MARK CHANG & LINDA KIM  
5192 S KENSINGTON AVE  
ONTARIO, CA 91762

0218-083-04-0-000  
XIA, ZHI J  
7582 HERTZ PL  
EASTVALE, CA 92880

0218-083-05-0-000  
SHAH, VIRAT G  
2732 ARBOR LN  
ONTARIO, CA 91762

0218-083-06-0-000  
HO, HUNG-JUI  
2738 ARBOR LN  
ONTARIO, CA 91762

0218-083-07-0-000  
LIE, FRITS H & GRACE S L TRUST  
2229 VICTORIA WAY  
ROWLAND HEIGHTS, CA 91748

0218-083-22-0-000  
LU, QIANSEN  
2735 ARBOR LN  
ONTARIO, CA 91762

0218-083-29-0-000  
CITY OF ONTARIO  
303 E B ST  
ONTARIO, CA 91764

0218-083-30-0-000  
CHINO BASIN DESALTER  
AUTHORITY  
1251 S HAVEN AVENUE 202  
ONTARIO, CA 91761

0218-083-33-0-000  
CHAIJAROEN, NARONG  
15241 LAGUNA CANYON RD  
IRVINE, CA 92618

0218-083-34-0-000  
ASUNCION, ARVIN B  
11870 PIERCE ST 250  
RIVERSIDE, CA 92505

0218-292-15 & 16, 144-010-004  
& 009  
TDC REMINGTON PARTNERS LLC  
20250 SW ACACIA ST 260  
NEWPORT BEACH, CA 92660

0218-292-17-0-000 (ET AL)  
SAN BERNARDINO CO FLOOD  
CONTROL  
825 E 3RD ST  
SAN BERNARDINO, CA 92415

0218-292-18-0-000  
MY HOME ENTERPRISES LLC  
11661 SAYWARD CIR  
RIVERSIDE, CA 92503

0218-311-07 & 13  
MARCHCHRIS CORP  
PO BOX 11659  
NEWPORT BEACH, CA 92658

0218-311-08-0-000  
OLONY COMMERCE ONTARIO EAST LP  
1001 RUE DU SQUARE-VICTORIA  
C-500  
MONTREAL QC, H2Z 2B5  
CANADA

0218-311-15-0-000  
CHINO BASIN DESALTER  
AUTHORITY  
8621 JURUPA RD  
RIVERSIDE, CA 92509

0218-321-15-0-000  
CHINO BASIN DESALTER  
AUTHORITY  
660 NEWPORT CENTER DR 1600  
NEWPORT BEACH, CA 92660

144-010-015, 018, 020, 023,  
024 & 032  
DYT, ANDY & DIANE M  
6207 ARCHIBALD ST  
CORONA, CA 92880

144-010-041 & 144-030-021  
JURUPA COMMUNITY SERVICES  
DIST  
11201 HARREL ST  
JURUPA VALLEY, CA 91752

144-010-060  
LUPO, CHRISTOPHER J  
6300 PROVIDENCE WAY  
EASTVALE, CA 92880

144-010-061  
1800 S MILLIKEN AVE LLC  
1830 S MILLIKEN AVE  
ONTARIO, CA 91761

144-010-062  
CHINO EUCLID LLC  
6444 SAN FERNANDO RD 3944  
GLENDALE, CA 91221

144-010-063  
EASTVALE STORAGE LLC  
1717 N WATERFRONT PKWY  
WICHITA, KS 67206

144-010-064  
INVESLEAD LLC  
1550 VALLEY VISTA DR 208  
DIAMOND BAR, CA 91765

144-010-065  
VANBURST HOLDINGS LLC  
610 SKYLINE DR  
DIAMOND BAR, CA 91765

144-010-068  
LBA NCC2-CO III LLC  
280 NEWPORT CENTER DR 240  
NEWPORT BEACH, CA 92660

144-010-071 & 074  
CAMPUS MAINTENANCE  
CORPORATION  
280 NEWPORT CENTER DR 240  
NEWPORT BEACH, CA 92660

144-010-072 & 076  
CAMPUS EASTVALE PROP OWNER  
280 NEWPORT CENTER DR 240  
NEWPORT BEACH, CA 92660

144-010-073 & 075  
ORBIS EASTVALE PARTNERS LLC  
280 NEWPORT CENTER DR  
NEWPORT BEACH, CA 92660

144-030-039 & 040  
WAL MART REAL ESTATE BUSINESS  
TR  
1301 SE 10TH ST  
BENTONVILLE, AR 72712

- 31 PRINTED -  
\* DUPLICATE OWNER LABELS  
COMBINED  
NOTE: THERE IS ONE INTERNATIONAL  
LABEL ON PAGE ONE

THE HOMESTEAD, LLC  
C/O ORBIS REAL ESTATE  
PARTNERS  
280 NEWPORT CENTER DRIVE,  
SUITE 240  
NEWPORT BEACH, CA 92660

CHINO PLANNING DEPARTMENT  
13220 CENTRAL AVENUE  
CHINO, CA 91710

CORONA CITY HALL  
PLANNING DEPARTMENT  
400 S. VICENTIA AVENUE  
CORONA, CA 92882

ONTARIO PLANNING DEPARTMENT  
303 E B ST  
ONTARIO, CA 91764

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

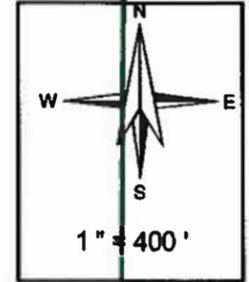
POR. SEC. 22, 27 T.2S, R.7W

TRA 027-002

Attachment 5  
144-01

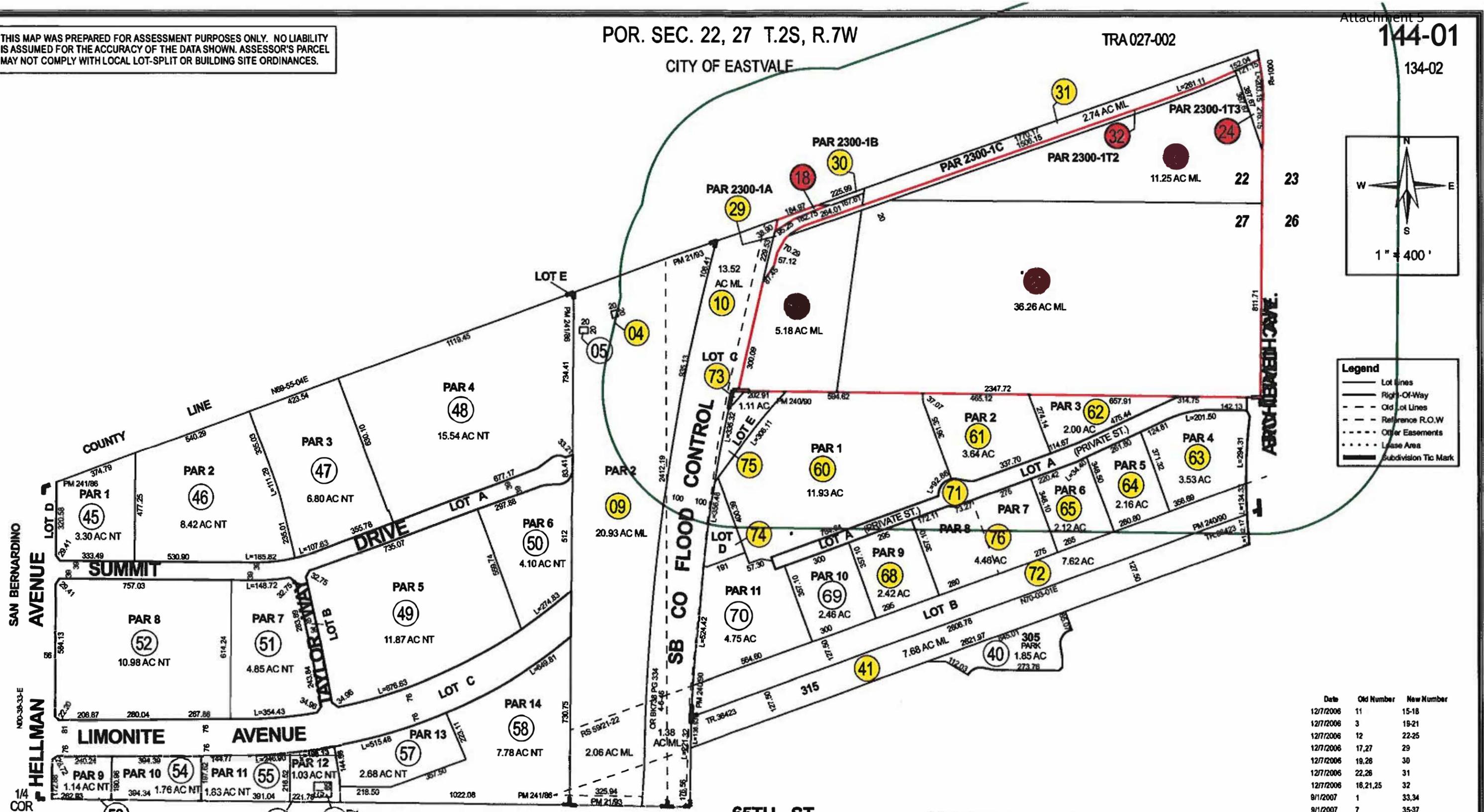
134-02

CITY OF EASTVALE



**Legend**

- Lot lines
- Right-Of-Way
- - - Old Lot Lines
- - - Reference R.O.W
- ..... Other Easements
- ..... Lease Area
- Subdivision Tic Mark



Date	Old Number	New Number
12/7/2006	11	15-18
12/7/2006	3	19-21
12/7/2006	12	22-25
12/7/2006	17,27	29
12/7/2006	19,28	30
12/7/2006	22,26	31
12/7/2006	16,21,25	32
9/1/2007	1	33,34
9/1/2007	7	35-37
9/1/2007	8,36	38
7/15/2014	34,35	39
7/15/2014	39	40,41,PG.89-91
11/2/2015	33	42,ST
11/2/2015	38	43,ST
11/2/2015	2	ST
2/2/2017	8, 13	44
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2/8/2017	58	60-75
7/19/2017	66,67	76

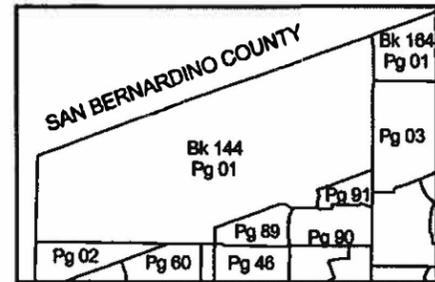


ASSESSOR'S MAP BK144 PG. 01  
Riverside County, Calif.

Mamta Sahi

**Data**  
RS 48/14, 59/21-22  
RS 4/54, 34/81, 40/67  
MB 9/33 SB SEE 'A' FILE  
RS 87/93, 84/79-80

**Map Reference**  
MB 440/59 - 69 TRACT MAP NO. 36423  
PM 21/93 PM NO 6141  
PM 241/86 - 93 PARCEL MAP NO. 36787  
PM 240/90 - 95 PARCEL MAP NO. 35865



Jul 2017

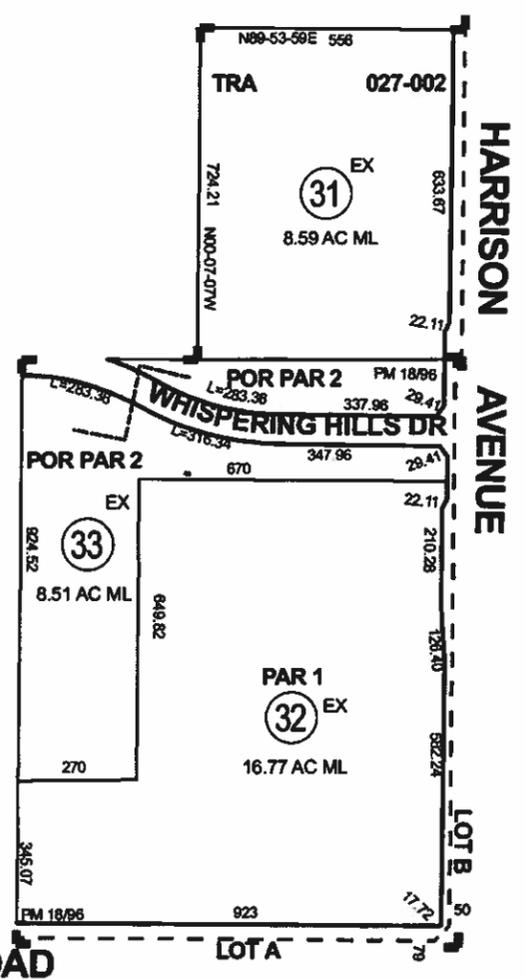
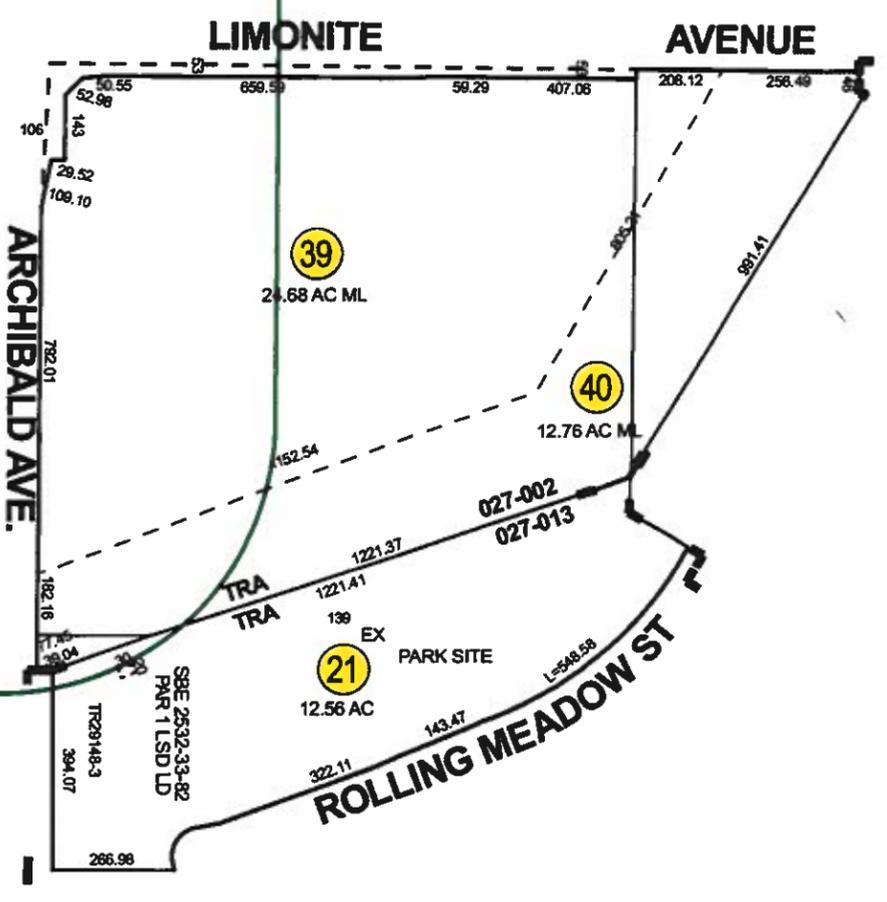
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POR W1/2 SEC. 26 T.2S, R.7W  
CITY OF EASTVALE

TRA 027-002  
027-013

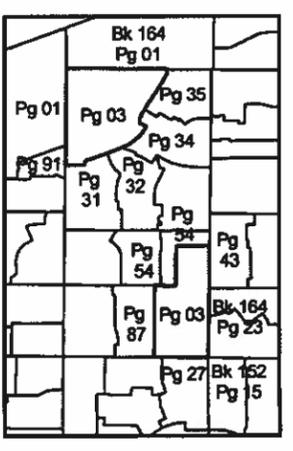
144-03  
134-05

26



ASSESSOR'S MAP BK. 144 PG. 03  
Riverside County, Calif.  
jasantos

Data \*  
PM 18/96  
MB 9/33 SB  
RS 59/21-22

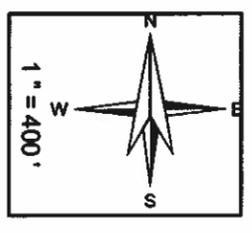


Map Reference \*  
MB 34/146 - 53 TRACT MAP NO. 29148-3  
PM 18/96 - 0 PARCEL MAP NO. 6609

Legend	
—	Lot Lines
- - -	Right-Of-Way
- - -	Old Lot Lines
- - -	Reference R.O.W
- - -	Other Easements
.....	Lessee Area
.....	Subdivision Tie Mark

27 26  
34 35

SCHLEISMAN ROAD



Date *	Old Num *	New Num *
12/1/2003	7	14.15
12/1/2003	8-11,13,15	16
12/1/2003	16	17-20
1/1/2004	17	PG.31-33
10/1/2006	26	PG.53,54
10/1/2006	27	PG.54,55
12/1/2006	5	28.ST
3/1/2007	3	29.ST
3/1/2007	4	30.ST
3/1/2007	23	31.ST
3/1/2007	24	32.ST
3/1/2007	25	33.ST
9/10/2012	29,30	34
9/10/2012	34	PG.87,88
1/1/2004	18	33.3-1-8
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1/1/2004	18	33.5-1-27
1/1/2004	18	PG.34
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1/1/2004	18	32.2-1-12
1/1/2004	18	32.3-1-9
1/1/2004	19	31.3-1-24
1/1/2004	19	32.4-1-13
1/1/2004	19	32.5-1-27
1/1/2004	19	32.6-1-12
1/1/2004	19	34.2-1-14
1/1/2004	19	34.3-1-6
1/1/2004	20	34.4-1-6
1/1/2004	20	34.5-1-8
1/1/2004	20	34.6-1-22
12/1/2003	6	12.13
1/1/2004	20	PG.35
1/1/2004	20	PG.35
12/1/2005	1	24.25
3/1/2006	2	24.25
10/1/2006	22	24.27

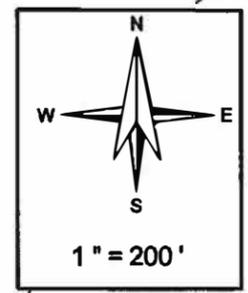
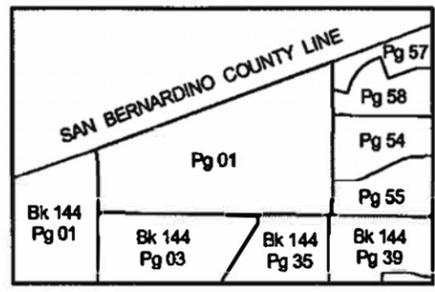
Nov 2015

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

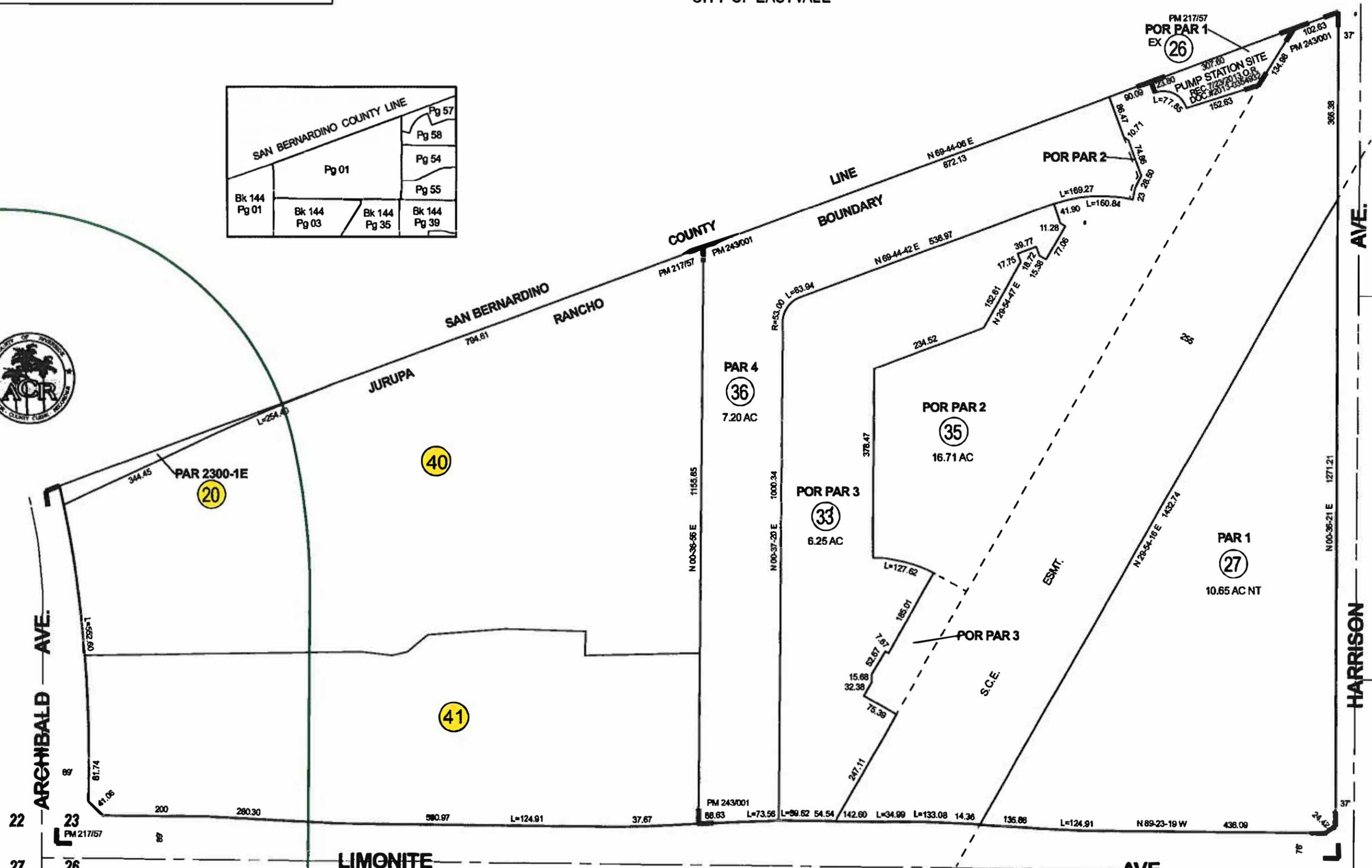
SW 1/4, SEC. 23, T.2S., R.7W.

T.R.A. 027-002

CITY OF EASTVALE



- Legend**
- Lot Lines
  - Right-Of-Way
  - - - Old Lot Lines
  - - - Reference R.O.W
  - ..... Other Easements
  - ..... Lease Area
  - Subdivision Tic Mark



Date *	Old Number *	New Number *
2/1/2005	7,10	11
2/1/2005	8,250-25	250-32
2/1/2005	9,250-26	250-33
2/1/2005	ADD ASMT	8-10
9/1/2005	1	12,13
3/1/2006	2	14,ST
4/1/2006	3-5	15
4/1/2006	15	PGS.54,55
4/1/2006	6	16,ST
9/1/2006	16	17,18
12/1/2008	18	19-20
12/1/2008	12	21-22
1/1/2007	21	23,570-1
1/1/2007	14,23	24
1/1/2007	24	PGS. 57,58
1/1/2007	13	570-27
1/1/2007	22	570-28
3/1/2007	11	020-8
12/3/2013	17	25,28
10/10/2017	25	27-30
1/2/2018	28	31,32
1/2/2018	29	33,34
1/2/2018	31,34	35
1/2/2018	30,32	36

**Data \***  
 ME 9/33 SB, 11/42  
 RS 52/30, 6-GG  
 RS 59/21

**Map Reference \***  
 FM 217/57 - 58 PARCEL MAP NO. 33036  
 FM 243/01 - 04 PARCEL MAP NO. 37046

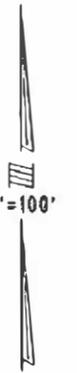
THIS MAP IS FOR THE PURPOSE  
OF AD VALOREM TAXATION ONLY.



# Ptn. Tract No. 18077, M.B. 339/61-67

City of Ontario  
Tax Rate Area  
4089

Attachment 5  
0218 - 08



REVISED	
02/04/15	RU
05/14/15	RU
05/19/16	RW-MC
05/16/17	RU
09/19/17	RU
09/22/17	RU

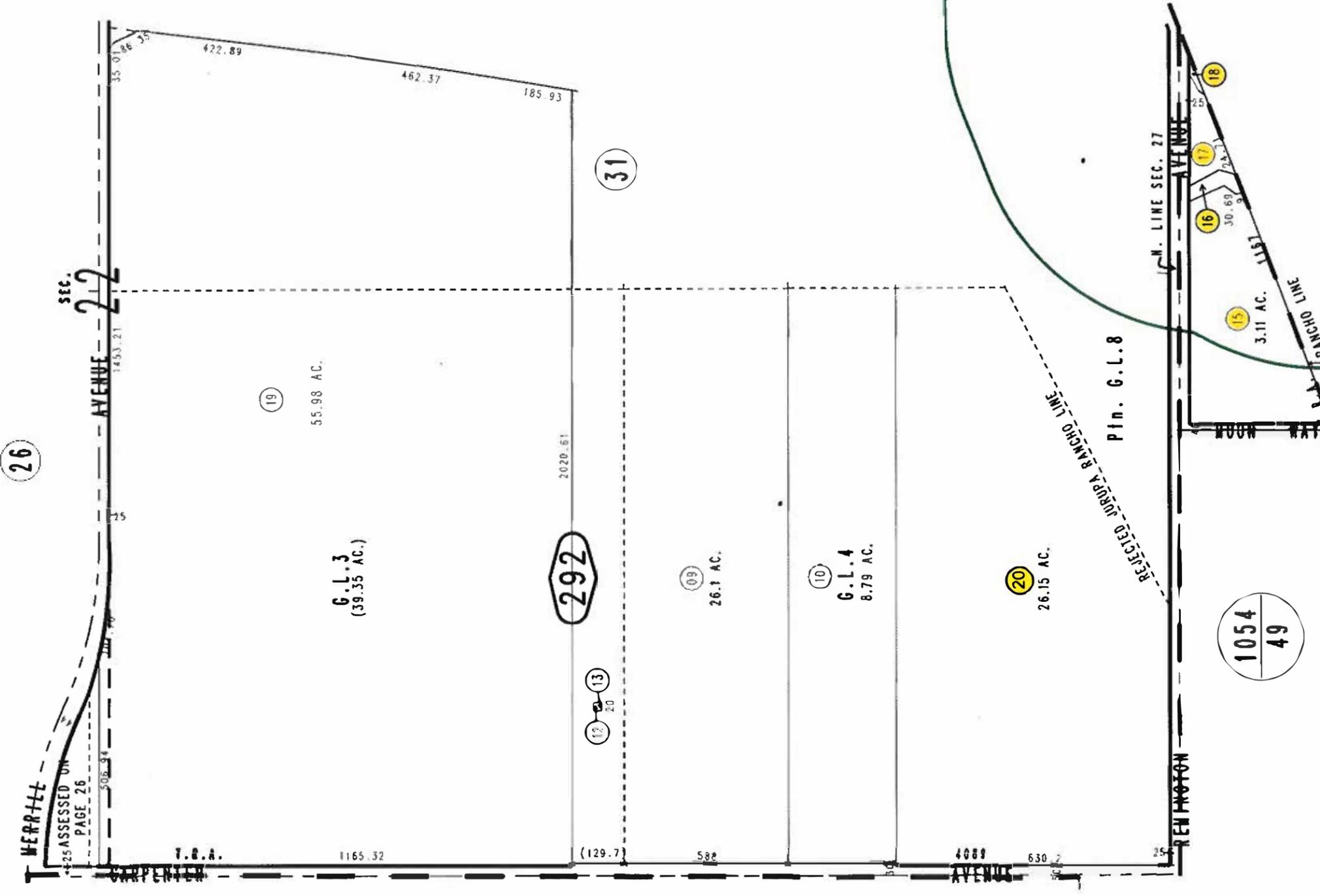
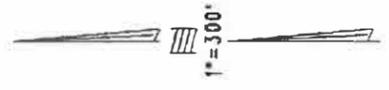
THIS MAP IS FOR THE PURPOSE  
OF AD VALOREM TAXATION ONLY.



Ptn. S 1/2 Sec.22, T.2S.,R.7W., S.B.B.&M.  
Ptn. N1/2 Sec.27, T.2S., R.7W., S.B.B.&M.

City of Ontario  
Tax Rate Area  
1167 4089

Attachment 5  
0218 - 29



SAN BERNARDINO COUNTY  
RIVERSIDE COUNTY  
PATENTED JURUP RANCHO LINE  
REFLECTED JURUP RANCHO LINE  
P.L.N. G.L.8

1054  
37

1054  
46

1054  
49

Assessor's Map  
Book 0218 Page 29  
San Bernardino County

REVISED  
02/09/18 RU  
02/06/19 GW  
06/18/19 RU

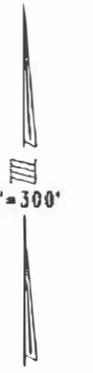
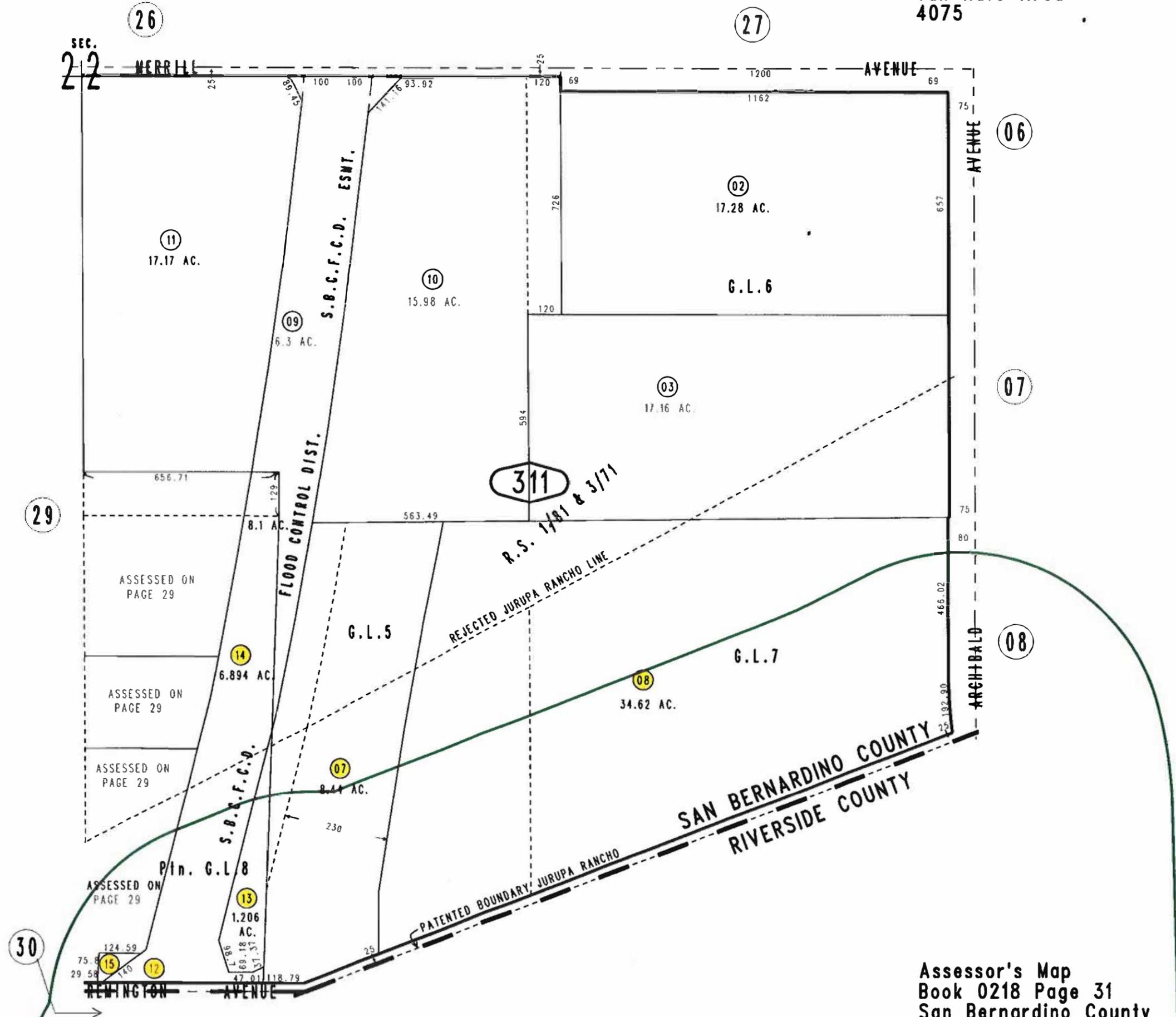
THIS MAP IS FOR THE PURPOSE  
OF AD VALOREM TAXATION ONLY.



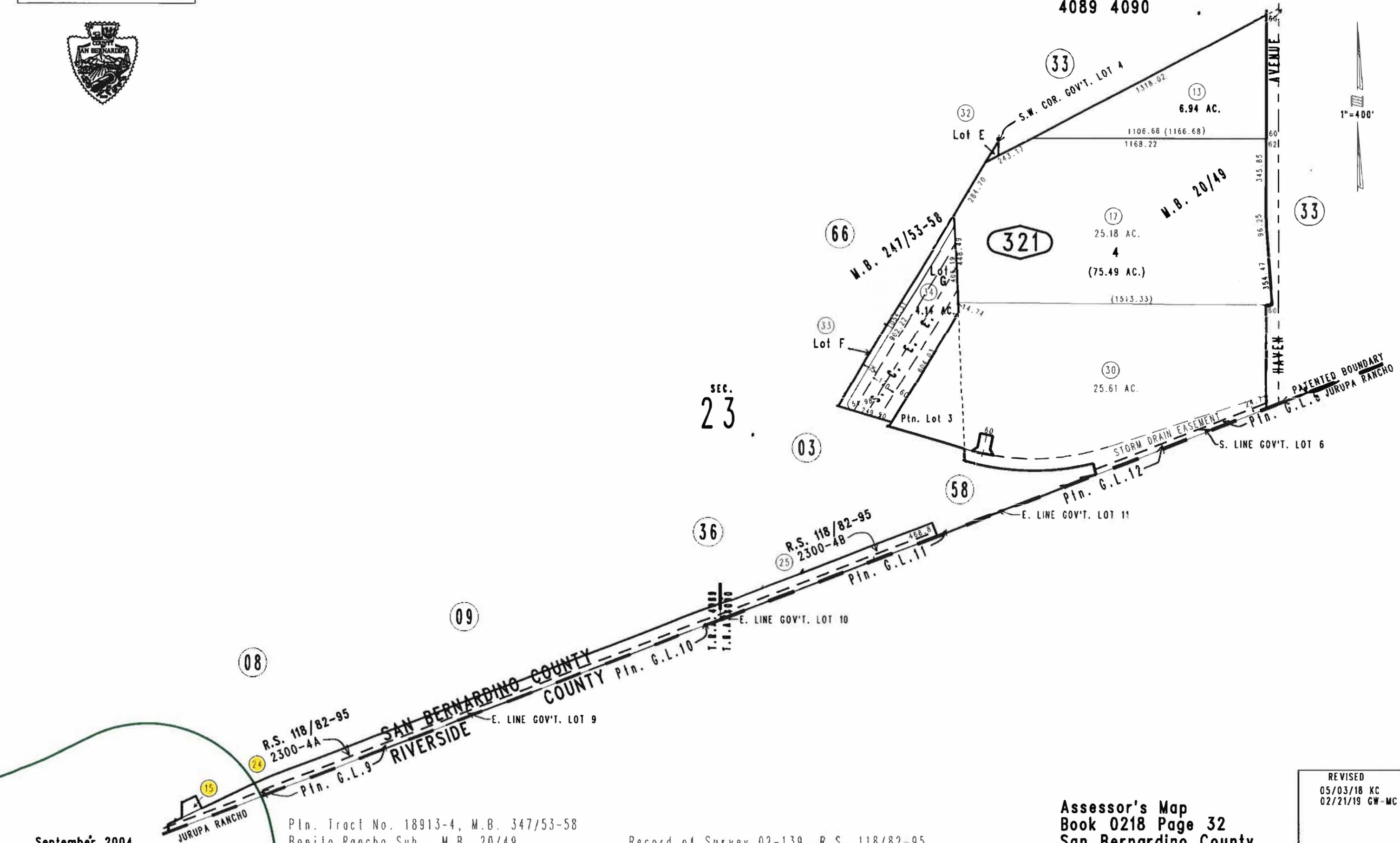
# S.E.1/4 Sec.22, T.2S.,R.7W., S.B.B.&M.

City of Ontario  
Tax Rate Area  
4075

Attachment 5  
0218 - 31

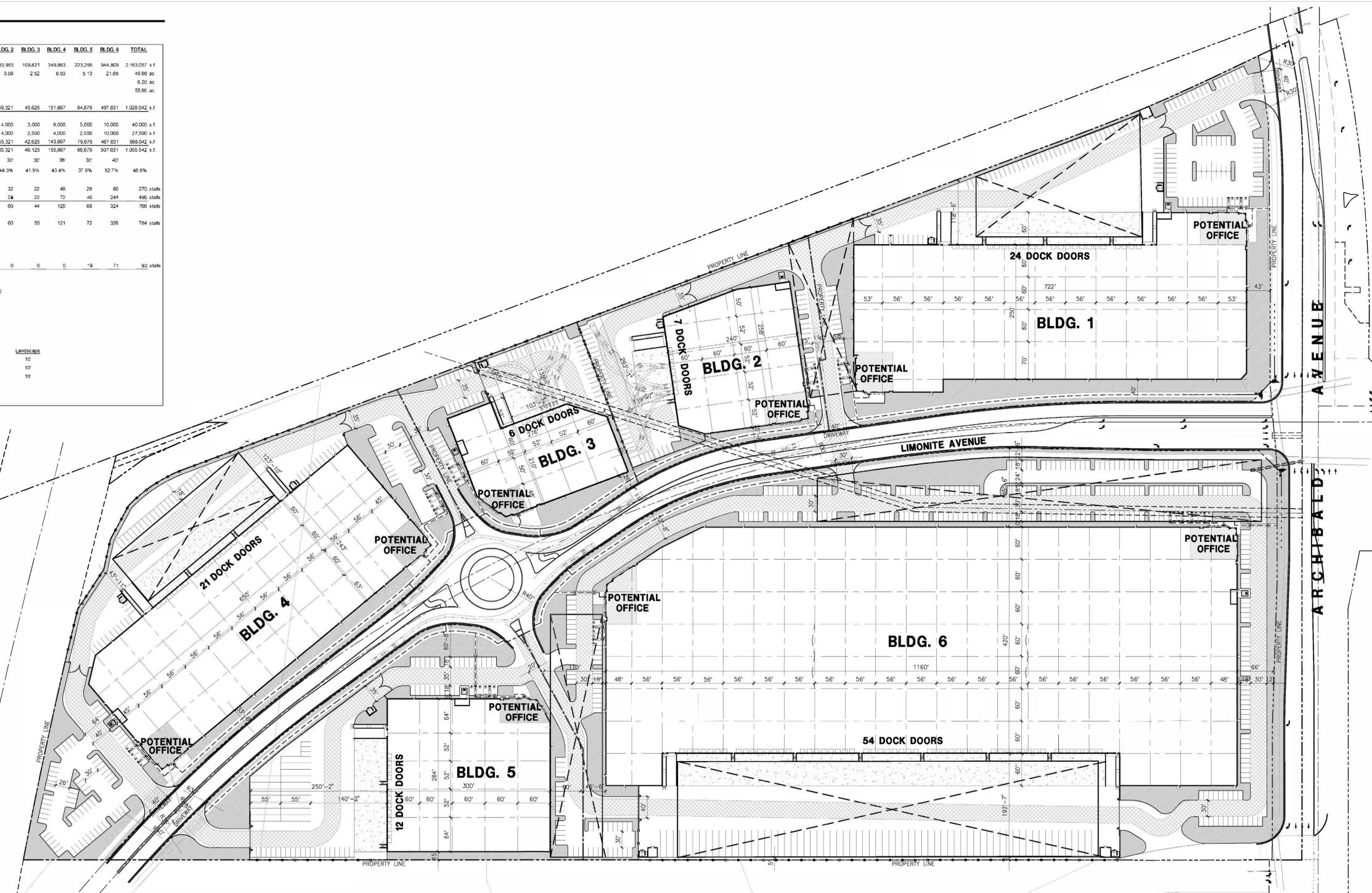


THIS MAP IS FOR THE PURPOSE  
OF AD VALOREM TAXATION ONLY.



**PROJECT DATA**

CITY OF EASTVALE	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	TOTAL
<b>NET SITE AREA</b>							
± s.f.	401,355	133,953	109,821	349,863	223,256	944,809	2,163,057 ± s.f.
In acres	9.21	3.08	2.52	8.03	5.13	21.89	49.88 ac
<b>NET DEDICATION</b>							6.20 ac
<b>GROSS TOTAL BUILDING AREA</b>							55.86 ac
Footprint	188,919	59,321	45,625	151,867	84,679	497,631	1,028,042 ± s.f.
Office	10,000	4,000	3,000	9,000	5,000	10,000	40,000 ± s.f.
Mechanics	5,000	4,000	2,500	4,000	2,000	10,000	27,500 ± s.f.
Warehouse	173,919	55,321	42,625	143,867	79,679	487,631	968,042 ± s.f.
TOTAL	193,919	63,321	48,125	155,867	86,679	507,631	1,055,542 ± s.f.
Clear building height	36'	30'	30'	36'	30'	40'	
<b>COVERAGE</b>	47.1%	44.3%	41.5%	43.4%	37.9%	52.7%	48.6%
<b>AUTO PARKING REQUIRED</b>							
Office: 1250 s.f.	60	32	22	48	28	80	270 stalls
Warehouse: 12,000 s.f.	90	28	22	72	40	244	496 stalls
TOTAL	150	60	44	120	68	324	766 stalls
<b>AUTO PARKING PROVIDED</b>							
Standard (9' x 18')	150	60	55	121	72	326	784 stalls
<b>TRAILER PARKING PROVIDED</b>							
Trailer (12' x 50')	0	0	0	0	19	71	92 stalls
<b>TOTAL PARKING PROVIDED</b>							
Trailer (12' x 50')	0	0	0	0	19	71	92 stalls
<b>ZONING ORDINANCE FOR CITY</b>							
Current Zoning Designation - Heavy Agriculture (A-2)							
Proposed Zoning Designation - Industrial park (I-P)							
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>							
Height - 75'							
<b>MAXIMUM FLOOR AREA RATIO</b>							
FAR - 0.60							
<b>SETBACKS (See notes for additional setbacks)</b>							
Source							
Archibald Ave. - 25'	10'						
Limonite Ave. - 25'	10'						
Side / Street side - 10'	10'						
Rear - 15'							
<b>LANDSCAPE REQUIREMENT</b>							
Percentage - 10% of total interior parking area							



**MASTER SITE PLAN**  
scale: 1" = 80'-0" **A**



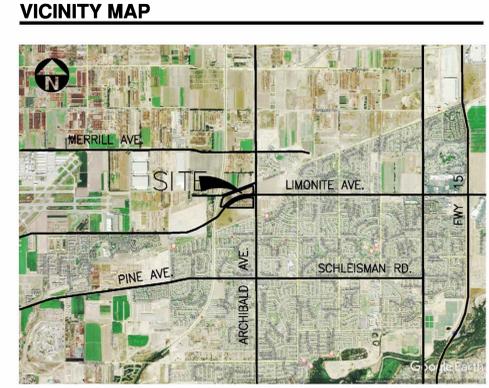
**Property owner**  
THE MERGE COMPANY I, LLC c/o  
ORBIS REAL ESTATE PARTNERS  
280 NEWPORT CENTER DRIVE, #240  
NEWPORT BEACH, CA 92660  
CONTACT: RAYMOND POLVERINI  
949.330.7564

**Address of the property**  
EASTVALE, CA

**Assessor's Parcel Number**  
144-010-015, 144-010-018, 144-010-020,  
144-010-023, 144-010-024 & 144-010-032.

**Zoning**  
LIGHT INDUSTRIAL (LI)

**Applicant's representative**  
HPA, INC.  
18831 BARDEEN AVE SUITE 100  
IRVINE, CA 92612  
TEL: 949-863-2108  
ATTN: SHA LIU MAHONEY



ALUC AREA  
ZONE C = 9.1 AC REQUIRED  
8.1 AC PROVIDED

- SITE PLAN GENERAL NOTES**
- SOCAL GEO #72807-22-01 DATED MAY 25TH, 2018
  - IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
  - ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
  - SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
  - THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
  - SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
  - PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
  - CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
  - SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
  - CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
  - ALL PROPERTY LINES, EASEMENTS & BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN THIS SITE PLAN
  - PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
  - CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.

- SITE LEGEND**
- LANDSCAPED AREA
  - CONCRETE PAVING - SEE "C" DRWS. FOR THICKNESS
  - PATH OF TRAVEL
  - 24' FIRE LANE. PROVIDE RED CURBS AND SIGNAGE PER FIRE DEPT REQUIREMENT
  - 3.85 ACRES OF ALUC - ELIGIBLE OPEN AREA (AT LEAST 75' IN WIDTH AND 300' IN LENGTH)
  - STANDARD PARKING STALL 9'-0" X 18'
  - ACCESSIBLE PARKING STALL 12' X 18' + 5' W/ ACCESSIBLE AISLE
  - CLEANAIR VANPOOL/EV STALL (10%)
  - PRIVATE FIRE HYDRANT APPROXIMATE LOCATION

**HPA**  
architecture

hpa, inc.  
18831 bardeen avenue - ste. #100  
irvine, ca  
92612  
tel: 949-863-1770  
fax: 949-863-0851  
email: hpa@hparchs.com

**Owner:**

**ORBIS**  
REAL ESTATE PARTNERS

280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

**Project:**

**THE HOMESTEAD**

City of Eastvale, CA

**Consultants:**

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

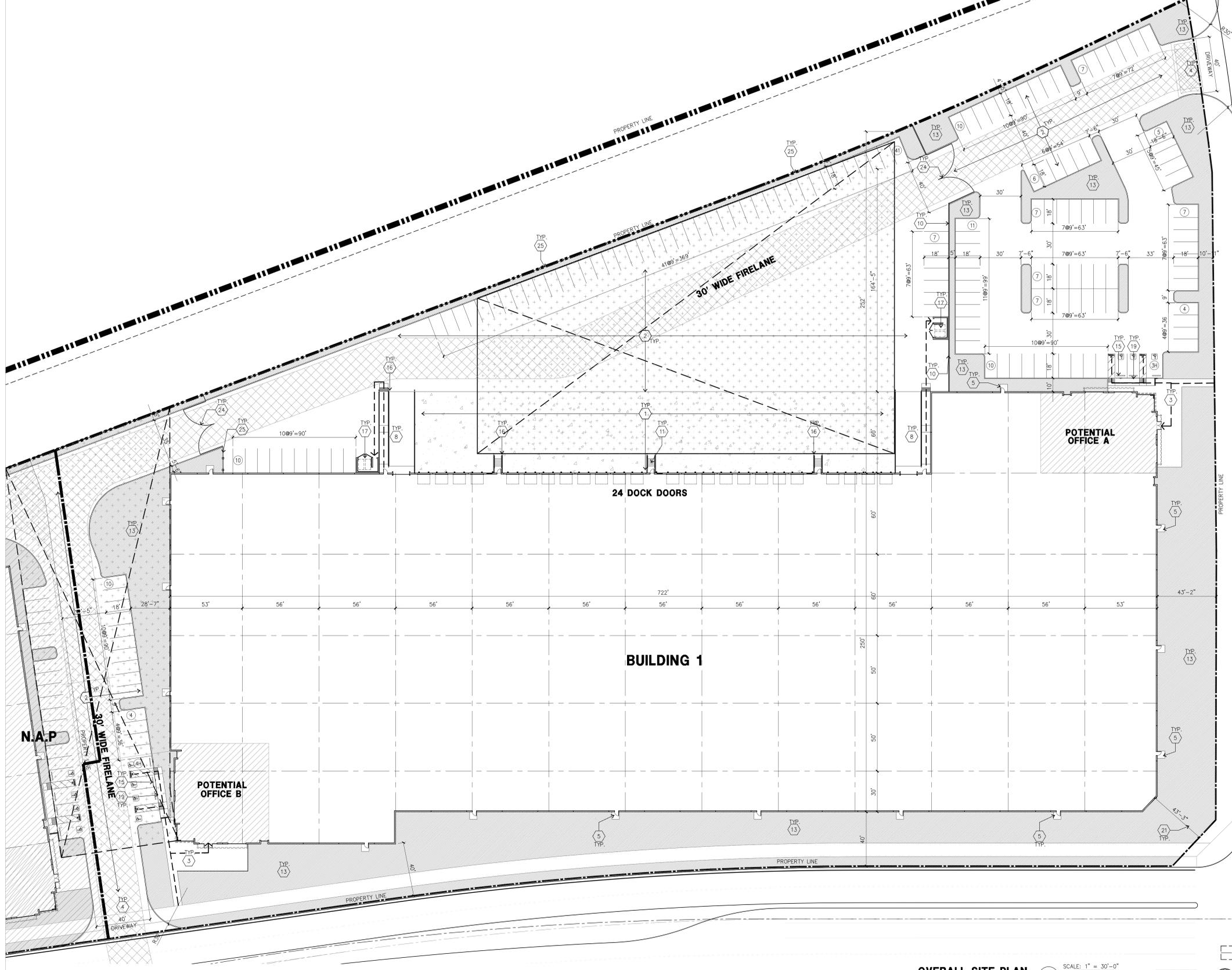
**Title:** MASTER SITE PLAN

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 3/9/2020  
Revision:

Sheet:

**A1.0**

**OFFICIAL USE ONLY**



**Property owner**  
 THE HOMESTEAD, LLC  
 280 NEWPORT CENTER DRIVE, #240  
 NEWPORT BEACH, CA 92660  
 CONTACT: GRANT ROSS  
 949.688.693

**Address of the property**  
 EASTVALE, CA

**Assessor's Parcel Number**  
 144-010-015, 144-010-018, 144-010-020,  
 144-010-023, 144-010-024 & 144-010-032.

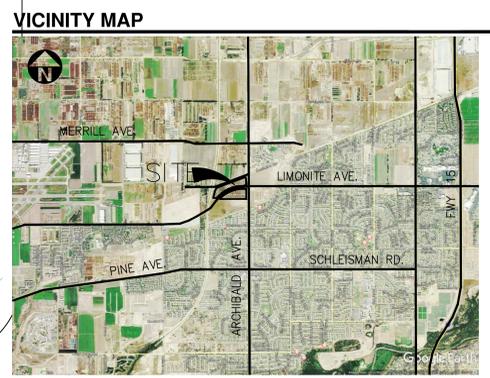
**Zoning**  
 LIGHT INDUSTRIAL (LI)

**Applicant's representative**  
 HPA, INC.  
 18831 BARDEEN AVE SUITE 100  
 IRVINE CA 92612  
 TEL: 949-862-2108  
 ATTN: SHA LIU MAHONEY

**PROJECT DATA**

NET SITE AREA	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	TOTAL
sq. ft.	421,886	133,411	109,621	350,000	228,915	841,787	2,163,818
in acres	9.23	3.06	2.52	8.04	5.21	21.62	49.68
<b>NET DEVELOPMENT</b>							
<b>BLDG. TOTAL</b>	128,954	58,063	43,563	197,071	84,810	487,360	1,037,920
<b>OFFICE</b>	10,000	4,000	3,000	8,000	5,000	10,000	40,000
<b>MEZZARINE</b>	5,000	4,000	2,000	4,000	2,000	10,000	27,000
<b>WAREHOUSE</b>	113,954	50,063	40,563	145,071	79,810	487,360	927,300
<b>TOTAL</b>	196,954	61,063	45,563	167,071	86,810	507,360	1,055,400
<b>Clear building height</b>	30'	30'	30'	32'	32'	40'	
<b>COVERAGES</b>	48.3%	44.3%	41.5%	44.6%	37.3%	50.6%	48.0%
<b>Auto Parking Required</b>	80	32	22	48	28	80	270
<b>Office 1025 s.f.</b>	82	28	22	75	40	244	501
<b>Warehouse 12,000 s.f.</b>	154	61	55	140	73	325	608
<b>Auto Parking Provided</b>	154	61	55	140	73	325	608
<b>Standard 1' x 18'</b>							
<b>TRAILER PARKING PROVIDED</b>	0	0	0	0	10	60	88
<b>Trailer 12' x 50'</b>							

ARCHIBALD AVENUE

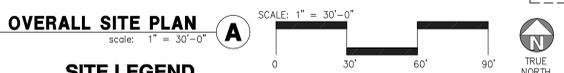


**SITE PLAN KEYNOTES**

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- CONCRETE PAVING PER CIVIL.
- CONCRETE WALKWAY, MEDIUM BROOM FINISH
- DRIVEWAY APRONS TO BE CONSTRUCTED
- 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 8" HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- EXTERIOR BIKE RACK TYPICAL.
- 14" CONCRETE TILT SCREEN WALL
- EXTERIOR CONCRETE STAIR.
- NOT USED.
- LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- NOT USED.
- PRE-CAST CONCRETE WHEEL STOP.
- CONCRETE FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- TRASH ENCLOSURE PER CITY STANDARD.
- ACCESSIBLE ENTRY SIGN.
- ACCESSIBLE PARKING STALL SIGN.
- TRUNCATED DOME.
- MONUMENT SIGN
- NOT USED.
- NOT USED.
- 8" HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8" HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- MAILBOX

**SITE PLAN GENERAL NOTES**

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT DETAILS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.



**SITE LEGEND**

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (8'-6" X 16' W/ 2' OVERHANG)
- LANDSCAPED AREA
- 24' WIDE FIRELANE
- HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL



hpa, inc.  
 18831 bardeen avenue - ste. #100  
 irvine, ca  
 92612  
 tel: 949-863-1770  
 fax: 949-863-0851  
 email: hpa@hparchs.com



280 Newport Center Dr. Suite 240  
 Newport Beach, CA 92660  
 tel: 949-330-7564

**THE HOMESTEAD**

City of Eastvale, CA

**Consultants:**  
 Civil: KIMLEY HORN  
 Structural:  
 Mechanical:  
 Plumbing:  
 Electrical:  
 Landscape: SPLA  
 Fire Protection:  
 Soils Engineer:

Title: BUILDING 1 OVERALL SITE PLAN

Project Number: 18440  
 Drawn by: SHA LIU MAHONEY  
 Date: 2/6/2020  
 Revision:

Sheet:

1-DAB-A1.1

OFFICIAL USE ONLY

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

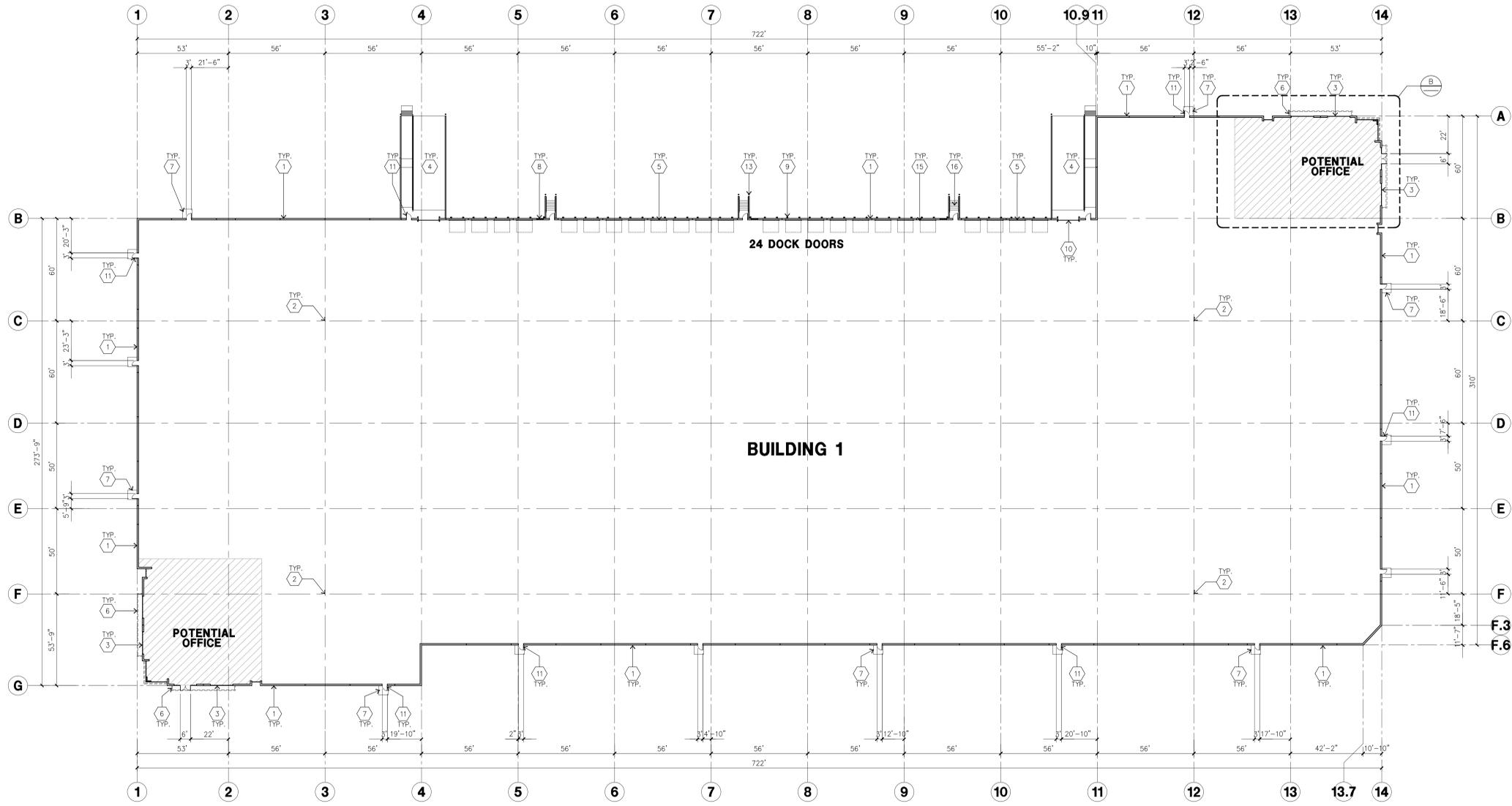
Consultants:

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

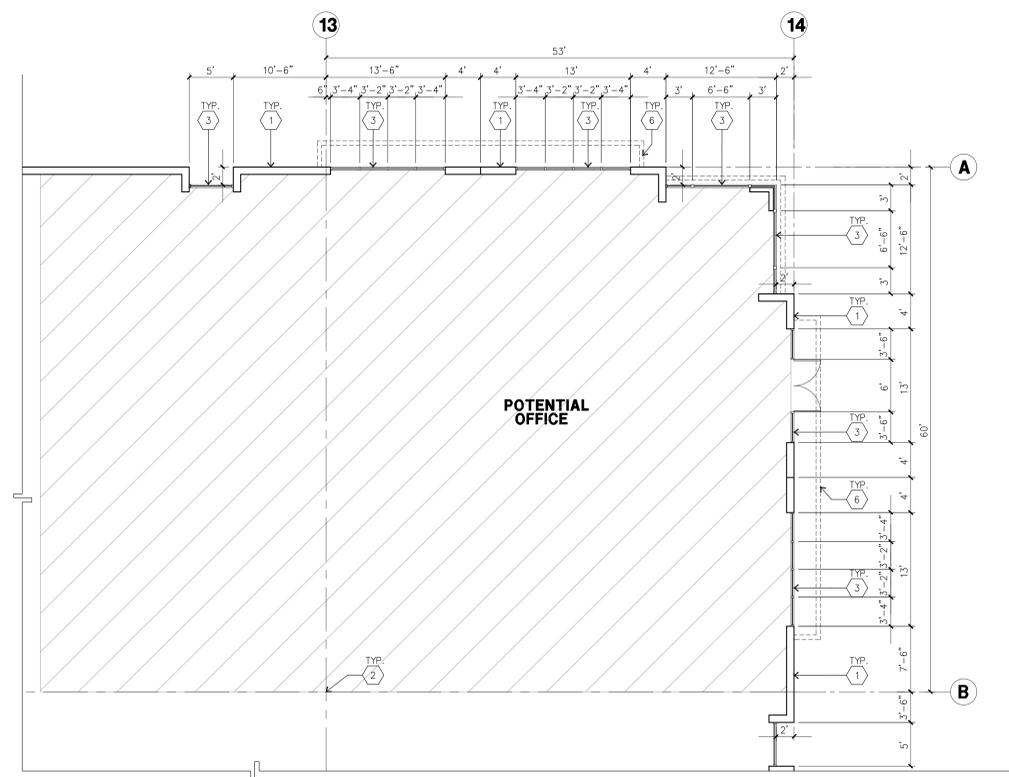
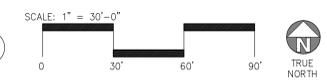
Title: BUILDING 1  
OVERALL FLOOR PLAN

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

Sheet:



**OVERALL FLOOR PLAN**  
scale: 1" = 30'-0"



**ENLARGED FLOOR PLAN**  
scale: 1/8" = 1'-0"

**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD
- 6 METAL CANOPY.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 42"H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN. SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR, PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 113.3B.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 1  
ELEVATION

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

Sheet:

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

**COLOR SCHEDULE - ELEVATIONS**

- 1 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 2 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7071 GRAY SCREEN
- 3 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7073 NETWORK GRAY
- 4 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7074 SOFTWARE
- 5 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7075 WEB GRAY
- 6 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7602 INDIGO BATIK
- 7 MULLIONS FINISH CLEAN ANODIZED
- 8 GLAZING COLOR BLUE REFLECTIVE GLAZING
- 9 METAL CANOPY PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 10 DOORS COLOR MATCH BUILDING COLOR

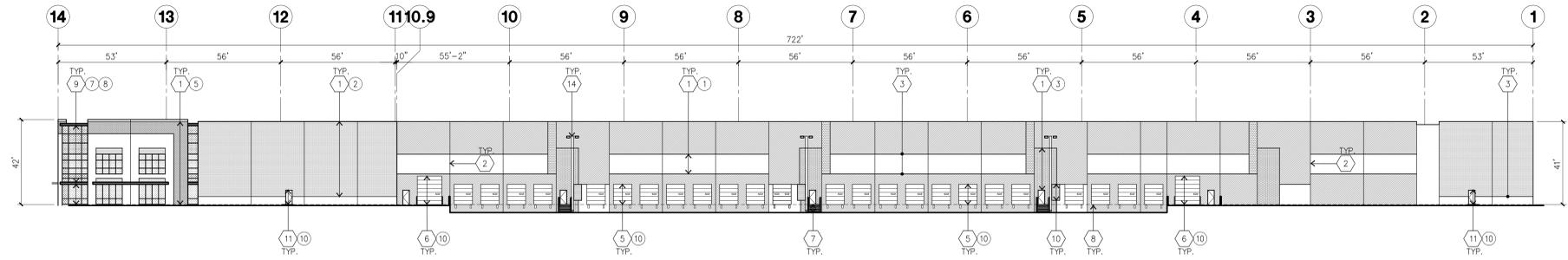
**GLAZING LEGEND**

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

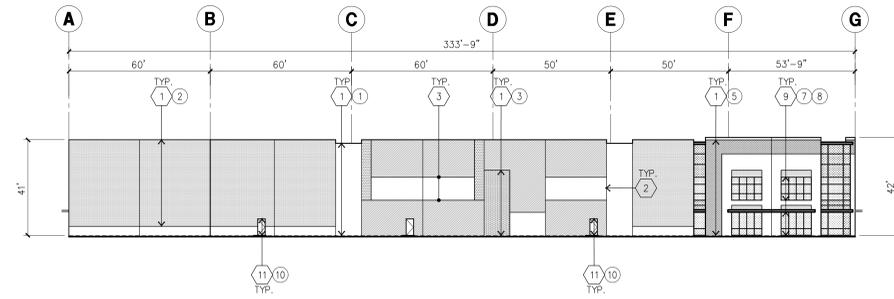
ALL GLASS TO BE NON-REFLECTIVE

**GENERAL NOTES - ELEVATIONS**

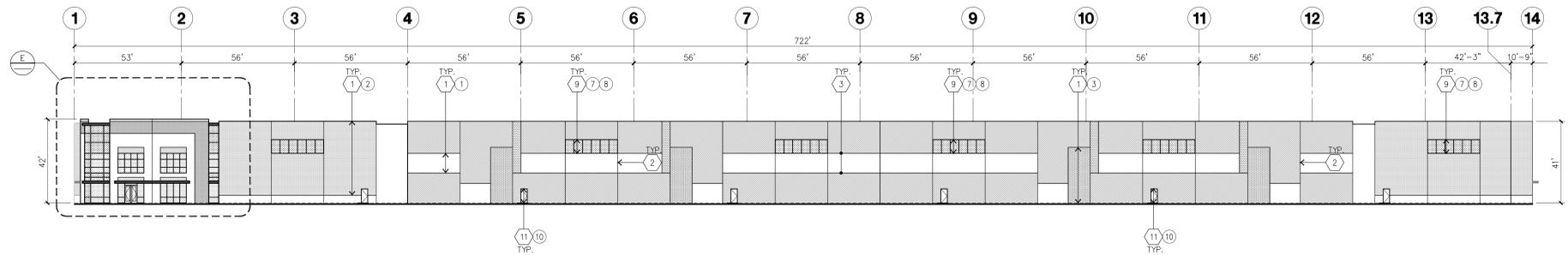
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



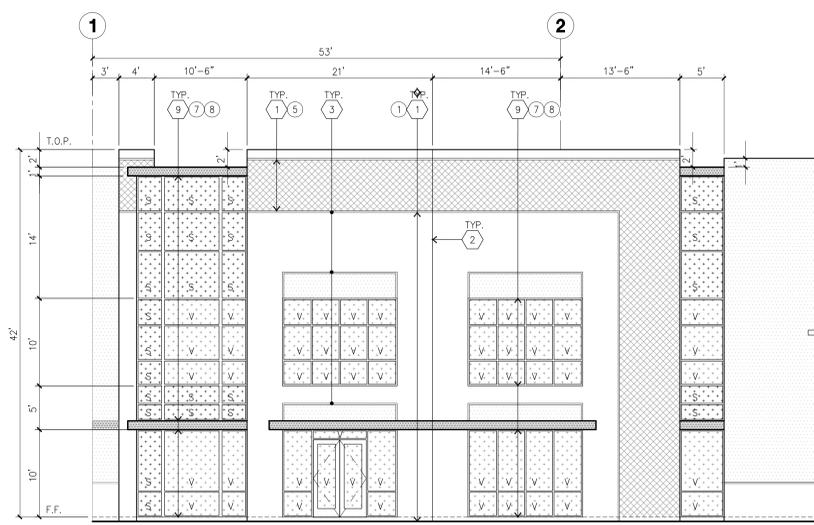
**NORTH ELEVATION A**  
scale: 1" = 30'-0"



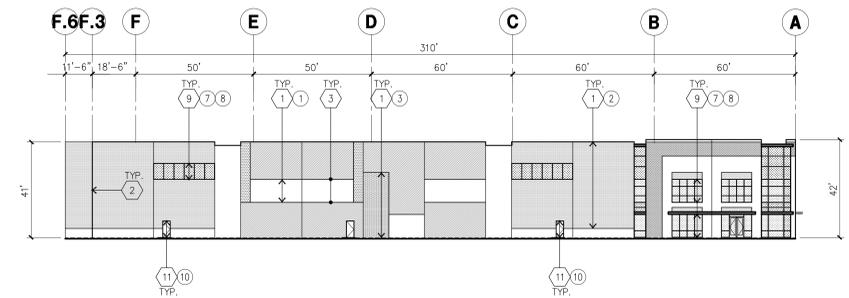
**WEST ELEVATION B**  
scale: 1" = 30'-0"



**SOUTH ELEVATION C**  
scale: 1" = 30'-0"

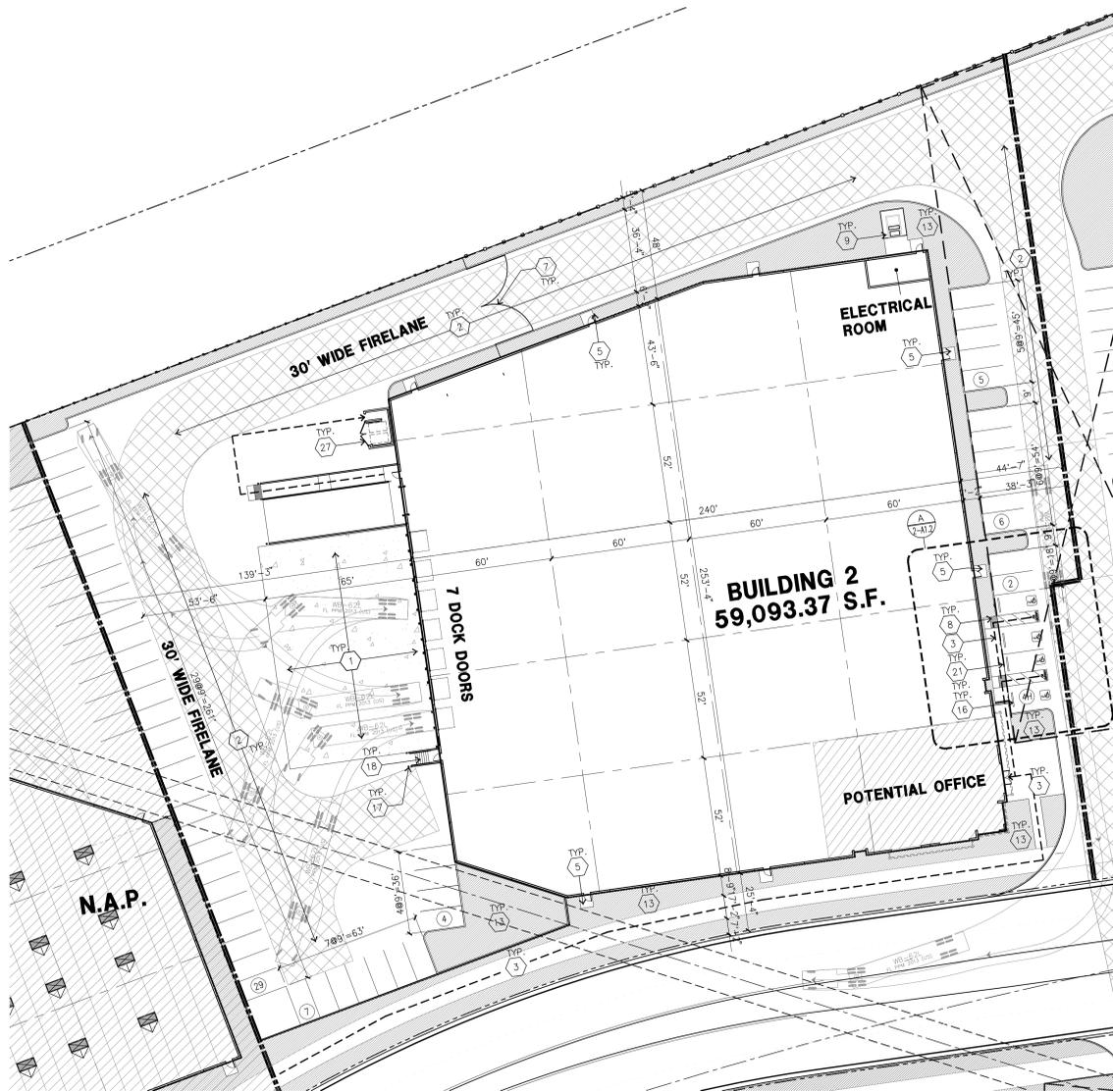


**ENLARGED SOUTH ELEVATION E**  
scale: 1/8"=1'-0"

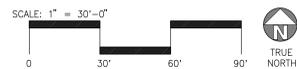


**EAST ELEVATION D**  
scale: 1" = 30'-0"





OVERALL SITE PLAN  
scale: 1" = 30'-0"



**Property owner**

THE HOMESTEAD, LLC  
280 NEWPORT CENTER DRIVE, #240  
NEWPORT BEACH, CA 92660  
CONTACT: GRANT ROSS  
949.688.693

**Address of the property**

EASTVALE, CA

**Assessor's Parcel Number**

144-010-015, 144-010-018, 144-010-020,  
144-010-023, 144-010-024 & 144-010-032.

**Zoning**

LIGHT INDUSTRIAL (LI)

**Applicant's representative**

HPA, INC.  
18831 BARDEEN AVE SUITE 100  
IRVINE, CA 92612  
TEL: 949-862-2108  
ATTN: SHA LIU MAHONEY

**PROJECT DATA**

CITY OF EASTVALE	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	TOTAL
<b>NET SITE AREA</b>							
± s.f.	401,896	133,411	109,821	350,008	226,915	941,767	2,163,818 ± f.
in acres	9.23	3.06	2.52	8.04	5.21	21.62	49.68 ac
<b>NET DEDICATION</b>							6.18 ac
<b>GROSS TOTAL</b>							55.86 ac
<b>BUILDING AREA</b>							
Footprint	193,964	59,093	45,563	157,071	84,616	497,599	1,037,808 ± f.
Office	10,000	4,000	3,000	8,000	5,000	10,000	40,000 ± f.
Mezzanine	5,000	4,000	2,500	4,000	2,000	10,000	27,500 ± f.
Warehouse	183,964	55,093	42,563	149,071	79,616	487,599	997,908 ± f.
<b>TOTAL</b>	198,964	63,093	48,063	161,071	86,616	507,599	1,065,408 ± f.
Clear building height	36'	30'	30'	32'	32'	40'	
<b>COVERAGE</b>							
FAR	49.5%	47.3%	43.8%	46.0%	38.2%	53.9%	49.2%
<b>AUTO PARKING REQUIRED</b>							
Office: 1/250 ± f.	60	32	22	48	28	80	270 stalls
Whse: 1/2,000 ± f.	82	28	22	75	40	244	501 stalls
<b>TOTAL</b>	152	60	44	123	68	324	771 stalls
<b>AUTO PARKING PROVIDED</b>							
Standard (8' x 18')	154	61	55	140	73	325	808 stalls
<b>TRAILER PARKING PROVIDED</b>							
Trailer (12' x 50')	0	0	0	0	19	69	88 stalls
<b>ZONING ORDINANCE FOR CITY</b>							
Current Zoning Designation - Heavy Agriculture (A-2)							
Proposed Zoning Designation - Industrial park (IP)							
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>							
Height - 75'							
<b>MAXIMUM FLOOR AREA RATIO</b>							
FAR - 0.60							
<b>SETBACKS (See notes for additional setbacks)</b>							
Buildings							
Archibald Ave - 25'							10'
Limonite Ave - 25'							10'
Side / Street side - 10'							10'
Rear - 15'							10'
<b>LANDSCAPE REQUIREMENT</b>							
Percentage - 10% of total interior parking area							

**SITE PLAN KEYNOTES**

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- PAVEMENT FINISH PER CIVIL
- CONCRETE WALKWAY, MEDIUM BROOM FINISH
- DRIVEWAY APRONS TO BE CONSTRUCTED PER CIVIL DWGS.
- 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 8" DOUBLE SIDE-SPLIT-FACE BLOCK WALL WITH CAP MATCHING THE EXISTING BLOCK WALL TO THE EAST-SEE STRUCTURAL DRAWINGS.
- PROVIDE 8" HIGH BLACK PAINTED METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. CONTRACTOR TO DESIGN & DETAIL GATES. DRAWINGS AND CALCULATIONS PRIOR TO FABRICATION. PROVIDE CONDUIT FOR FUTURE.
- TRUNCATED DOME. SEE DETAIL 17/AD.1
- APPROXIMATE LOCATION OF TRANSFORMER. PER ELECTRICAL AND CONTRACTOR TO VERIFY WITH S.C.E..
- FIRE HYDRANT PER FIRE PROTECTION DRAWINGS.
- LIGHT POLE BASE PER STRUCTURAL, FIXTURE PER ELECTRICAL 11/AD.2
- SMOKING AREA. SEE DETAIL 5, 6 AND 7/AD.5
- LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
- KNOX BOX AT BUILDING ENTRANCE PER FIRE DEPARTMENT.
- SUMP FOR DRAIN PER PLUMBING DWGS.
- PRE-CAST CONC. WHEEL STOP. SEE DETAIL 3/AD.1
- CONC. FILLED GUARD POST \*6 DIA. U.N.O. 42" H, SEE DETAIL 9/AD.1
- EXTERIOR CONCRETE STAIR. SEE DETAIL 1, 6/AD.2
- ROOF DRAIN THRU WALL & CURB. SEE DETAIL 18, 19/AD.3
- ACCESSIBLE ENTRY SIGN. 15/AD.1
- ACCESSIBLE PARKING STALL SIGN PER 14/AD.1
- CONCRETE U CHANNEL.
- SEPARATE PERMIT MONUMENT SIGN. SEE LANDSCAPE PLANS.
- BIKE RACK. 13/AD.2. FOR VISITORS. 9 BIKE SPACES PER RACK. SEE LANDSCAPE PLANS.
- CANOPY ABOVE MAN DOOR SEE DETAIL 8/AD.3A & 2/AD.5.
- 24" BOX BRISBANE TREE IN FRONT OF 2" RECESS PANEL. SEE LANDSCAPE
- TRASH ENCLOSURE AD.7
- INTERIOR TRASH ROOM
- TINTED BLACK CONCRETE FOR INTERIOR TRASH ROOM SLAB & APRON

**SITE PLAN GENERAL NOTES**

- SOCAL GEO #T2807-22-01 DATED MAY 25TH, 2018
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- ALL PROPERTY LINES, EASEMENTS & BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN THIS SITE PLAN
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- NOT USED.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- NOT USED.
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.

**SITE LEGEND**

- LANDSCAPED AREA
- CONCRETE PAVING - SEE "C" DRWGS. FOR THICKNESS
- PATH OF TRAVEL
- 24" FIRE LANE. PROVIDE RED CURBS AND SIGNAGE PER FIRE DEPT REQUIREMENT
- 3.85 ACRES OF ALUIC - ELIGIBLE OPEN AREA (AT LEAST 75' IN WIDTH AND 300' IN LENGTH)
- STANDARD PARKING STALL 9'-0" X 18'
- ACCESSIBLE PARKING STALL. 12' X 18' + 5' W/ ACCESSIBLE AISLE
- CLEANAIR VANPOOL/EV STALL (10%)
- PRIVATE FIRE HYDRANT APPROXIMATE LOCATION

**VICINITY MAP**



hpa, inc.  
18831 bardeen avenue - ste. #100  
irvine, ca  
92612  
tel: 949-863-1770  
fax: 949-863-0851  
email: hpa@hparchs.com

**Owner:**



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

**Project:**

**THE HOMESTEAD**

City of Eastvale, CA

**Consultants:**

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 2  
OVERALL SITE PLAN

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 3/9/2020  
Revision:

Sheet:

2-A1.1

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 2  
OVERALL FLOOR PLAN

Project Number: 18440

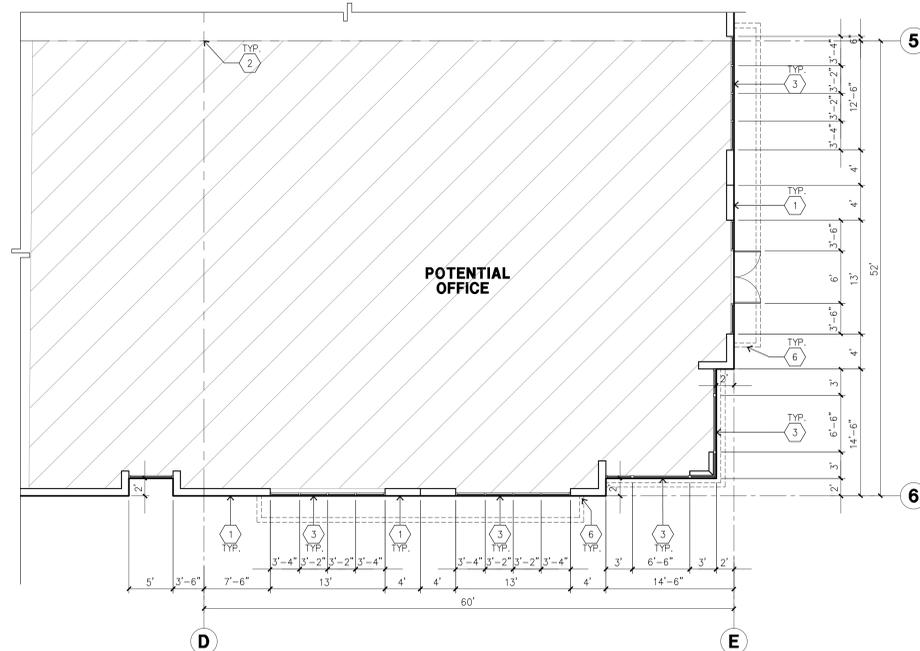
Drawn by: SHA LIU MAHONEY

Date: 2/6/2020

Revision:

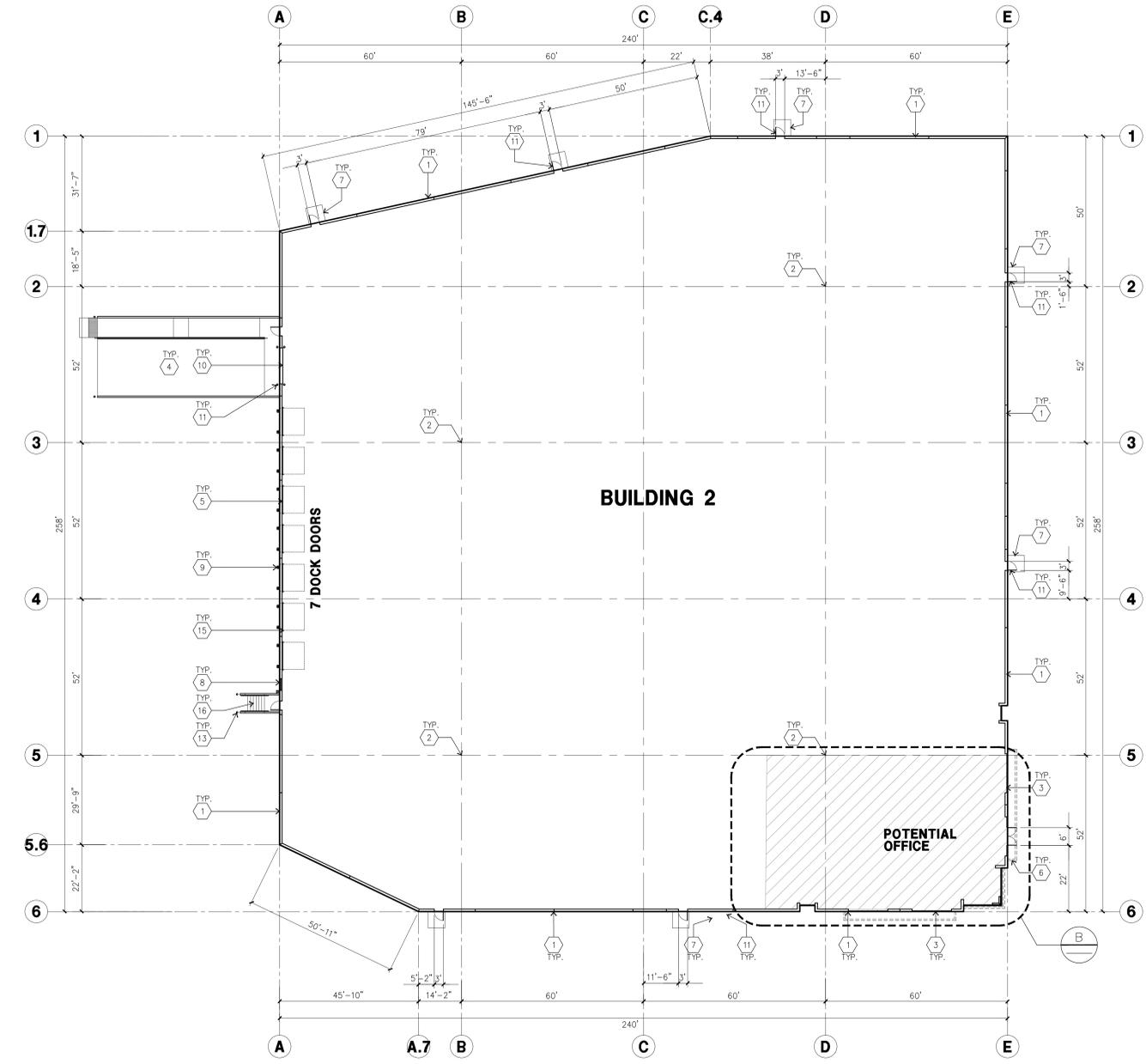
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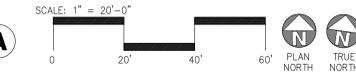
**ENLARGED FLOOR PLAN B**

scale: 1/8"=1'-0"



**OVERALL FLOOR PLAN A**

scale: 1"=20'-0"



**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR, SECTIONAL OH., STANDARD
- 6 METAL CANOPY.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL OH., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN, SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

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tel: 949-330-7564

Project:

**THE HOMESTEAD**

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Consultants:

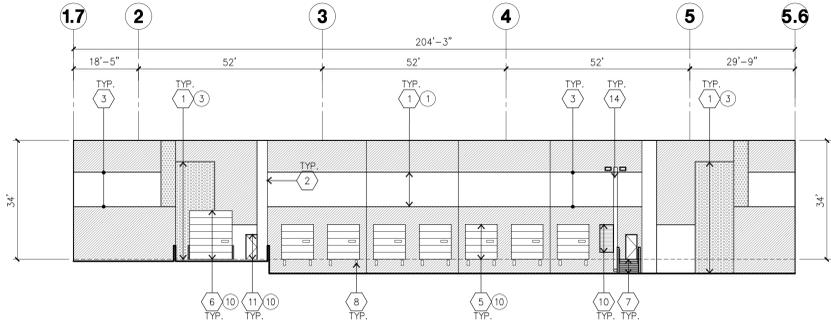
Civil: KIMLEY HORN  
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Title: BUILDING 2 ELEVATION

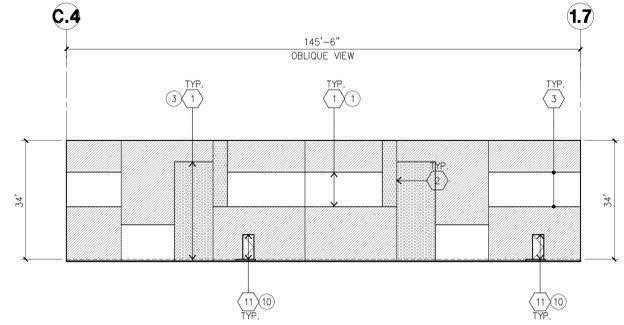
Project Number: 18440  
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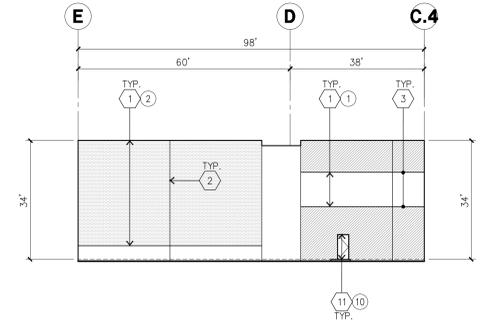
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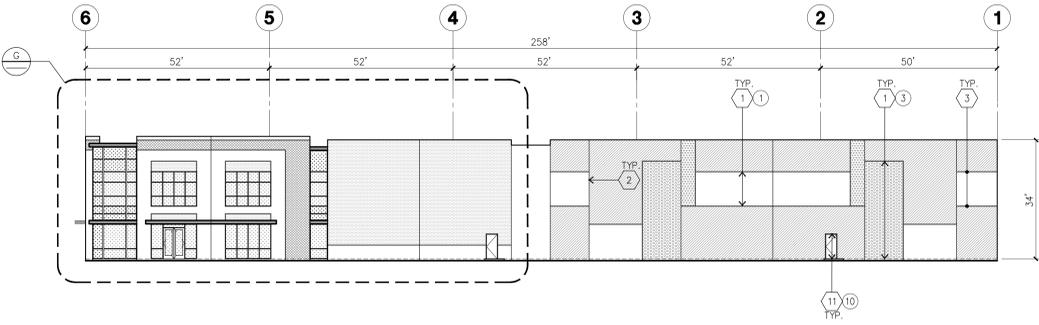
**WEST ELEVATION C**  
scale: 1" = 20'-0"



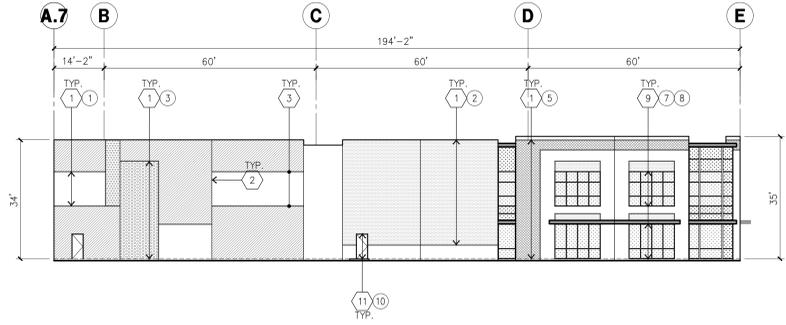
**NORTHWEST ELEVATION B**  
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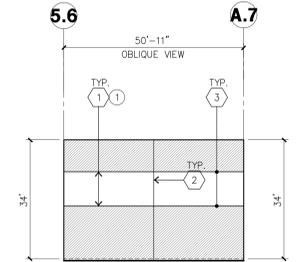
**NORTH ELEVATION A**  
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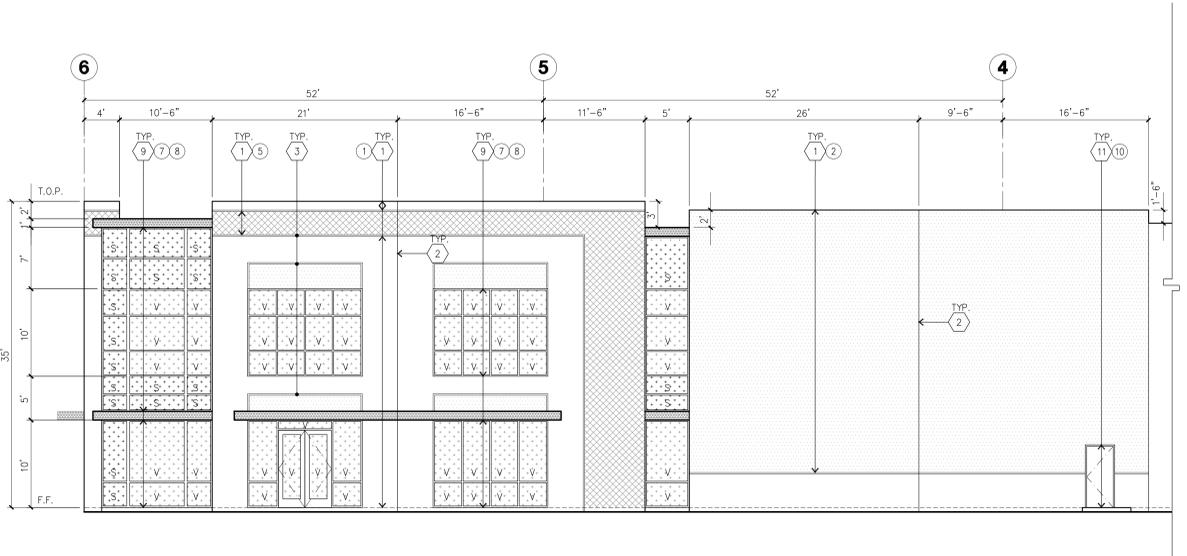
**EAST ELEVATION F**  
scale: 1" = 20'-0"



**SOUTH ELEVATION E**  
scale: 1" = 20'-0"



**SOUTHEAST ELEVATION D**  
scale: 1" = 20'-0"



**ENLARGED EAST ELEVATION G**  
scale: 1/8" = 1'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
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- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER

**GLAZING LEGEND**

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

ALL GLASS TO BE NON-REFLECTIVE

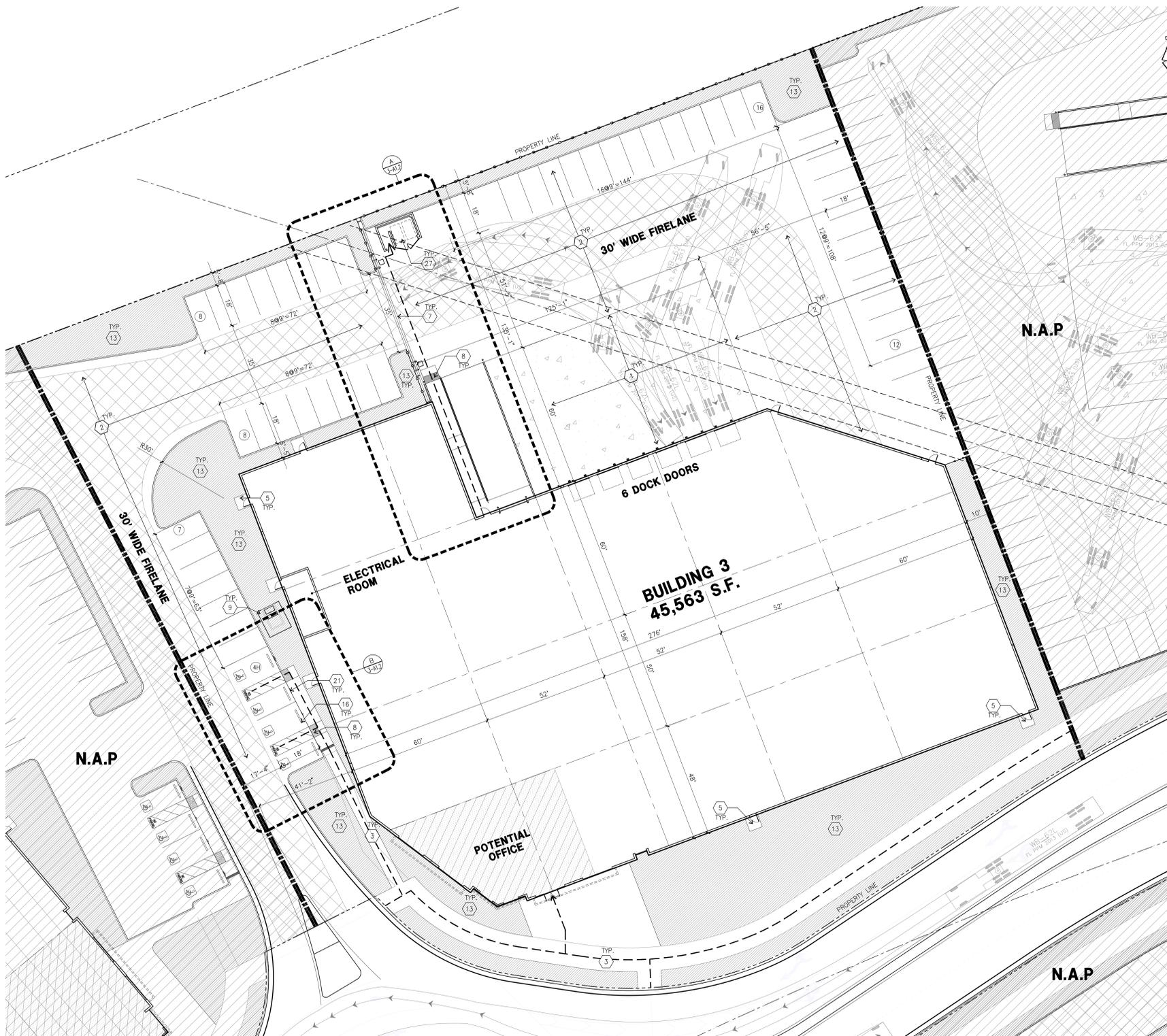
**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.

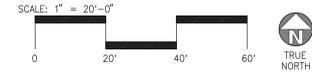
**COLOR SCHEDULE - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7071 GRAY SCREEN
- 3 CONCRETE TILT-UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7073 NETWORK GRAY
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- 7 MULLIONS FINISH CLEAN ANODIZED
- 8 GLAZING COLOR BLUE REFLECTIVE GLAZING
- 9 METAL CANOPY PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 10 DOORS COLOR MATCH BUILDING COLOR





**OVERALL SITE PLAN**  
Scale: 1" = 20'-0"



**SITE PLAN KEYNOTES**

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 PAVEMENT FINISH PER CIVIL.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED PER CIVIL DWGS.
- 5 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 8" H DOUBLE SIDE SPLIT-FACE BLOCK WALL WITH CAP MATCHING THE EXISTING BLOCK WALL TO THE EAST. SEE STRUCTURAL DRAWINGS.
- 7 PROVIDE 8" HIGH BLACK PAINTED METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. CONTRACTOR TO DESIGN & DETAIL GATES, DRAWINGS AND CALCULATIONS PRIOR TO FABRICATION. PROVIDE CONDUIT FOR FUTURE.
- 8 TRUNCATED DOME. SEE DETAIL 17/AD.1
- 9 APPROXIMATE LOCATION OF TRANSFORMER. PER ELECTRICAL AND CONTRACTOR TO VERIFY WITH S.O.E.
- 10 FIRE HYDRANT PER FIRE PROTECTION DRAWINGS.
- 11 LIGHT POLE BASE PER STRUCTURAL, FIXTURE PER ELECTRICAL 11/AD.2
- 12 SMOKING AREA. SEE DETAIL 5, 6 AND 7/AD.5
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
- 14 KNOX BOX AT BUILDING ENTRANCE PER FIRE DEPARTMENT.
- 15 SUMP FOR DRAIN PER PLUMBING DWGS.
- 16 PRE-CAST CONC. WHEEL STOP. SEE DETAIL 3/AD.1
- 17 CONC. FILLED GUARD POST "6 DIA. U.N.D. 42" H. SEE DETAIL 9/AD.1
- 18 EXTERIOR CONCRETE STAIR. SEE DETAIL 1, 6/AD.2
- 19 ROOF DRAIN THRU WALL & CURB. SEE DETAIL 18, 19/AD.3
- 20 ACCESSIBLE ENTRY SIGN. 15/AD.1
- 21 ACCESSIBLE PARKING STALL SIGN PER 14/AD.1
- 22 CONCRETE U CHANNEL.
- 23 SEPARATE PERMIT MONUMENT SIGN. SEE LANDSCAPE PLANS.
- 24 BIKE RACK. 13/AD.2. FOR VISITORS, 9 BIKE SPACES PER RACK. SEE LANDSCAPE PLANS.
- 25 CANOPY ABOVE MAN DOOR SEE DETAIL 8/AD.3A & 2/AD.5.
- 26 24" BOX BRISBANE TREE IN FRONT OF 2" RECESS PANEL, SEE LANDSCAPE
- 27 TRASH ENCLOSURE AD.7
- 28 INTERIOR TRASH ROOM
- 29 TINTED BLACK CONCRETE FOR INTERIOR TRASH ROOM SLAB & APRON

**SITE PLAN GENERAL NOTES**

1. SOCAL GEO #72807-22-01 DATED MAY 25TH, 2018
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. ALL PROPERTY LINES, EASEMENTS & BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN THIS SITE PLAN
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
15. NOT USED.
16. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
17. NOT USED.
18. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
19. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
20. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.

**Property owner**

THE HOMESTEAD, LLC  
280 NEWPORT CENTER DRIVE, #240  
NEWPORT BEACH, CA 92660  
CONTACT: GRANT ROSS  
949.688.693

**Address of the property**

EASTVALE, CA

**Assessor's Parcel Number**

144-010-015, 144-010-018, 144-010-020,  
144-010-023, 144-010-024 & 144-010-032.

**Zoning**

LIGHT INDUSTRIAL (LI)

**Applicant's representative**

HPA, INC.  
18831 BARDEEN AVE SUITE 100  
IRVINE CA 92612  
TEL: 949-862-2108  
ATTN: SHA LIU MAHONEY

**PROJECT DATA**

CITY OF EASTVALE							
NET SITE AREA	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	TOTAL
In s.f.	401,896	133,411	109,821	350,008	226,915	941,767	2,163,818 s.f.
In acres	9.23	3.06	2.52	8.04	5.21	21.62	49.68 ac
<b>NET DEMICATION</b>							6.19 ac
<b>GROSS TOTAL</b>							56.86 ac
<b>BUILDING AREA</b>							
Footprint	193,964	59,003	45,563	157,071	84,616	497,599	1,037,805 s.f.
Office	10,000	4,000	3,000	8,000	5,000	10,000	40,000 s.f.
Mezzanine	5,000	4,000	2,500	4,000	2,000	10,000	27,500 s.f.
Warehouse	183,964	55,003	42,563	149,071	79,616	487,599	997,905 s.f.
<b>TOTAL</b>	198,964	63,003	48,063	161,071	86,616	507,599	1,055,456 s.f.
Clear building height	36'	30'	30'	32'	32'	40'	
<b>COVERAGE</b>	49.3%	44.3%	41.5%	44.0%	37.3%	52.8%	48.0%
<b>FAR</b>	49.5%	47.3%	43.8%	46.0%	38.2%	53.9%	49.2%
<b>AUTO PARKING PROVIDED</b>							
Office: 1/250 s.f.	80	32	22	48	28	80	270 stalls
Whole: 1/2,000 s.f.	92	28	22	75	40	244	501 stalls
<b>TOTAL</b>	152	60	44	123	68	324	771 stalls
<b>AUTO PARKING PROVIDED</b>							
Standard (9' x 18')	154	61	55	140	73	325	808 stalls
<b>TRAILER PARKING PROVIDED</b>							
Trailer (12' x 50')	0	0	0	0	19	69	88 stalls
<b>ZONING ORDINANCE FOR CITY</b>							
Current Zoning Designation - Heavy Agriculture (A-2)							
Proposed Zoning Designation - Industrial park (I-P)							
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>							
Height - 75'							
<b>MAXIMUM FLOOR AREA RATIO</b>							
FAR - 4.00							
<b>SETBACKS</b> (See notes for additional setbacks)							
Building							Landscaping
Archibald Ave. - 25'							10'
Limonite Ave. - 25'							10'
Side / Street side - 10'							10'
Rear - 15'							
<b>LANDSCAPE REQUIREMENT</b>							
Percentage - 10% of total interior parking area							

**VICINITY MAP**



**SITE LEGEND**

- LANDSCAPED AREA
- CONCRETE PAVING - SEE "C" DWGS. FOR THICKNESS
- PATH OF TRAVEL
- 24" FIRE LANE. PROVIDE RED CURBS AND SIGNAGE PER FIRE DEPT REQUIREMENT
- 3.85 ACRES OF ALLUC - ELIGIBLE OPEN AREA (AT LEAST 75' IN WIDTH AND 300' IN LENGTH)
- STANDARD PARKING STALL 9'-0" X 18'
- ACCESSIBLE PARKING STALL, 12' X 18' + 5' W/ ACCESSIBLE
- CLEANAIR VANPOOL/EV STALL (10')
- PRIVATE FIRE HYDRANT APPROXIMATE LOCATION



hpa, inc.  
18831 bardeen avenue - ste. #100  
irvine, ca  
92612  
tel: 949-863-1770  
fax: 949-863-0851  
email: hpa@hparchs.com



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

**THE HOMESTEAD**

City of Eastvale, CA

**Consultants:**

- Civil: KIMLEY HORN
- Structural:
- Mechanical:
- Plumbing:
- Electrical:
- Landscape: SPLA
- Fire Protection:
- Soils Engineer:

Title: BUILDING 3 OVERALL SITE PLAN

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 3/9/2020  
Revision:

Sheet:

**3-A1.1**

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

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Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: **BUILDING 3  
OVERALL FLOOR PLAN**

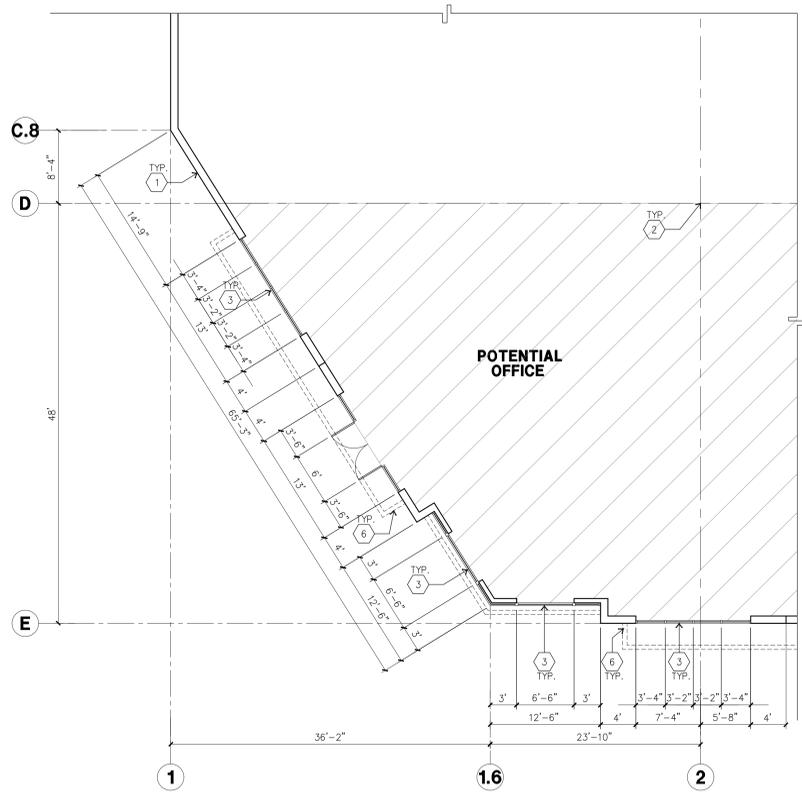
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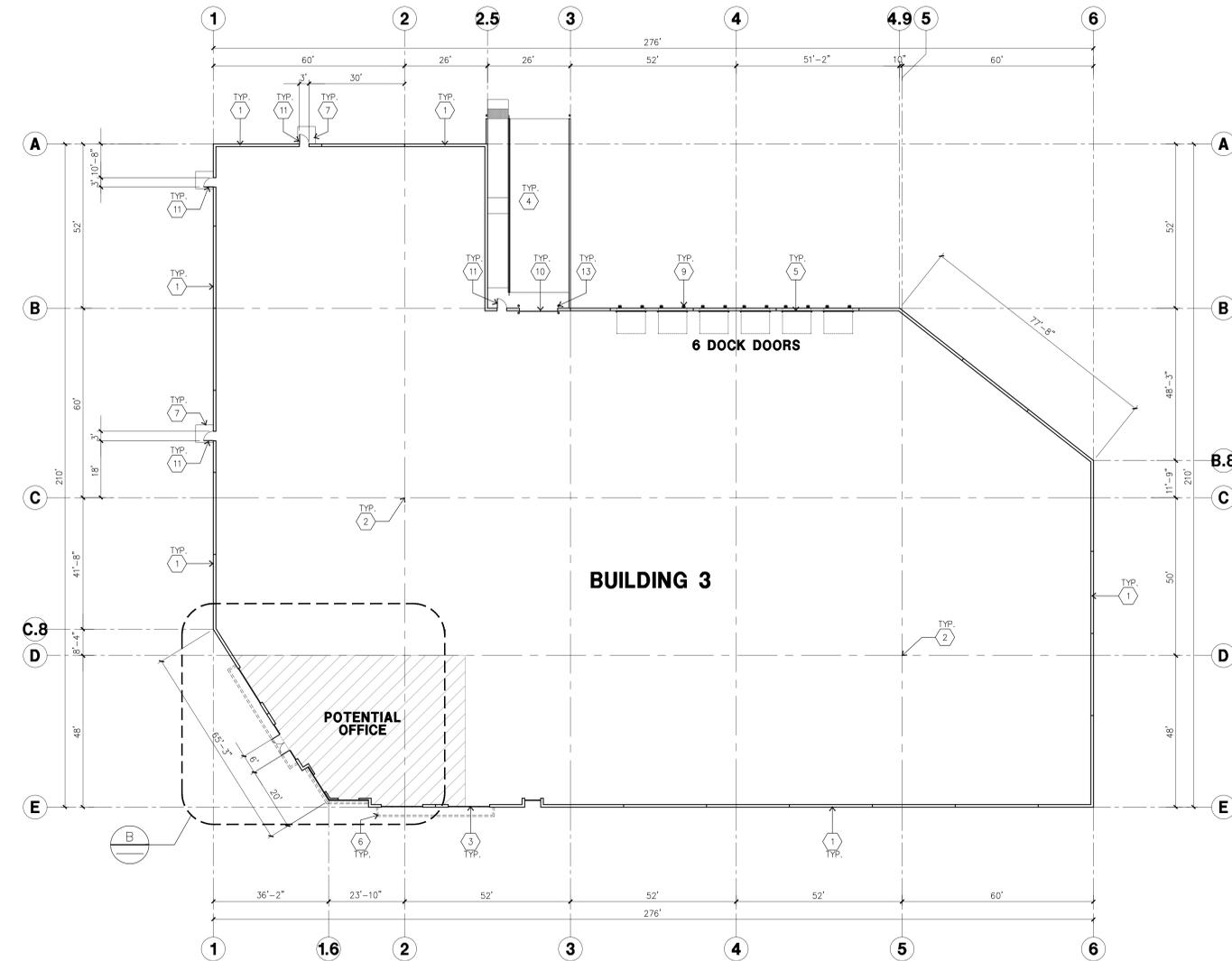
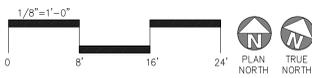
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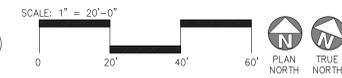
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**ENLARGED FLOOR PLAN B**  
scale: 1/8"=1'-0"



**OVERALL FLOOR PLAN A**  
scale: 1"=20'-0"



**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD
- 6 METAL CANOPY.
- 7 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4"; 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN, SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDGORE EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD. U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

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Consultants:

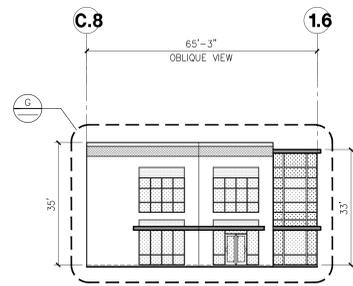
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Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 3  
ELEVATION

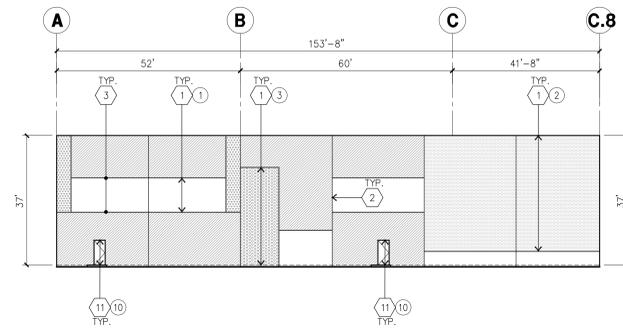
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Drawn by: SHA LIU MAHONEY  
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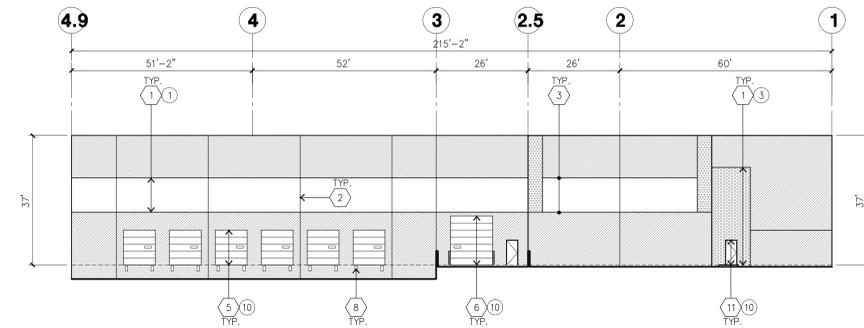
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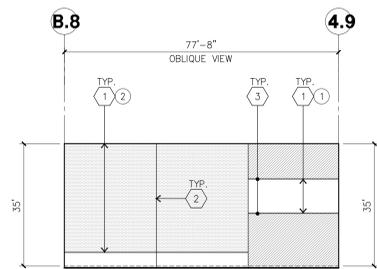
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C



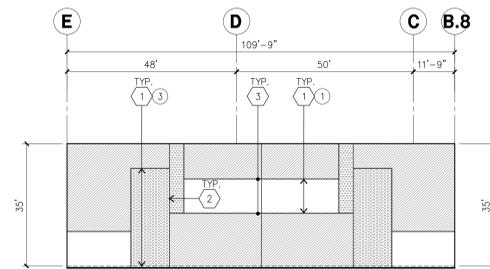
**WEST ELEVATION**  
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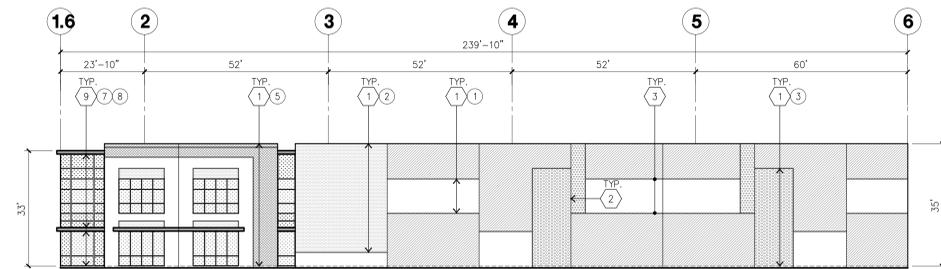
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A



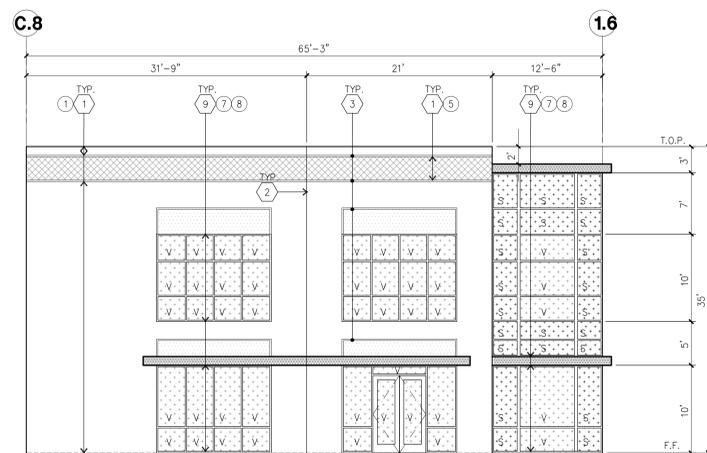
**NORTHEAST ELEVATION**  
scale: 1" = 20'-0"  
F



**EAST ELEVATION**  
scale: 1" = 20'-0"  
E



**SOUTH ELEVATION**  
scale: 1" = 20'-0"  
D



**ENLARGED SOUTH ELEVATION**  
scale: 1/8"=1'-0"  
G

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

**COLOR SCHEDULE - ELEVATIONS**

- 1 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 2 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7071 GRAY SCREEN
- 3 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7073 NETWORK GRAY
- 4 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7074 SOFTWARE
- 5 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7075 WEB GRAY
- 6 CONCRETE TILT- UP PANEL PAINT BRAND SHERWIN WILLIAMS SW 7602 INDIGO BATIK
- 7 MULLIONS FINISH CLEAN ANODIZED
- 8 GLAZING COLOR BLUE REFLECTIVE GLAZING
- 9 METAL CANOPY PAINT BRAND SHERWIN WILLIAMS SW 7005 PURE WHITE
- 10 DOORS COLOR MATCH BUILDING COLOR

**GLAZING LEGEND**

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

ALL GLASS TO BE NON-REFLECTIVE

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



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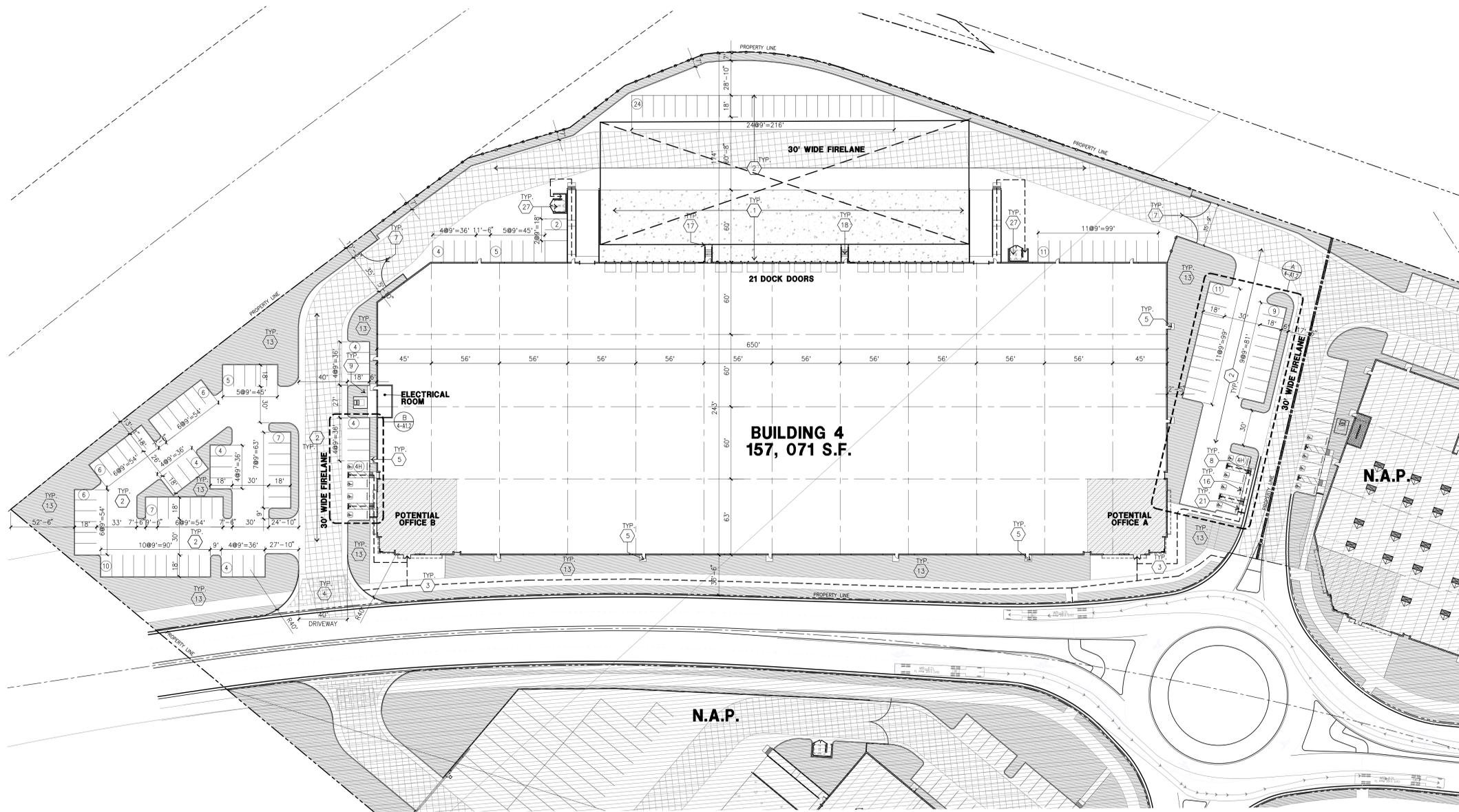
Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 4  
OVERALL SITE PLAN

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 3/9/2020

Revision:

Sheet:



**OVERALL SITE PLAN**

Scale: 1" = 40'-0"

SCALE: 1" = 40'-0"



**SITE PLAN KEYNOTES**

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- 24 BIKE RACK. 13/AD.2. FOR VISITORS, 9 BIKE SPACES PER RACK. SEE LANDSCAPE PLANS.
- 25 CANOPY ABOVE MAN DOOR SEE DETAIL 8/AD.3 & 2/AD.5.
- 26 24" BOX BRISBANE TREE IN FRONT OF 2" RECESS PANEL, SEE LANDSCAPE
- 27 TRASH ENCLOSURE AD.7
- 28 INTERIOR TRASH ROOM
- 29 TINTED BLACK CONCRETE FOR INTERIOR TRASH ROOM SLAB & APRON

**SITE PLAN GENERAL NOTES**

1. SOCAL GEO #T2807-22-01 DATED MAY 25TH, 2018
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. ALL PROPERTY LINES, EASEMENTS & BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN THIS SITE PLAN
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
15. NOT USED.
16. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
17. NOT USED.
18. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
19. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
20. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.

**SITE LEGEND**

- LANDSCAPED AREA
- CONCRETE PAVING - SEE "C" DRWGS. FOR THICKNESS
- PATH OF TRAVEL
- 24" FIRE LANE. PROVIDE RED CURBS AND SIGNAGE PER FIRE DEPT REQUIREMENT
- 3.85 ACRES OF ALUC - ELIGIBLE OPEN AREA (AT LEAST 75' IN WIDTH AND 300' IN LENGTH)
- STANDARD PARKING STALL 9'-0" X 18'
- ACCESSIBLE PARKING STALL, 12' X 18' + 5' W/ ACCESSIBLE AISLE
- CLEANAIR VANPOOL/EV STALL (10%)
- PRIVATE FIRE HYDRANT APPROXIMATE LOCATION

**VICINITY MAP**



**Property owner**

THE HOMESTEAD, LLC  
280 NEWPORT CENTER DRIVE, #240  
NEWPORT BEACH, CA 92660  
CONTACT: GRANT ROSS  
949.688.6933

**Address of the property**

EASTVALE, CA

**Assessor's Parcel Number**

144-010-015, 144-010-018, 144-010-020,  
144-010-023, 144-010-024 & 144-010-032.

**Zoning**

LIGHT INDUSTRIAL (LI)

**Applicant's representative**

HPA, INC.  
18831 BARDEEN AVE SUITE 100  
IRVINE, CA 92612  
TEL: 949-862-2108  
ATTN: SHA LIU MAHONEY

**PROJECT DATA**

CITY OF EASTVALE							
	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	TOTAL
<b>NET SITE AREA</b>							
Plat	401,896	133,411	106,821	350,008	226,615	941,767	2,163,819 s.f.
In Acres	9.23	3.06	2.52	8.04	5.21	21.62	49.88 ac.
<b>NET DEDICATION</b>							
<b>GROSS TOTAL</b>							56.86 ac.
<b>BUILDING AREA</b>							
Footprint	193,964	59,093	45,583	157,071	84,616	487,599	1,037,908 s.f.
Office	10,000	4,000	3,000	8,000	5,000	10,000	40,000 s.f.
Mechanics	5,000	4,000	2,500	4,500	2,000	10,000	27,500 s.f.
Warehouse	183,964	55,093	42,583	148,071	79,616	487,599	967,908 s.f.
<b>TOTAL</b>	198,964	63,093	48,063	161,071	86,616	507,599	1,065,405 s.f.
Clear building height	36'	30'	30'	32'	32'	40'	
<b>COVERAGE</b>							
FAR	48.3%	44.3%	41.5%	44.9%	37.3%	52.8%	48.0%
<b>AUTO PARKING PROVIDED</b>							
Office: 1250 s.f.	60	32	22	48	26	80	270 stalls
Whse: 12,000 s.f.	92	28	22	75	40	244	501 stalls
<b>TOTAL</b>	152	60	44	123	66	324	771 stalls
<b>AUTO PARKING PROVIDED</b>							
Standard (9' x 18')	154	61	55	140	73	325	808 stalls
<b>TRAILER PARKING PROVIDED</b>							
Trailer (12' x 50')	0	0	0	0	19	60	88 stalls
<b>ZONING ORDINANCE FOR CITY</b>							
Current Zoning Designation - Heavy Agriculture (A-2)							
Proposed Zoning Designation - Industrial park (I-P)							
<b>MAXIMUM BUILDING HEIGHT ALL OVER</b>							
Height: 75'							
<b>MAXIMUM FLOOR AREA RATIO</b>							
FAR - 0.60							
<b>SETBACKS (See notes for additional setbacks)</b>							
Building							
Archibald Ave - 25'					10'		
Limonite Ave - 25'					10'		
Site / Street side - 10'					10'		
Rear - 15'						10'	
<b>LANDSCAPE REQUIREMENT</b>							
Percentage - 10% of total interior parking area							

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

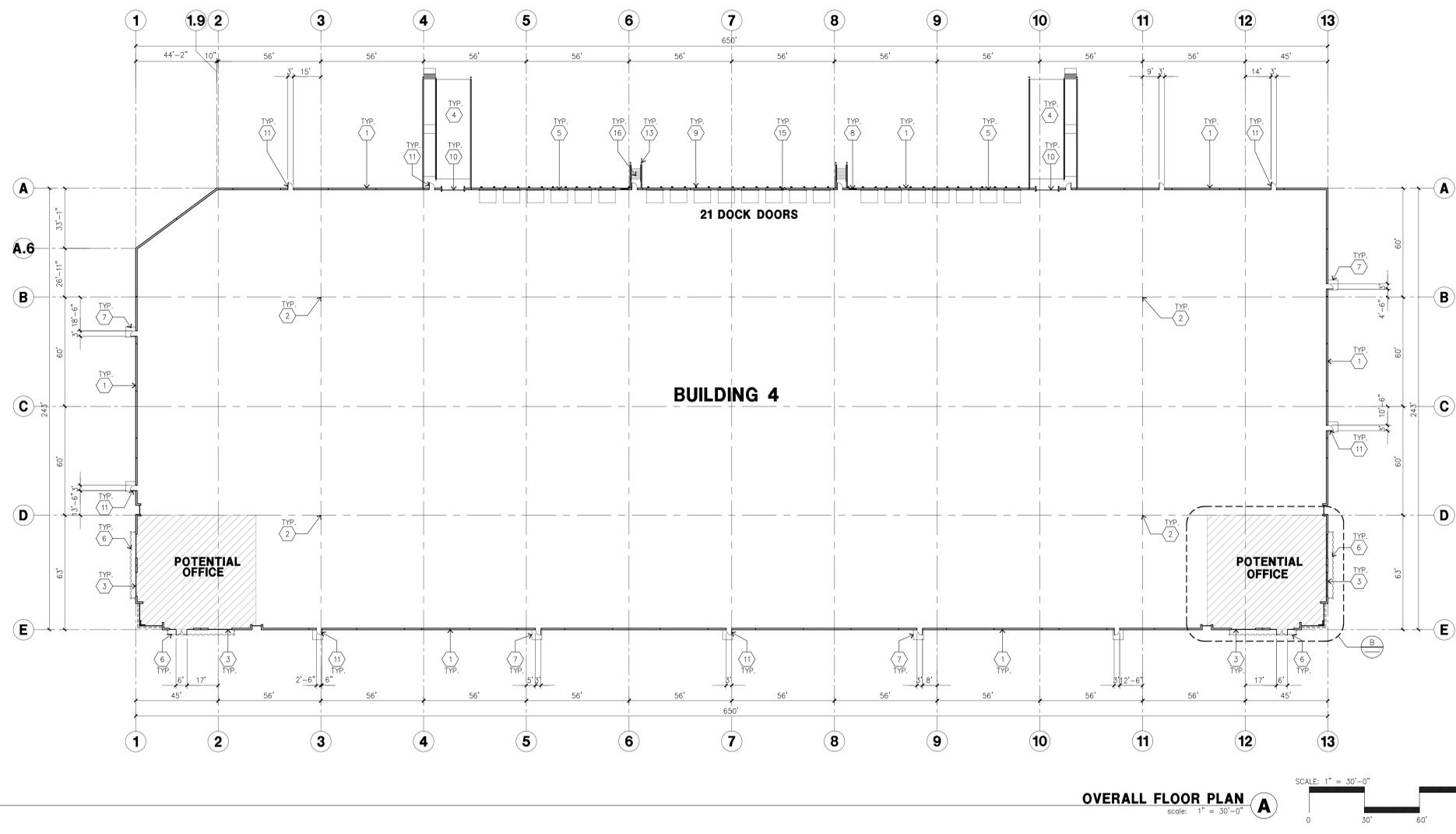
Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 4  
OVERALL FLOOR PLAN

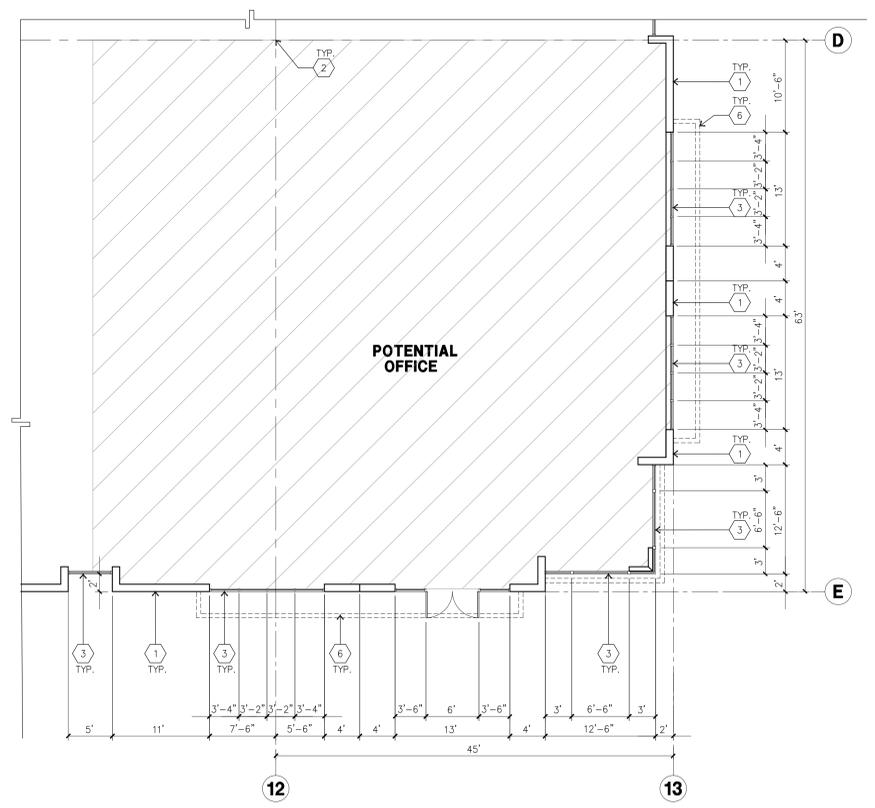
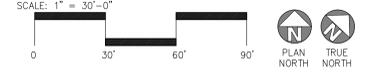
Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

Sheet:

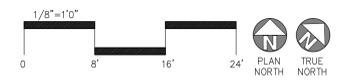
4-DAB-A2.1



**OVERALL FLOOR PLAN**  
scale: 1" = 30'-0" **A**



**ENLARGED FLOOR PLAN**  
scale: 1/8" = 1'-0" **B**



**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD
- 6 METAL CANOPY.
- 7 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" - 1/2" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O., 42"H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER,
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN. SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 4  
ELEVATION

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

Sheet:

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

**COLOR SCHEDULE - ELEVATIONS**

1	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
2	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7071 GRAY SCREEN
3	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7073 NETWORK GRAY
4	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7074 SOFTWARE
5	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7075 WEB GRAY
6	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7602 INDIGO BATIK
7	MULLIONS	FINISH	CLEAN ANODIZED
8	GLAZING	COLOR	BLUE REFLECTIVE GLAZING
9	METAL CANOPY	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
10	DOORS	COLOR	MATCH BUILDING COLOR

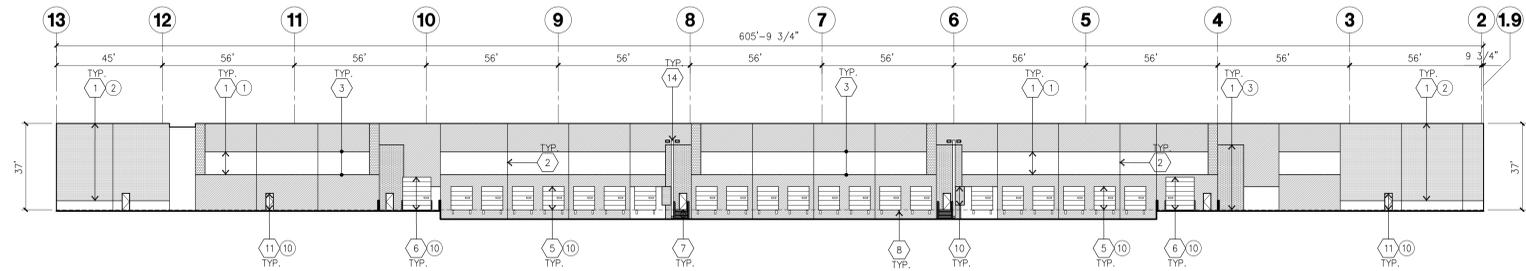
**GLAZING LEGEND**

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

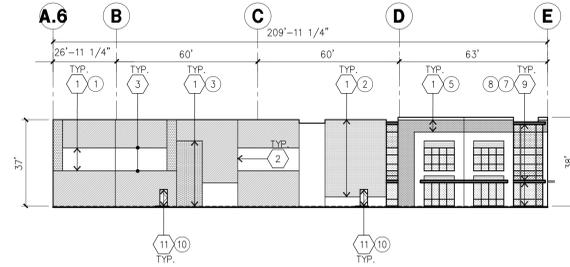
ALL GLASS TO BE NON-REFLECTIVE

**GENERAL NOTES - ELEVATIONS**

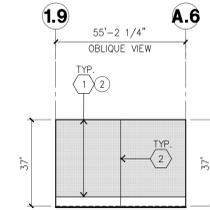
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



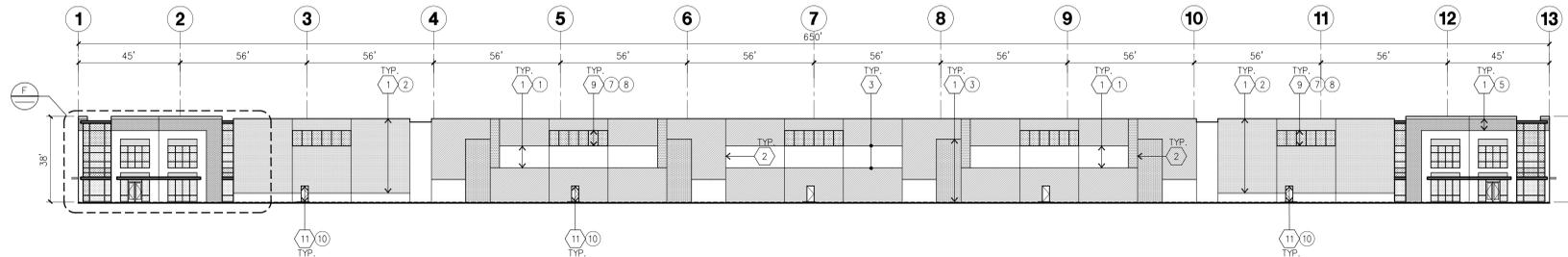
**NORTH ELEVATION A**  
scale: 1" = 30'-0"



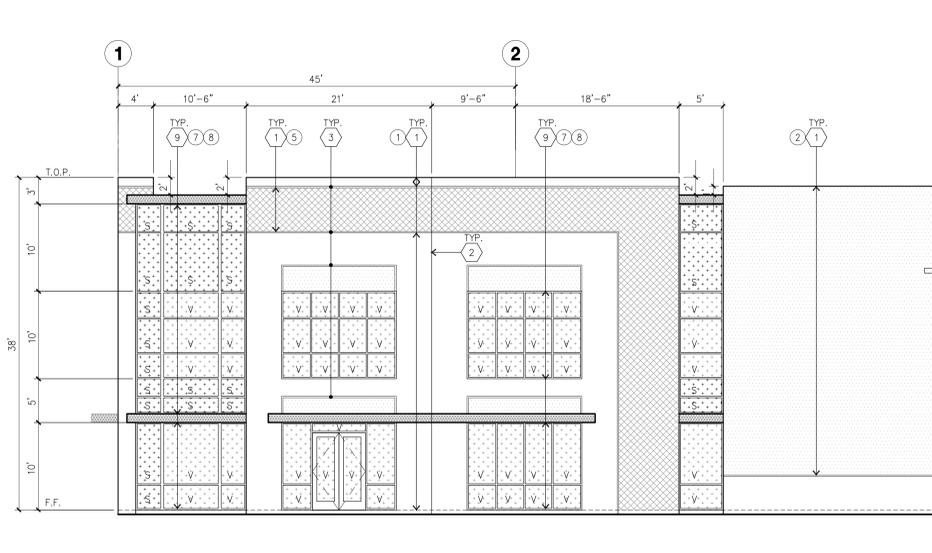
**WEST ELEVATION C**  
scale: 1" = 30'-0"



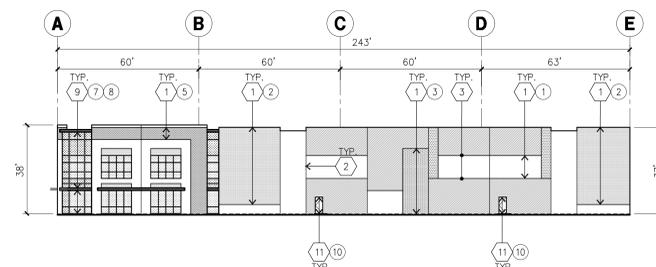
**NORTHWEST ELEVATION B**  
scale: 1" = 30'-0"



**SOUTH ELEVATION D**  
scale: 1" = 30'-0"

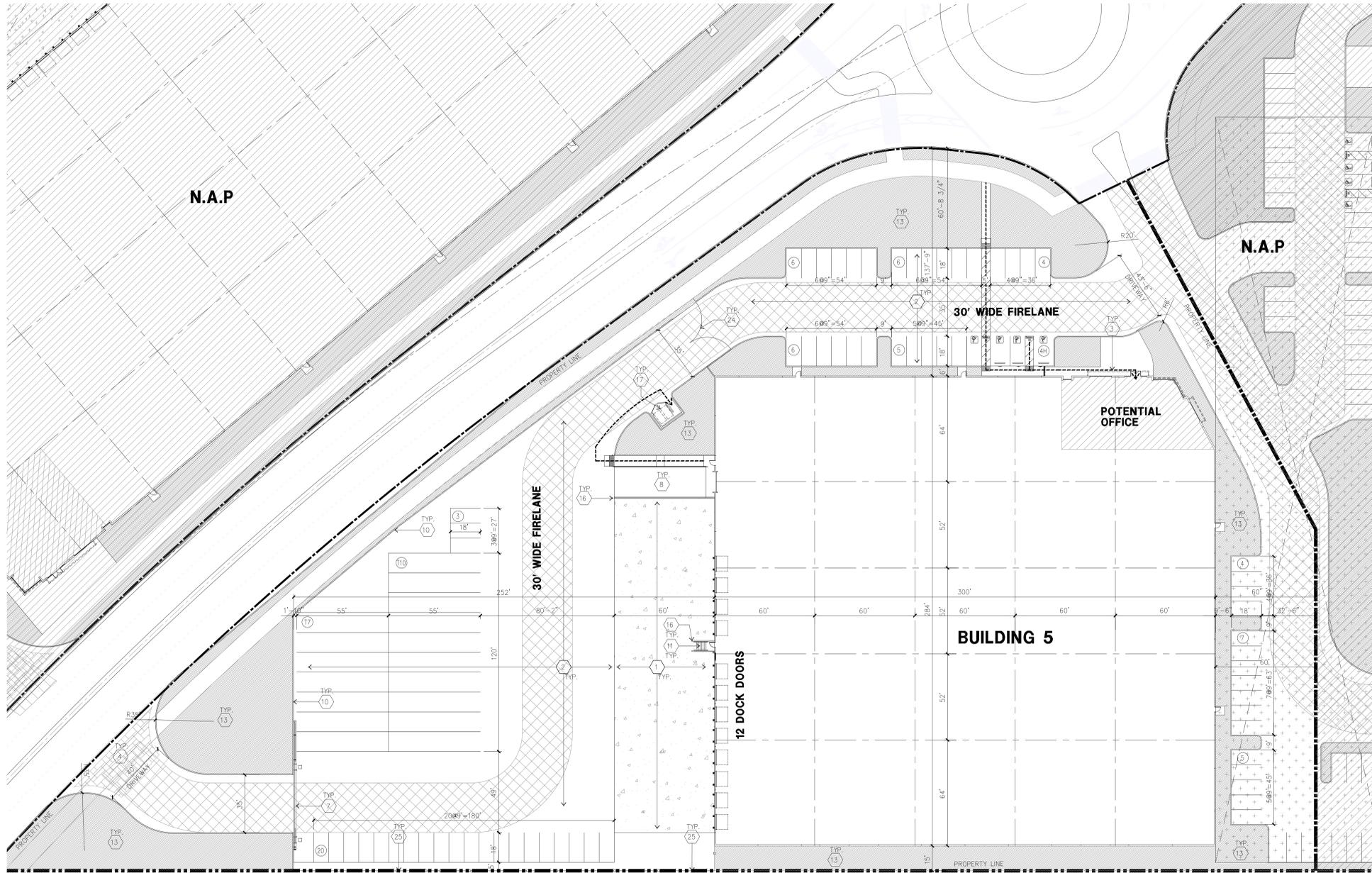


**ENLARGED SOUTH ELEVATION F**  
scale: 1/8" = 1'-0"



**EAST ELEVATION E**  
scale: 1" = 30'-0"





**OVERALL SITE PLAN**  
 scale: 1" = 30'-0"  
 0 30' 60' 90' TRUE NORTH

**SITE PLAN KEYNOTES**

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 CONCRETE PAVING PER CIVIL.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 8" DOUBLE SIDE SPLIT-FACE BLOCK WALL WITH CAP, MATCHING THE EXISTING BLOCK WALL TO THE EAST.
- 7 8" HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 14" CONCRETE TILT SCREEN WALL
- 11 EXTERIOR CONCRETE STAIR.
- 12 NOT USED.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 NOT USED.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST 6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 MONUMENT SIGN
- 22 NOT USED.
- 23 NOT USED.
- 24 8" HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 8" HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 26 MAILBOX

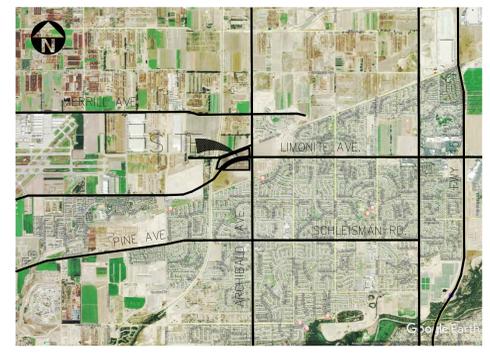
**SITE PLAN GENERAL NOTES**

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, CUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

**SITE LEGEND**

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (8'-6" X 16' W/ 2' OVERHANG)
- LANDSCAPED AREA
- 24' WIDE FIRELANE
- HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

**VICINITY MAP**



**Property owner**

THE HOMESTEAD, LLC  
 280 NEWPORT CENTER DRIVE, #240  
 NEWPORT BEACH, CA 92660  
 CONTACT: GRANT ROSS  
 949.868.693

**Address of the property**

EASTVALE, CA

**Assessor's Parcel Number**

144-010-015, 144-010-018, 144-010-020,  
 144-010-023, 144-010-024 & 144-010-032.

**Zoning**

LIGHT INDUSTRIAL (L1)

**Applicant's representative**

HPA, INC.  
 18831 BARDEEN AVE SUITE 100  
 IRVINE, CA 92612  
 TEL: 949-862-2108  
 ATTN: SHA LIU MAHONEY

**PROJECT DATA**

CITY OF EASTVALE							
	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	TOTAL
<b>NET SITE AREA</b>							
11 s.f.	401,896	133,411	109,821	350,008	226,915	941,767	2,163,818 s.f.
1/4 acres	9.23	3.06	2.52	8.04	5.21	21.62	48.68 ac
<b>NET DEDICATION</b>							
							6.18 ac
<b>GROSS TOTAL</b>							55.86 ac
<b>BUILDING AREA</b>							
Footprint	193,964	59,093	45,563	157,071	84,616	497,599	1,037,906 s.f.
Office	10,000	4,000	3,000	8,000	5,000	10,000	40,000 s.f.
Mezzanine	5,000	4,000	2,500	4,000	2,000	10,000	27,500 s.f.
Warehouse	183,964	55,093	42,563	149,071	79,616	487,599	997,906 s.f.
<b>TOTAL</b>	198,964	63,093	48,063	161,071	86,616	507,599	1,065,408 s.f.
Clear building height	36'	30'	30'	32'	32'	40'	
<b>COVERAGE</b>							
FAR	48.3%	44.3%	41.5%	44.9%	37.3%	52.8%	48.0%
<b>AUTO PARKING PROVIDED</b>							
Office: 1/250 s.f.	60	32	22	48	38	80	270 stalls
Warehouse: 1/2,000 s.f.	92	28	22	75	40	244	501 stalls
<b>TOTAL</b>	152	60	44	123	68	324	771 stalls
<b>AUTO PARKING PROVIDED</b>							
Standard (9' x 18')	154	61	55	140	73	325	808 stalls
<b>TRAILER PARKING PROVIDED</b>							
Trailer (12' x 50')	0	0	0	0	19	69	88 stalls
<b>ZONING ORDINANCE FOR CITY</b>							
Current Zoning Designation - Heavy Agriculture (A-2)							
Proposed Zoning Designation - Industrial park (I-2)							
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>							
Height - 75'							
<b>MAXIMUM FLOOR AREA RATIO</b>							
FAR - 0.60							
<b>SETBACKS (See notes for additional setbacks)</b>							
Building						Landscaping	
Arden Ave - 25'						10'	
Limonite Ave - 25'						10'	
Side / Street side - 10'						10'	
Rear - 15'							
<b>LANDSCAPE REQUIREMENT</b>							
Percentage - 10% of total interior parking area							



hpa, inc.  
 18831 bardeen avenue - ste. #100  
 irvine, ca  
 92612  
 tel: 949-863-1770  
 fax: 949-863-0851  
 email: hpa@hparchs.com

Owner:



280 Newport Center Dr. Suite 240  
 Newport Beach, CA 92660  
 tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

- Civil: KIMLEY HORN
- Structural:
- Mechanical:
- Plumbing:
- Electrical:
- Landscape: SPLA
- Fire Protection:
- Soils Engineer:

Title: BUILDING 5  
 OVERALL SITE PLAN

Project Number: 18440  
 Drawn by: SHA LIU MAHONEY  
 Date: 2/6/2020  
 Revision:

Sheet:

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Owner:



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Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

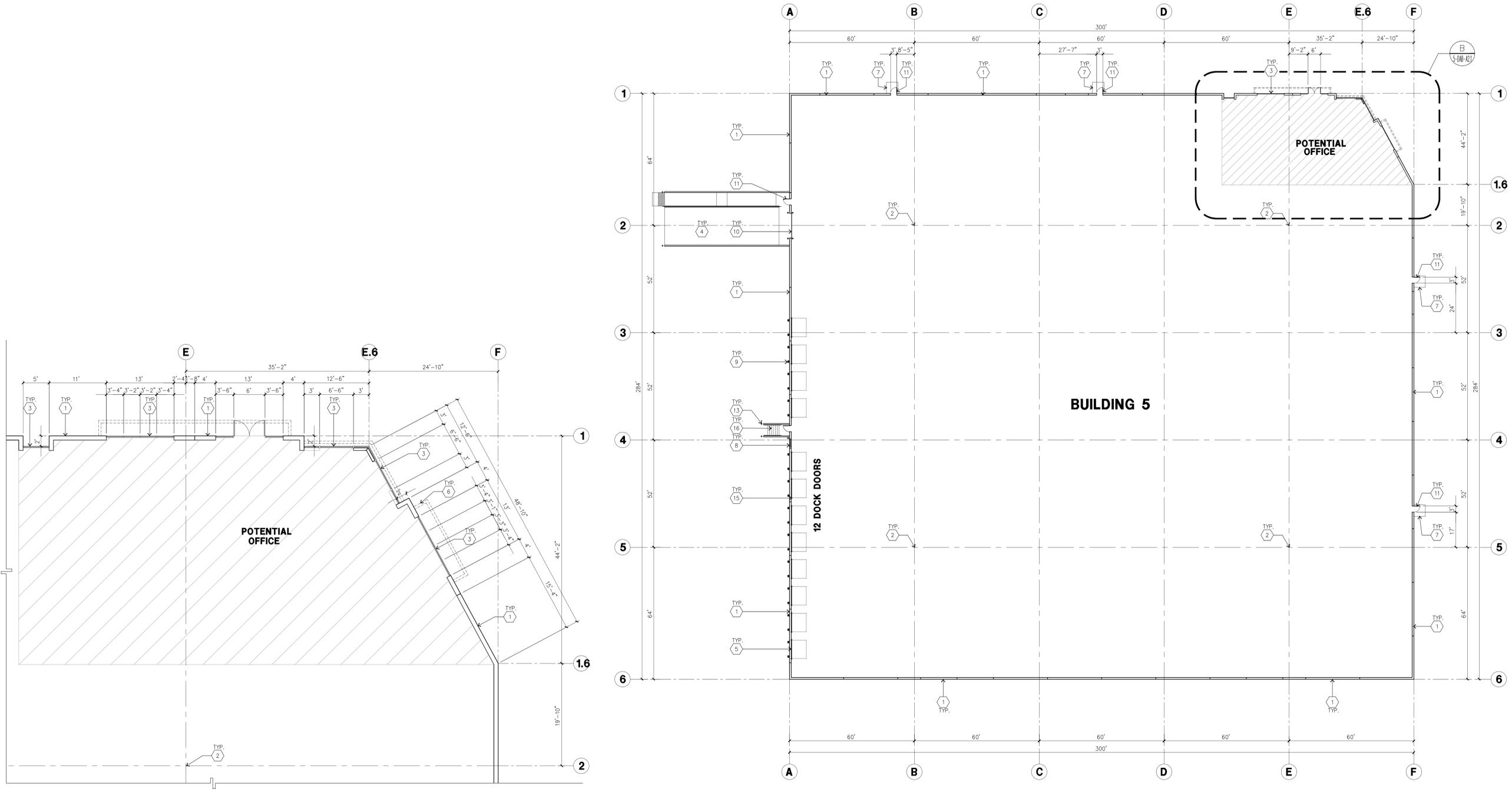
Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 5  
OVERALL FLOOR PLAN

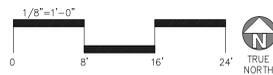
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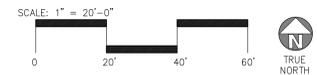
**5-DAB-A2.1**



**ENLARGED FLOOR PLAN B**  
scale: 1/8"=1'-0"



**OVERALL FLOOR PLAN A**  
scale: 1"=20'-0"



**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD
- 6 METAL CANOPY.
- 7 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL OH., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN. SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11338.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

Owner:



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Consultants:

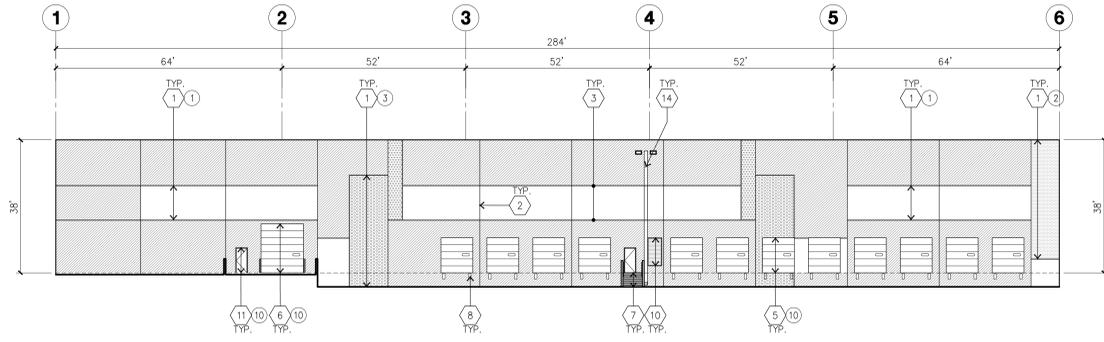
Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 5 ELEVATION

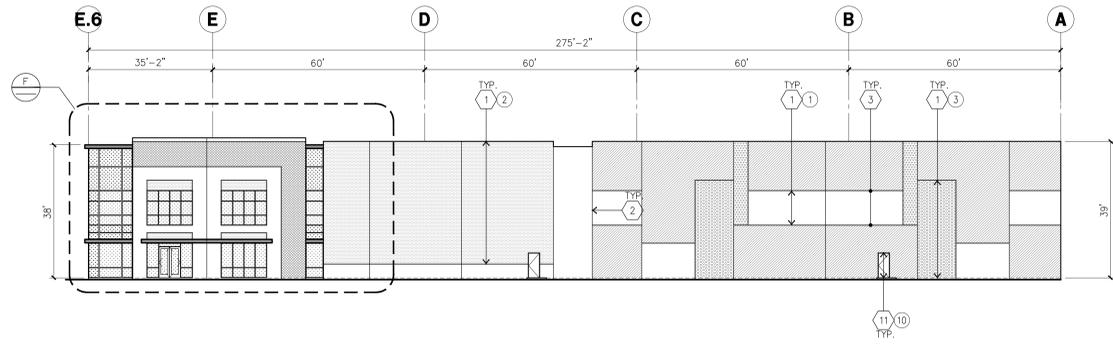
Project Number: 18440  
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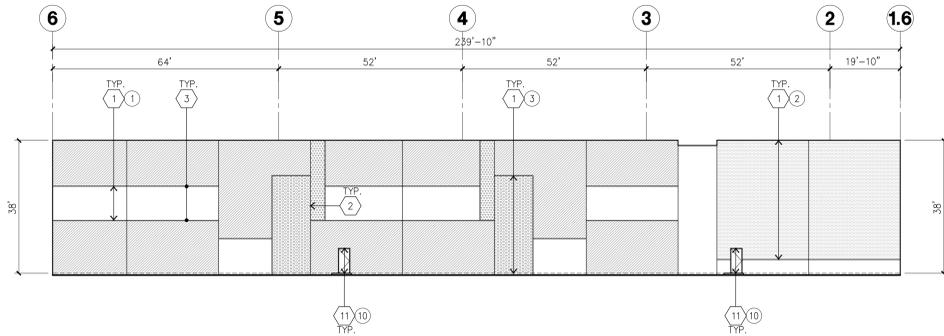
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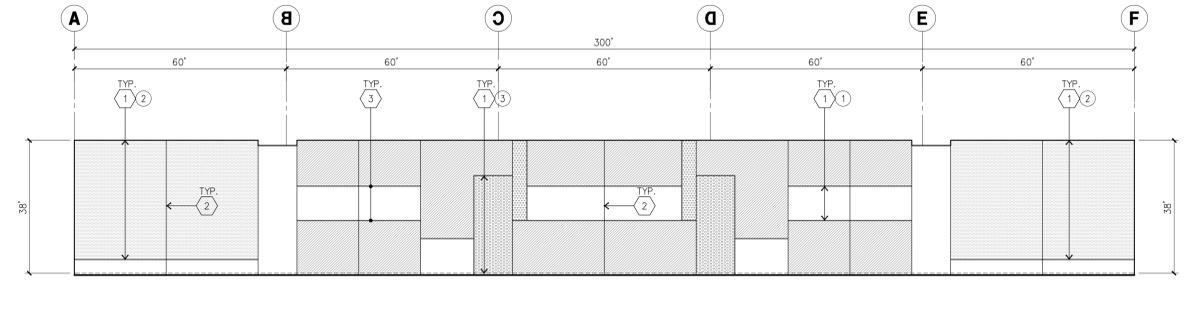
**WEST ELEVATION B**  
scale: 1" = 20'-0"



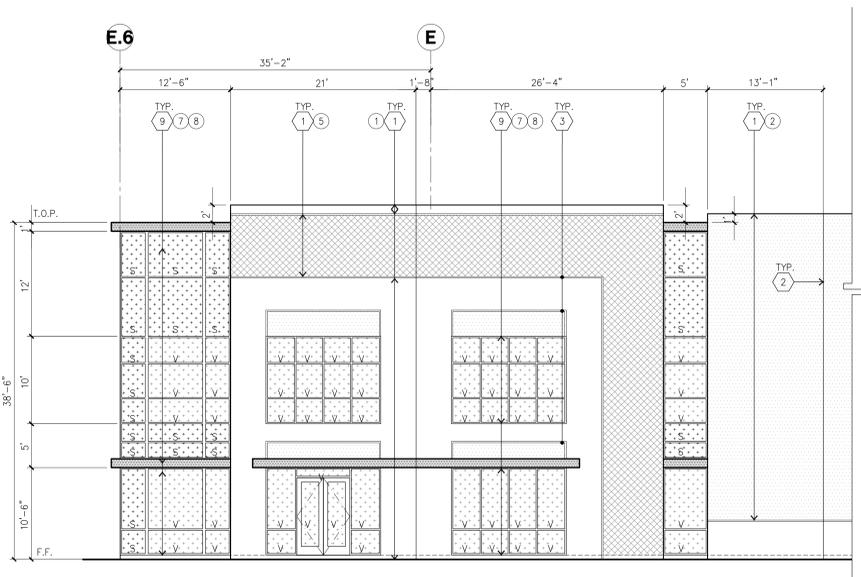
**NORTH ELEVATION A**  
scale: 1" = 20'-0"



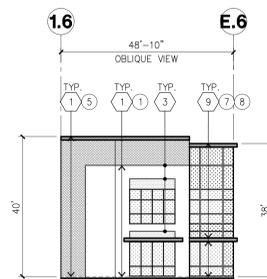
**EAST ELEVATION D**  
scale: 1" = 20'-0"



**SOUTH ELEVATION C**  
scale: 1" = 20'-0"



**ENLARGED NORTH ELEVATION F**  
scale: 1/8" = 1'-0"



**NORTHEAST ELEVATION E**  
scale: 1" = 20'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

**COLOR SCHEDULE - ELEVATIONS**

1	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7005, PURE WHITE
2	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7071, GRAY SCREEN
3	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7073, NETWORK GRAY
4	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7074, SOFTWARE
5	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7075, WEB GRAY
6	CONCRETE TILT- UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7502, INDIGO BATAK
7	MULLIONS	FINISH	CLEAN ANODIZED
8	GLAZING	COLOR	BLUE REFLECTIVE GLAZING
9	METAL CANOPY	PAINT BRAND	SHERWIN WILLIAMS SW 7005, PURE WHITE
10	DOORS	COLOR	MATCH BUILDING COLOR

**GLAZING LEGEND**

- TEMPERED VISION GLASS
- TEMPERED SPANDREL GLASS

ALL GLASS TO BE NON-REFLECTIVE

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.

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**THE HOMESTEAD**

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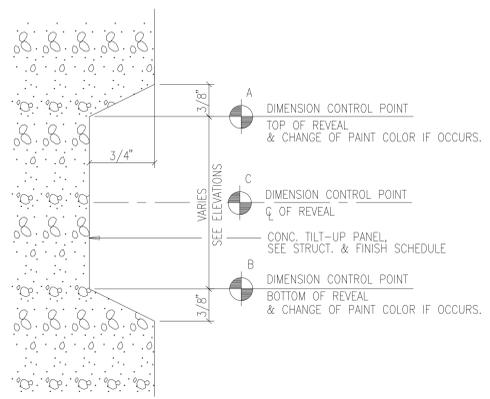
Consultants:

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

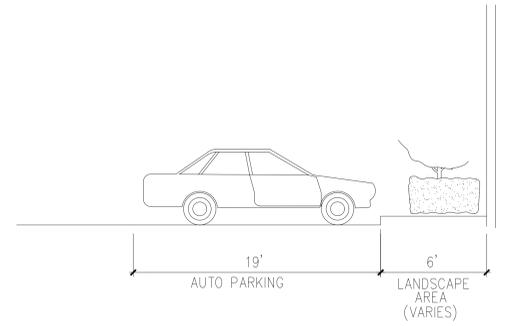
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Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

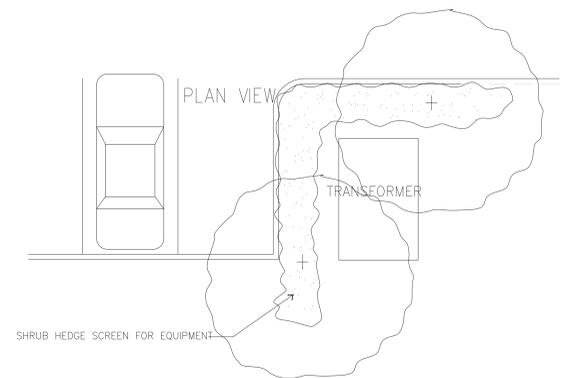
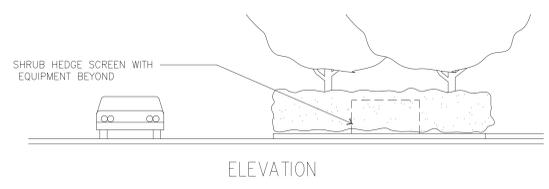
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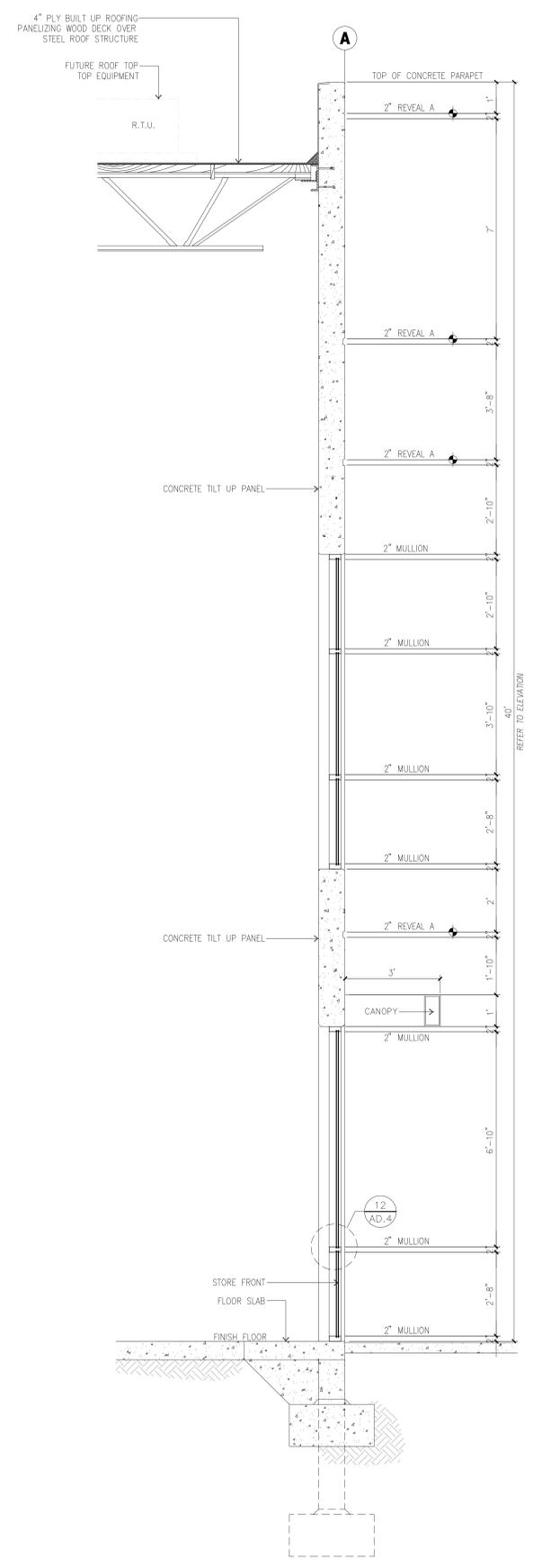
**TYP. CONCRETE REVEAL (D)**  
scale: N.T.S.



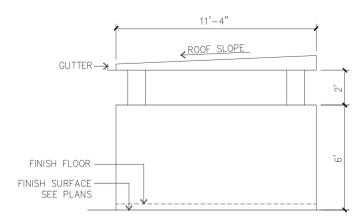
**TYPICAL PARKING SECTION (C)**  
scale: N.T.S.



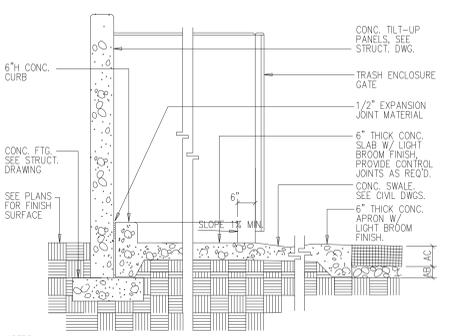
**GROUND MOUNTED EQUIPMENT SCREEN TYP (B)**  
scale: N.T.S.



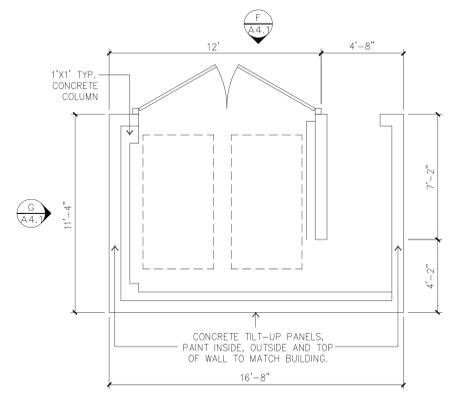
**TYP. STOREFRONT ELEVATION (A)**  
scale: 1/2" = 1'-0"



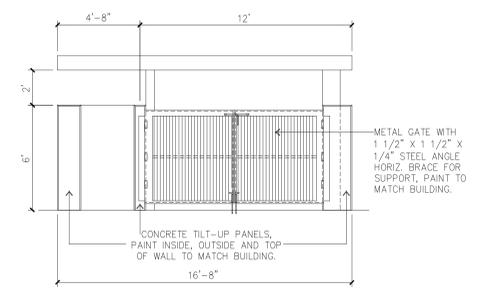
**TRASH ENCLOSURE ELEVATION (F)**  
scale: 1/4" = 1'-0"



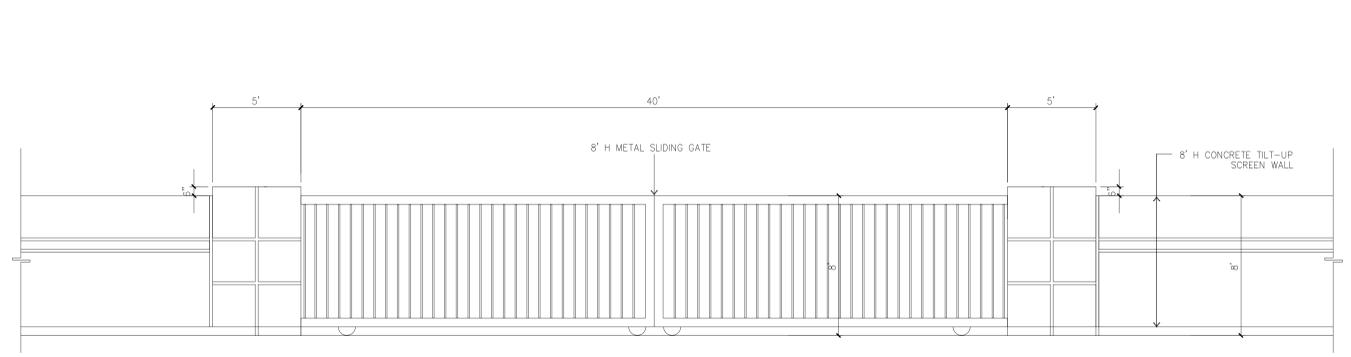
**TRASH ENCLOSURE SECTION (H)**  
scale: 1/2" = 1'-0"



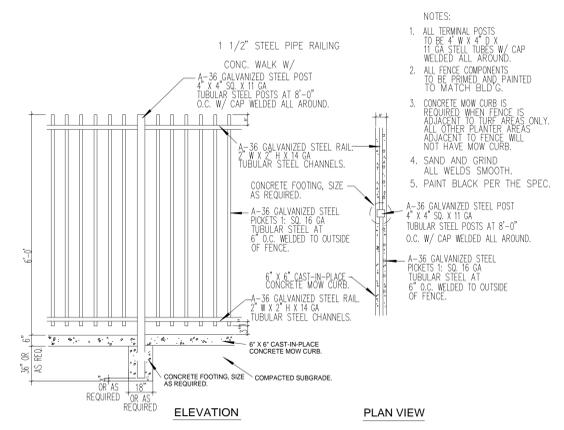
**TRASH ENCLOSURE PLAN (E)**  
scale: 1/4" = 1'-0"



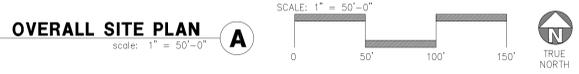
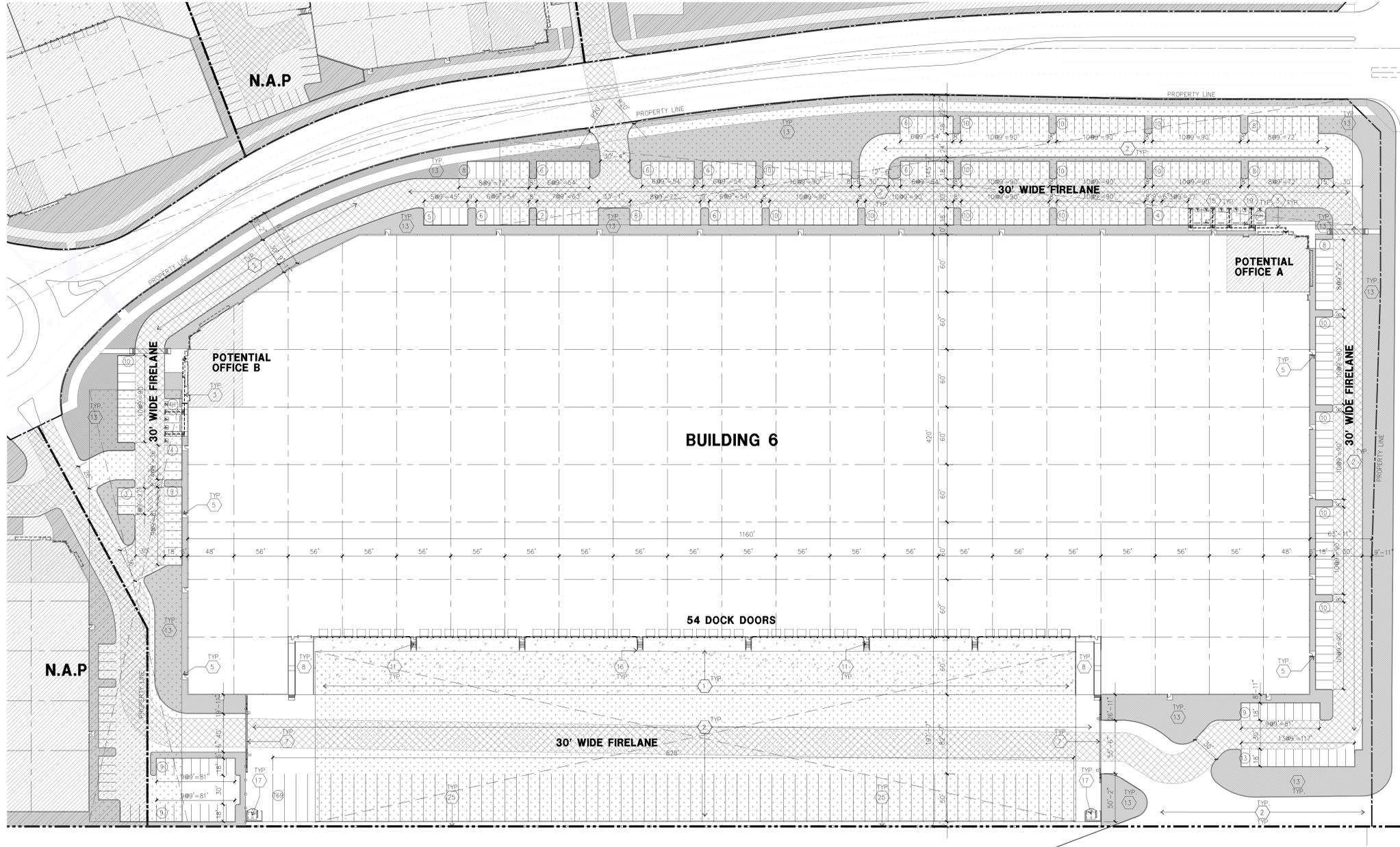
**TRASH ENCLOSURE ELEVATION (G)**  
scale: 1/4" = 1'-0"



**ENLARGED SCREEN WALL AND GATE ELEVATION (I)**  
scale: 1/4" = 1'-0"



**METAL FENCE DETAIL (J)**  
scale: N.T.S.



**SITE PLAN KEYNOTES**

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 CONCRETE PAVING PER CIVIL.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 DRIVEWAY APRONS TO BE CONSTRUCTED
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 8" H DOUBLE SIDE, SPLIT-FACE BLOCK WALL WITH CAP, MATCHING THE EXISTING BLOCK WALL TO THE EAST.
- 7 8' HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 8 CONCRETE RAMP W/ 42" HIGH CONCRETE WALL.
- 9 EXTERIOR BIKE RACK TYPICAL.
- 10 14' CONCRETE TILT SCREEN WALL
- 11 EXTERIOR CONCRETE STAIR.
- 12 NOT USED.
- 13 LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 14 NOT USED.
- 15 PRE-CAST CONCRETE WHEEL STOP.
- 16 CONCRETE FILLED GUARD POST 6 DIA. U.N.O. 42" H.
- 17 TRASH ENCLOSURE PER CITY STANDARD.
- 18 ACCESSIBLE ENTRY SIGN.
- 19 ACCESSIBLE PARKING STALL SIGN.
- 20 TRUNCATED DOME.
- 21 MONUMENT SIGN
- 22 NOT USED.
- 23 NOT USED.
- 24 8' HIGH METAL SWING GATE W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
- 25 8' HIGH METAL FENCE. SEE A4.1 FOR DETAILS.
- 26 MAILBOX

**SITE PLAN GENERAL NOTES**

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY: TBD
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
11. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
12. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
13. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
14. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
15. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
16. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

**SITE LEGEND**

- CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (8'-6" X 16' W/ 2' OVERHANG)
- LANDSCAPED AREA
- 24' WIDE FIRELANE
- HANDICAP PARKING STALL (9' X 18') W/ 5' ACCESSIBLE AISLE
- HANDICAP PARKING STALL (VAN) (12' X 18') W/ 5' ACCESSIBLE AISLE
- PATH OF TRAVEL

**VICINITY MAP**



**Property owner**

THE HOMESTEAD,LLC  
280 NEWPORT CENTER DRIVE,#240  
NEWPORT BEACH,CA 92660  
CONTACT: GRANT ROSS  
949.868.693

**Address of the property**

EASTVALE, CA

**Assessor's Parcel Number**

144-010-015, 144-010-018, 144-010-020,  
144-010-023, 144-010-024 & 144-010-032.

**Zoning**

LIGHT INDUSTRIAL (LI)

**Applicant's representative**

HPA, INC.  
18831 BARDEEN AVE SUITE 100  
IRVINE, CA 92612  
TEL: 949-862-2108  
ATTN: SHA LIU MAHONEY

**PROJECT DATA**

CITY OF EASTVALE	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	TOTAL
<b>NET SITE AREA</b>							
In s.f.	401,896	133,411	109,821	350,008	228,915	841,707	2,163,818 s.f.
In acres	9.23	3.06	2.52	8.04	5.21	21.62	49.68 ac
<b>NET VEGICATION</b>							
GROSS TOTAL							55.86 ac
<b>BUILDING AREA</b>							
Footprint	163,964	59,093	45,563	157,071	84,616	487,599	1,037,906 s.f.
Office	10,000	4,000	3,000	8,000	5,000	10,000	40,000 s.f.
Mezzanine	5,000	4,000	2,500	4,000	2,000	10,000	27,500 s.f.
Warehouse	183,964	55,093	42,563	149,071	79,616	487,599	997,906 s.f.
TOTAL	198,964	63,093	48,063	161,071	86,616	507,599	1,065,406 s.f.
Clear bldg height	36'	30'	30'	32'	32'	40'	48.0%
<b>COVERAGE</b>							
FAR	48.3%	44.3%	41.5%	44.8%	37.3%	52.8%	48.0%
<b>AUTO PARKING REQUIRED</b>							
Office: 1/250 s.f.	60	32	22	48	28	80	270 stalls
Whse: 1/2,000 s.f.	92	28	22	75	40	244	501 stalls
TOTAL	152	60	44	123	68	324	771 stalls
<b>AUTO PARKING PROVIDED</b>							
Standard (9' x 18')	154	61	55	140	73	325	808 stalls
<b>TRAILER PARKING PROVIDED</b>							
Trailer (12' x 50')	0	0	0	0	19	69	88 stalls
<b>ZONING ORDINANCE FOR CITY</b>							
Current Zoning Designation - Heavy Agriculture (A-2)							
Proposed Zoning Designation - Industrial park (I-P)							
<b>MAXIMUM BUILDING HEIGHT ALLOWED</b>							
Height - 75'							
<b>MAXIMUM FLOOR AREA RATIO</b>							
FAR - 0.60							
<b>SETBACKS (See notes for additional setbacks)</b>							
Building							
Archibad Ave - 25'							10'
Limonite Ave - 25'							10'
Side / Street side - 10'							10'
Rear - 15'							10'
<b>LANDSCAPE REQUIREMENT</b>							
Percentage - 10% of total interior parking area							



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**Project:**

**THE HOMESTEAD**

City of Eastvale, CA

**Consultants:**

- Civil: KIMLEY HORN
- Structural:
- Mechanical:
- Plumbing:
- Electrical:
- Landscape: SPLA
- Fire Protection:
- Soils Engineer:

**Title:**

BUILDING 6  
OVERALL SITE PLAN

**Project Number:**

18440

**Drawn by:**

SHA LIU MAHONEY

**Date:**

2/6/2020

**Revision:**

- 1
- 2
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**Sheet:**

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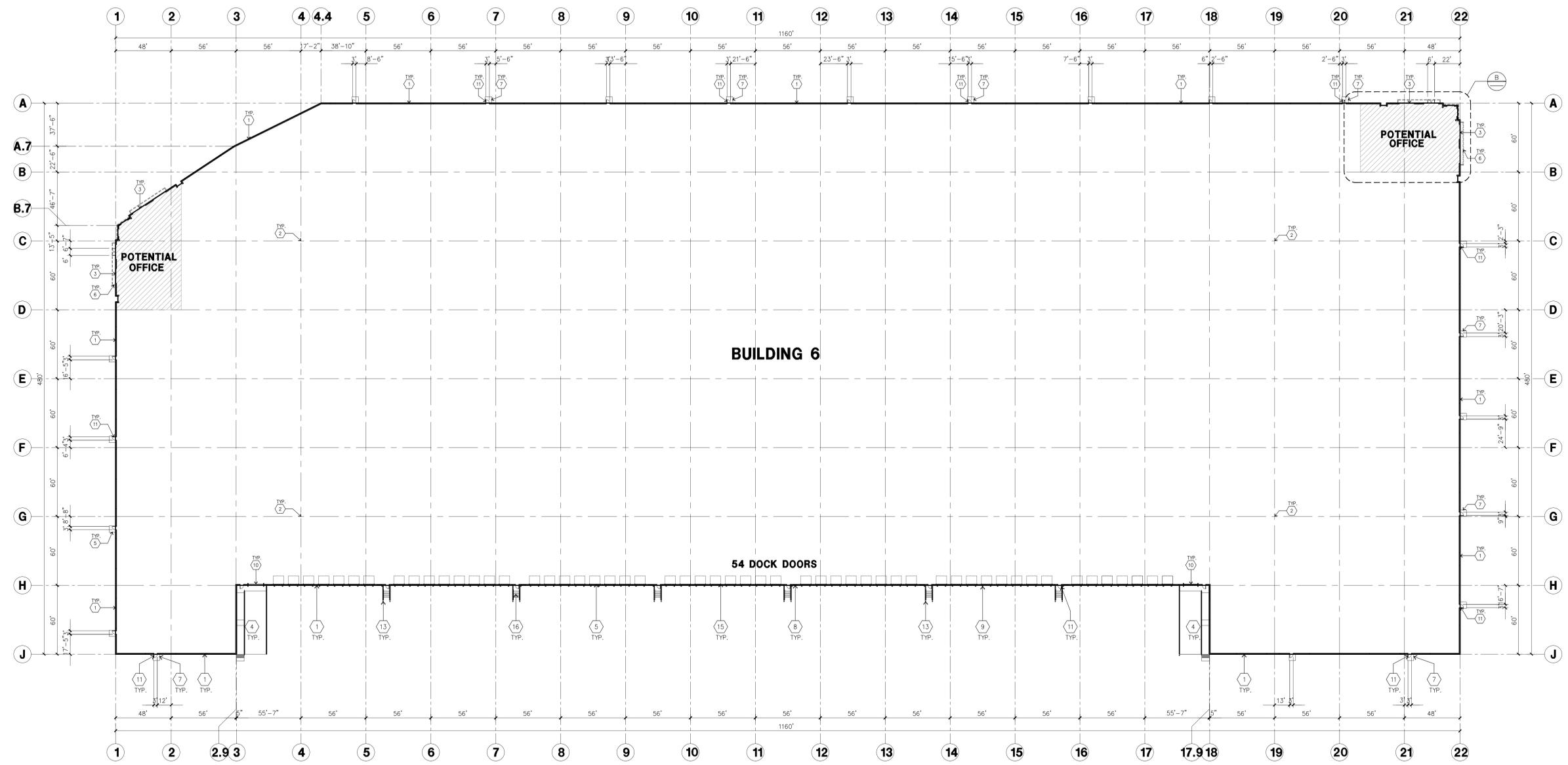
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- Fire Protection:
- Soils Engineer:

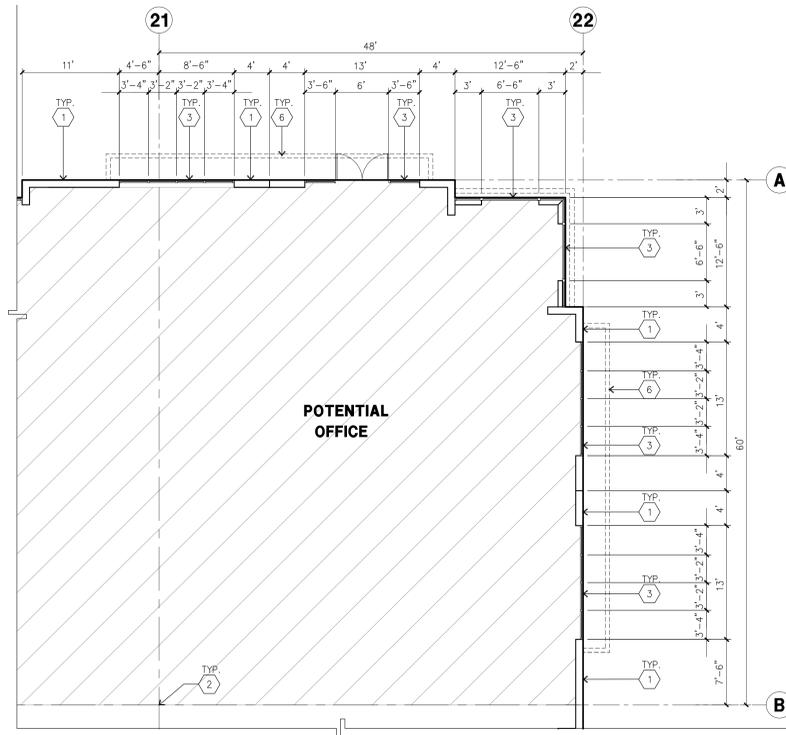
Title: BUILDING 6  
OVERALL FLOOR PLAN

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

Sheet:



**OVERALL FLOOR PLAN**  
scale: 1" = 40'-0"  
TRUE NORTH



**ENLARGED FLOOR PLAN**  
scale: 1/8" = 1'-0"  
TRUE NORTH

**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDE OF RAMP.
- 5 9' X 10' TRUCK DOOR. SECTIONAL O.H., STANDARD
- 6 METAL CANOPY.
- 7 6'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" = 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 42"H.
- 14 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 15 Z GUARD.
- 16 EXTERIOR CONCRETE STAIR.
- 17 INTERIOR ROOF DRAIN. SEE ROOF PLAN.
- 18 ROOF ACCESS LADDER ON MEZZANINE FLOOR.

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS APPROX. 100' MAXIMUM. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOUR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES. SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 1133B.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- P. FIRE ALARM SYSTEM SHALL BE INSTALLED IN ALL BUILDINGS IN ACCORDANCE WITH CALIFORNIA BUILDING AND FIRE CODE REQUIREMENTS.
- Q. FIRE EXTINGUISHERS SHALL BE INSTALL IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE. THE PLACEMENT OF FIRE EXTINGUISHERS SHALL BE SUBJECT TO REVIEW BY THE FIRE DISTRICT.

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

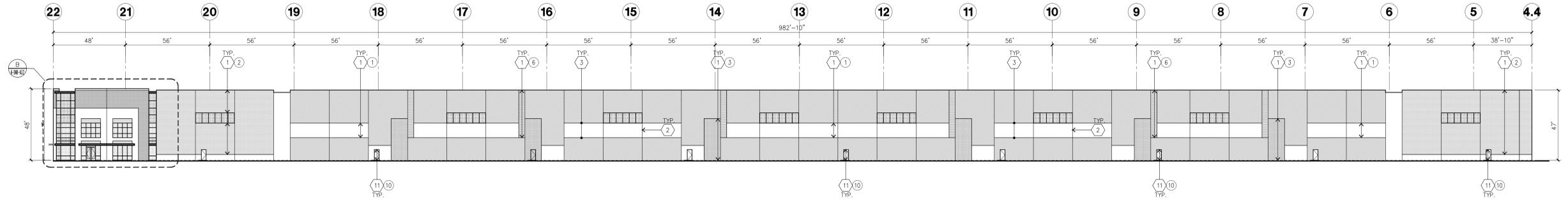
Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 6  
ELEVATION

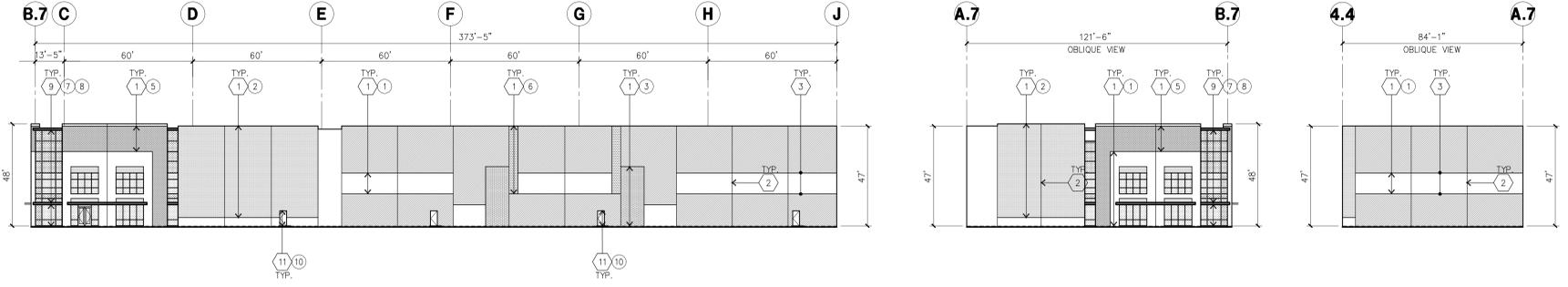
Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

Sheet:

6-DAB-A3.1



**NORTH ELEVATION**  
scale: 1" = 30'-0" **A**



**WEST ELEVATION**  
scale: 1" = 30'-0" **D**

**NORTHWEST ELEVATION**  
scale: 1" = 30'-0" **C**

**NORTHWEST ELEVATION**  
scale: 1" = 30'-0" **B**

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

**COLOR SCHEDULE - ELEVATIONS**

1	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
2	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7071 GRAY SCREEN
3	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7073 NETWORK GRAY
4	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7074 SOFTWARE
5	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7075 WEB GRAY
6	CONCRETE TILT-UP PANEL	PAINT BRAND	SHERWIN WILLIAMS SW 7602 INDIGO BATIK
7	MULLIONS	FINISH	CLEAN ANODIZED
8	GLAZING	COLOR	BLUE REFLECTIVE GLAZING
9	METAL CANOPY	PAINT BRAND	SHERWIN WILLIAMS SW 7005 PURE WHITE
10	DOORS	COLOR	MATCH BUILDING COLOR

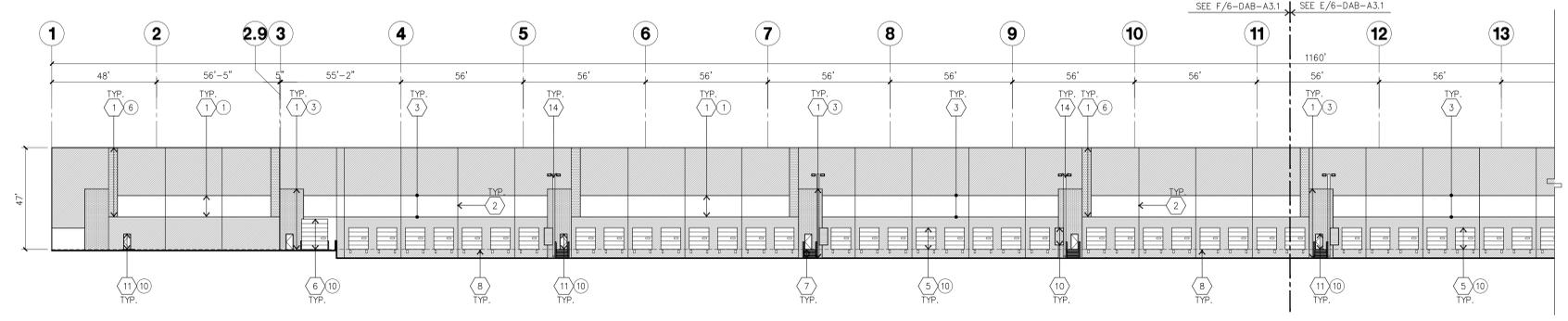
**GLAZING LEGEND**



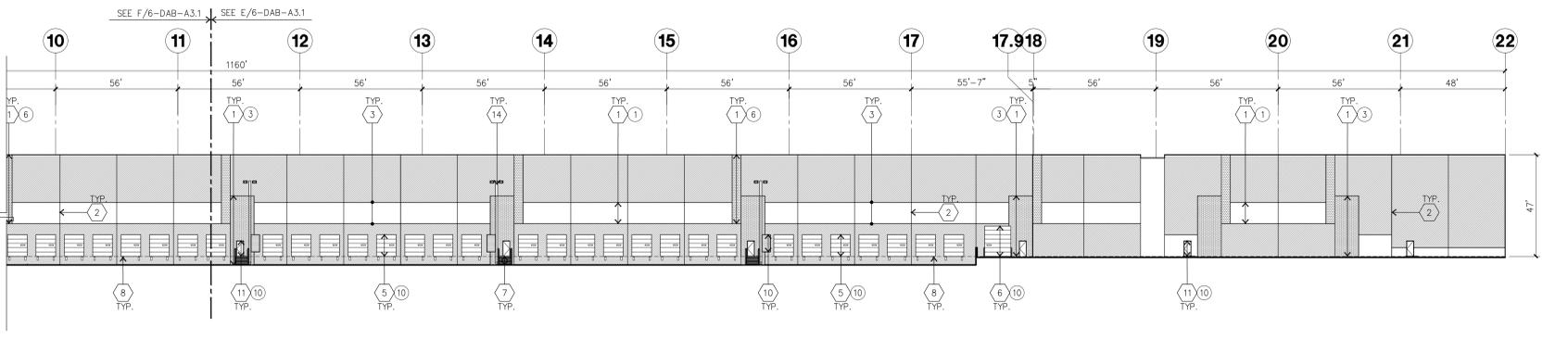
ALL GLASS TO BE NON-REFLECTIVE

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



**SOUTH ELEVATION**  
scale: 1" = 30'-0" **E**



**SOUTH ELEVATION (CONT.)**  
scale: 1" = 30'-0" **F**

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: BUILDING 6  
ELEVATION

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

Sheet:

6-DAB-A3.2

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 OVERHEAD DOOR @ DOCK HIGH.
- 6 OVERHEAD DOOR @ DRIVE THRU.
- 7 CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
- 8 DOCK BUMPER.
- 9 ALUMINUM STOREFRONT FRAMING W/ TEMPERED GLAZING AT ALL DOORS SIDELITES ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
- 10 LOUVER (SIZE AND LOCATION APPROX. ONLY).
- 11 HOLLOW METAL DOORS.
- 12 NOT USED.
- 13 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPER.
- 14 EXTERIOR ROOF DRAIN WITH TWO OVERFLOW SCUPPER.

**COLOR SCHEDULE - ELEVATIONS**

- |  |                          |             |                                       |
|--|--------------------------|-------------|---------------------------------------|
|  | 1 CONCRETE TILT-UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW_7005 PURE_WHITE   |
|  | 2 CONCRETE TILT-UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW_7071 GRAY_SCREEN  |
|  | 3 CONCRETE TILT-UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW_7073 NETWORK_GRAY |
|  | 4 CONCRETE TILT-UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW_7074 SOFTWARE     |
|  | 5 CONCRETE TILT-UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW_7075 WEB_GRAY     |
|  | 6 CONCRETE TILT-UP PANEL | PAINT BRAND | SHERWIN WILLIAMS SW_7602 INDIGO_BATIK |
|  | 7 MULLIONS               | FINISH      | CLEAN ANODIZED                        |
|  | 8 GLAZING                | COLOR       | BLUE REFLECTIVE GLAZING               |
|  | 9 METAL CANOPY           | PAINT BRAND | SHERWIN WILLIAMS SW_7005 PURE_WHITE   |
|  | 10 DOORS                 | COLOR       | MATCH BUILDING COLOR                  |

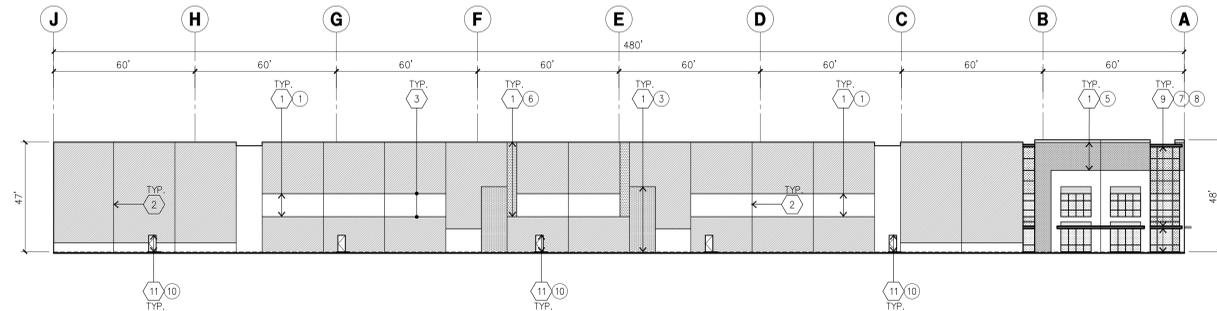
**GLAZING LEGEND**

- |  |                       |  |                         |
|--|-----------------------|--|-------------------------|
|  | TEMPERED VISION GLASS |  | TEMPERED SPANDREL GLASS |
|--|-----------------------|--|-------------------------|

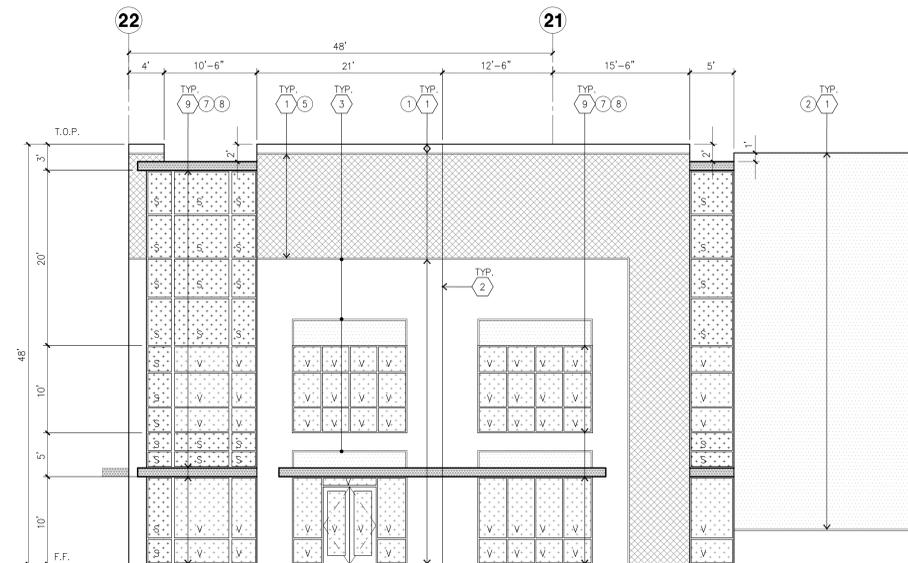
ALL GLASS TO BE NON-REFLECTIVE

**GENERAL NOTES - ELEVATIONS**

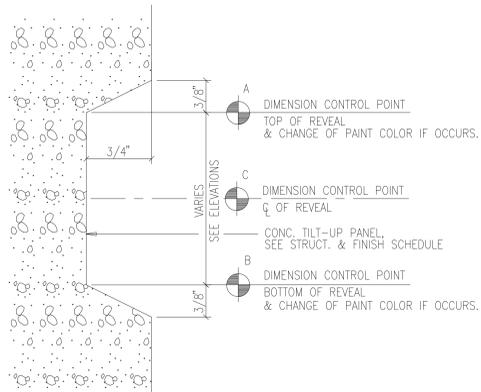
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE 10" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



**EAST ELEVATION**  
scale: 1" = 30'-0" **A**

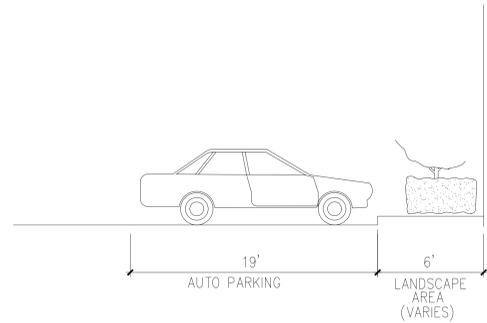


**ENLARGED NORTH ELEVATION**  
scale: 1/8" = 1'-0" **B**

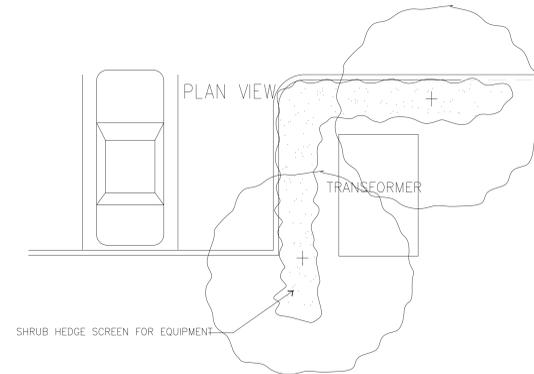
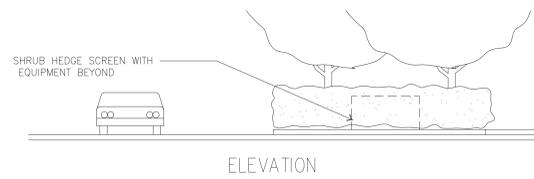


**TYP. CONCRETE REVEAL (D)**  
scale: N.T.S.

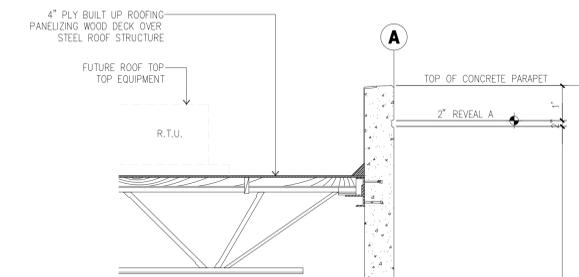
- NOTES:
1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR, SEE WALL SECTIONS.
  2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "A" OR "B"



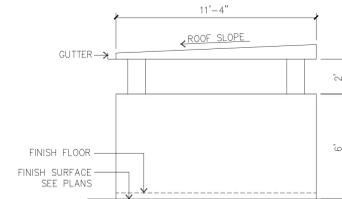
**TYPICAL PARKING SECTION (C)**  
scale: N.T.S.



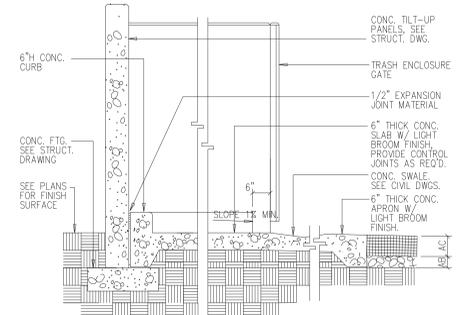
**GROUND MOUNTED EQUIPMENT SCREEN TYP (B)**  
scale: N.T.S.



**TYP. STOREFRONT ELEVATION (A)**  
scale: 1/2" = 1'-0"

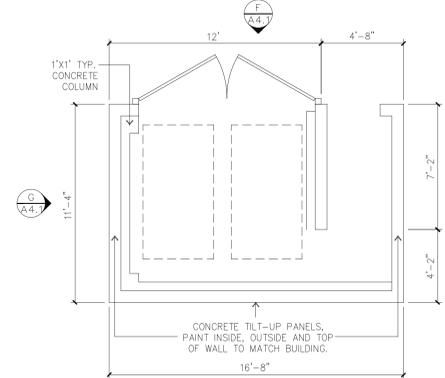


**TRASH ENCLOSURE ELEVATION (F)**  
scale: 1/4" = 1'-0"

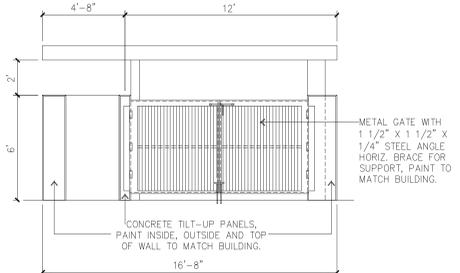


**TRASH ENCLOSURE SECTION (H)**  
scale: 1/2" = 1'-0"

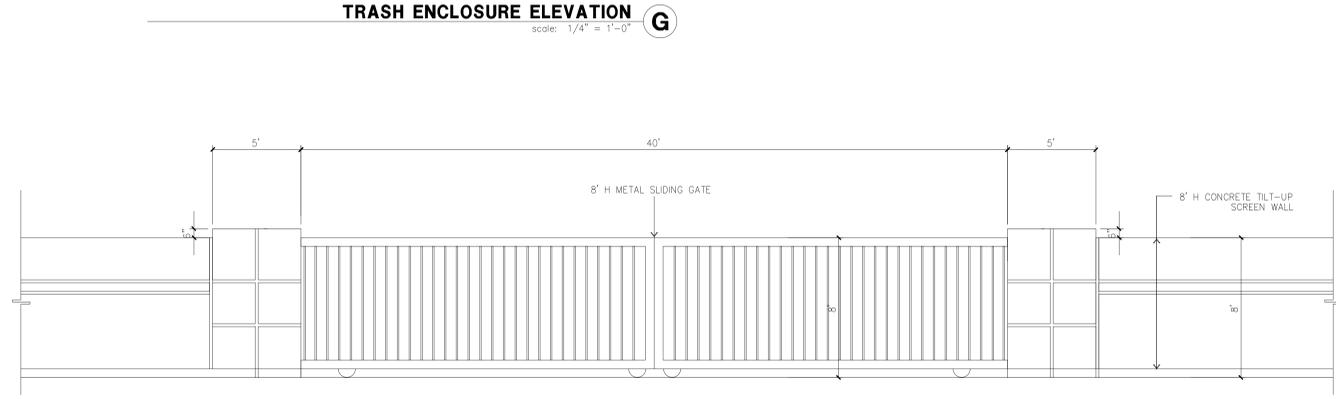
- NOTES:
1. SEE SOILS REPORT FOR BELOW SLAB PREPARATIONS AND STEEL REINFORCEMENT RECOMMENDATIONS.
  2. SEE DETAILS (D) & (E) FOR ADDITIONAL NOTES.



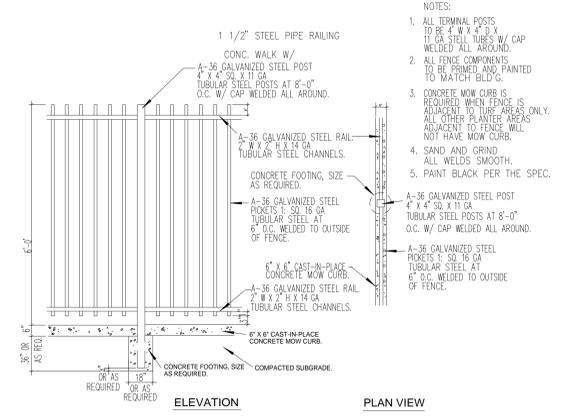
**TRASH ENCLOSURE PLAN (E)**  
scale: 1/4" = 1'-0"



**TRASH ENCLOSURE ELEVATION (G)**  
scale: 1/4" = 1'-0"



**ENLARGED SCREEN WALL AND GATE ELEVATION (I)**  
scale: 1/4" = 1'-0"



**METAL FENCE DETAIL (J)**  
scale: N.T.S.



hpa, inc.  
18831 bardeen avenue - ste. #100  
irvine, ca  
92612  
tel: 949-863-1770  
fax: 949-863-0851  
email: hpa@hparchs.com

Owner:



280 Newport Center Dr. Suite 240  
Newport Beach, CA 92660  
tel: 949-330-7564

Project:

**THE HOMESTEAD**

City of Eastvale, CA

Consultants:

Civil: KIMLEY HORN  
Structural:  
Mechanical:  
Plumbing:  
Electrical:  
Landscape: SPLA  
Fire Protection:  
Soils Engineer:

Title: SECTIONS

Project Number: 18440  
Drawn by: SHA LIU MAHONEY  
Date: 2/6/2020  
Revision:

Sheet:

**6-DAB-A4.1**

North Elevation



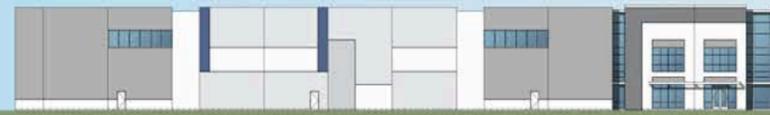
West Elevation



South Elevation - Limonite Avenue

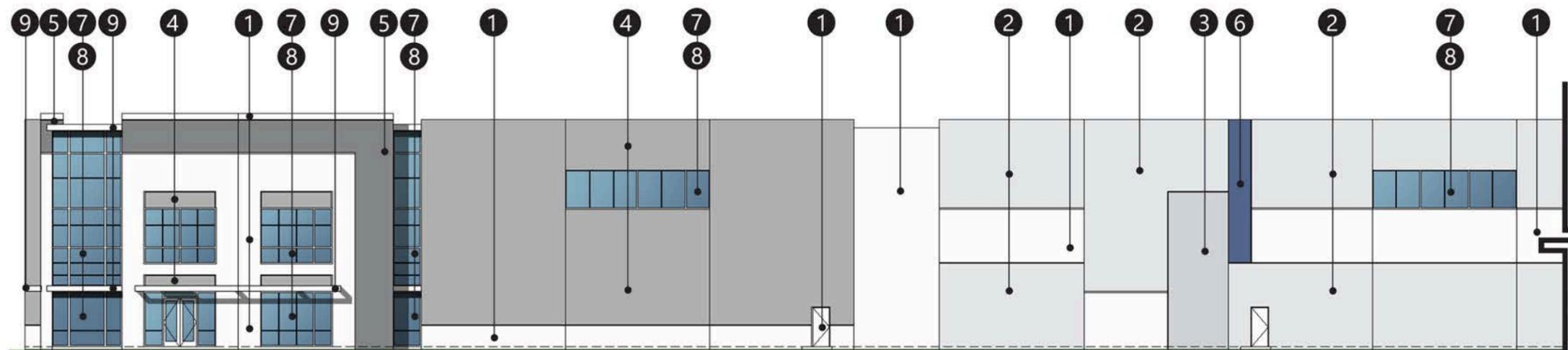


East Elevation - Archibald Avenue



MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
- ⑤ Sherwin Williams SW 7075 Web Gray
- ⑥ Sherwin Williams SW 7602 Indigo Batik
- ⑦ Blue Reflective GLAZING
- ⑧ Clear Anodize MULLIONS
- ⑨ Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of South Elevation



ORBIS  
REAL  
ESTATE  
PARTNERS

Job No. 18440.00



01.29.2020

The Homestead

city of eastvale, california

Building 1

North Elevation



West Elevation



South Elevation - Limonite Avenue

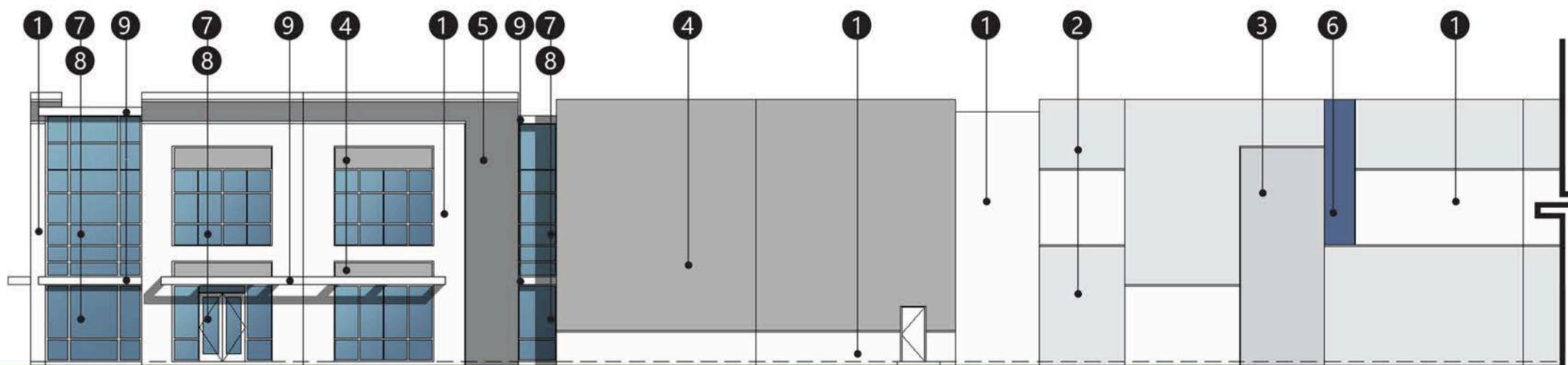


East Elevation - Archibald Avenue



### MATERIALS

- 1 Sherwin Williams SW 7005 Pure White
- 2 Sherwin Williams SW 7071 Gray Screen
- 3 Sherwin Williams SW 7073 Network Gray
- 4 Sherwin Williams SW 7074 Software
- 5 Sherwin Williams SW 7075 Web Gray
- 6 Sherwin Williams SW 7602 Indigo Batik
- 7 Blue Reflective GLAZING
- 8 Clear Anodize MULLIONS
- 9 Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of East Elevation



ORBIS  
REAL  
ESTATE  
PARTNERS



Job No. 18440.00

01.29.2020

The Homestead

city of eastvale, california

Building 2

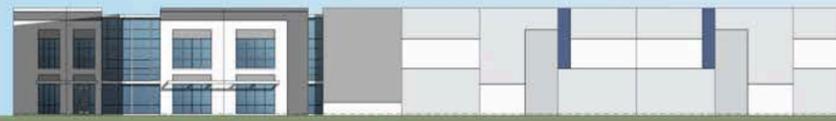
North Elevation



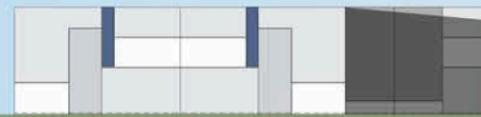
West Elevation



South Elevation - Limonite Avenue

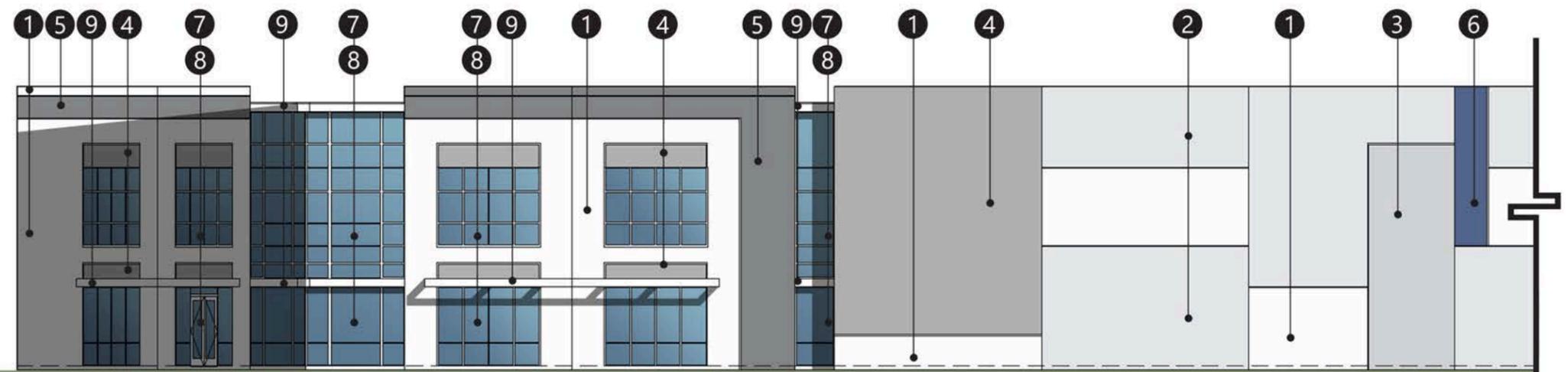


East Elevation - Archibald Avenue



MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
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- ⑦ Blue Reflective GLAZING
- ⑧ Clear Anodize MULLIONS
- ⑨ Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of South Elevation



ORBIS  
REAL  
ESTATE  
PARTNERS



Job No. 18440.00

01.28.2020

The Homestead

city of eastvale, california

Building 3



North Elevation



West Elevation



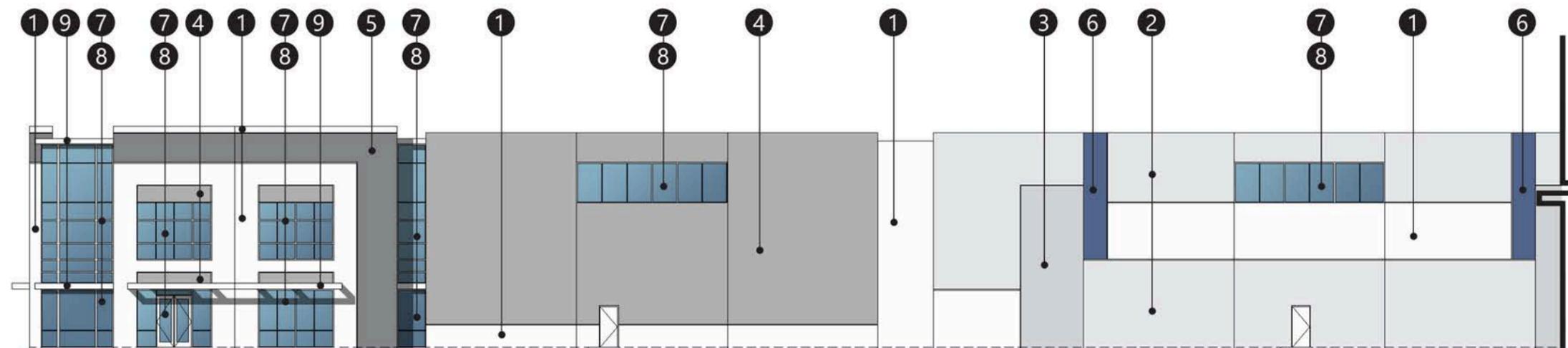
South Elevation - Limonite Avenue



East Elevation - Archibald Avenue

MATERIALS

- 1 Sherwin Williams SW 7005 Pure White
- 2 Sherwin Williams SW 7071 Gray Screen
- 3 Sherwin Williams SW 7073 Network Gray
- 4 Sherwin Williams SW 7074 Software
- 5 Sherwin Williams SW 7075 Web Gray
- 6 Sherwin Williams SW 7602 Indigo Batik
- 7 Blue Reflective GLAZING
- 8 Clear Anodize MULLIONS
- 9 Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of South Elevation



ORBIS  
REAL  
ESTATE  
PARTNERS

Job No. 18440.00

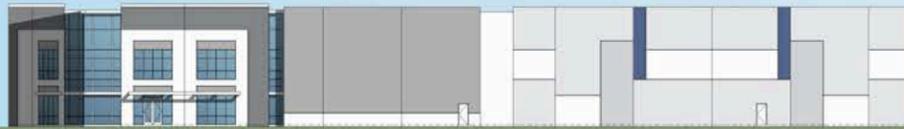


01.29.2020

The Homestead

city of eastvale, california

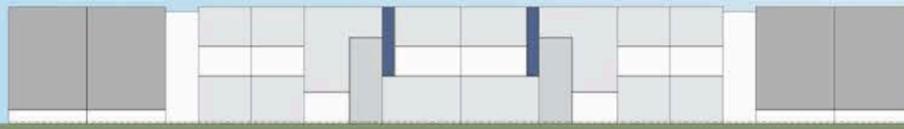
Building 4



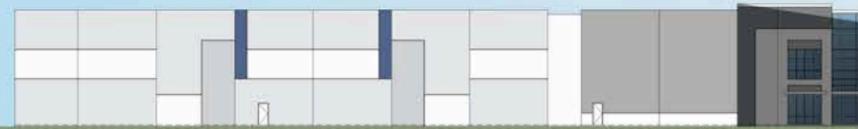
North Elevation



West Elevation



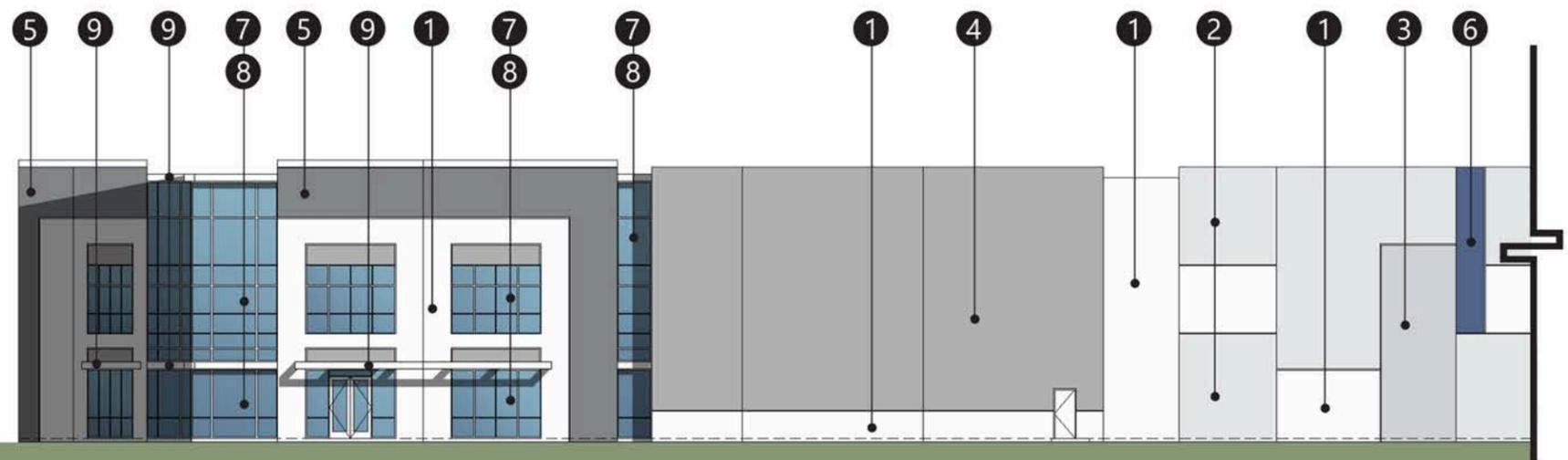
South Elevation - Limonite Avenue



East Elevation - Archibald Avenue

MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
- ⑤ Sherwin Williams SW 7075 Web Gray
- ⑥ Sherwin Williams SW 7602 Indigo Batik
- ⑦ Blue Reflective GLAZING
- ⑧ Clear Anodize MULLIONS
- ⑨ Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of North Elevation



ORBIS  
REAL  
ESTATE  
PARTNERS



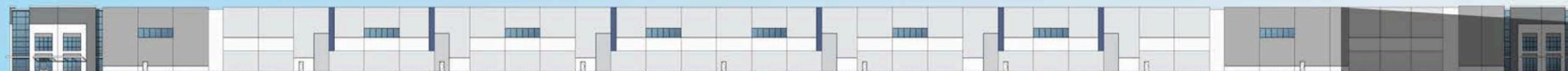
Job No. 18440.00

01.29.2020

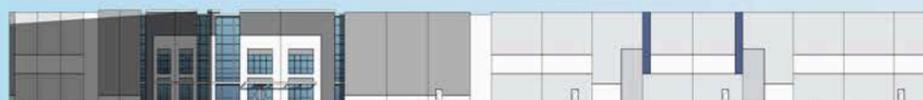
The Homestead

city of eastvale, california

Building 5



North Elevation



West Elevation



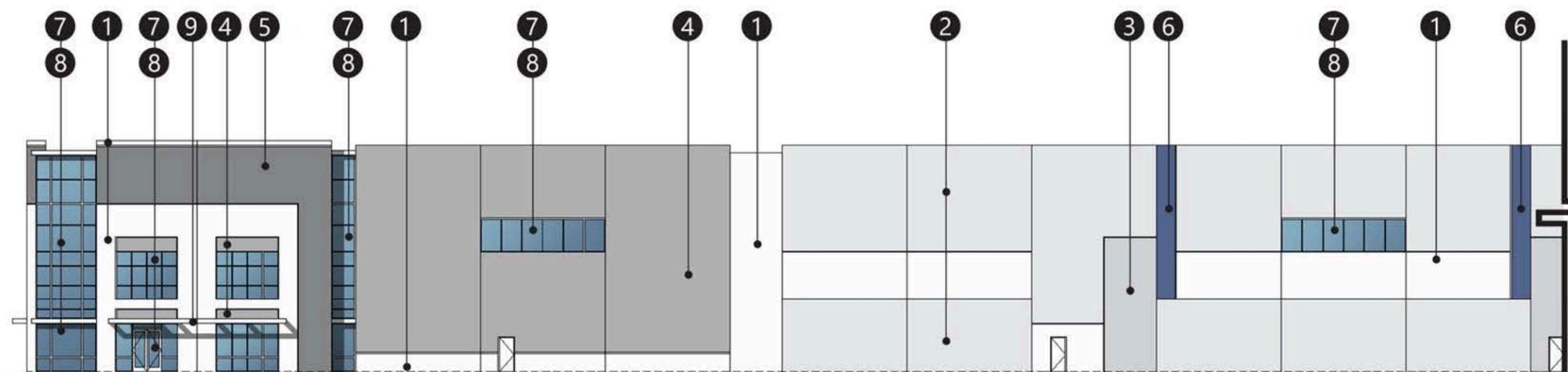
South Elevation - Limonite Avenue



East Elevation - Archibald Avenue

### MATERIALS

- ① Sherwin Williams SW 7005 Pure White
- ② Sherwin Williams SW 7071 Gray Screen
- ③ Sherwin Williams SW 7073 Network Gray
- ④ Sherwin Williams SW 7074 Software
- ⑤ Sherwin Williams SW 7075 Web Gray
- ⑥ Sherwin Williams SW 7602 Indigo Batik
- ⑦ Blue Reflective GLAZING
- ⑧ Clear Anodize MULLIONS
- ⑨ Sherwin Williams Acrylic Latex Systems High Gloss/High performance in color: SW 7005 Pure White @ Metal CANOPY



Enlarged View of North Elevation



ORBIS  
REAL  
ESTATE  
PARTNERS

Job No. 18440.00



02.04.2020

The Homestead

city of eastvale, california

Building 6

**DESIGN KEY NOTES:**

- ① NEW STREET TREE PER LEGEND.
- ② PARKING LOT CANOPY TREE PER LEGEND.
- ③ NATIVE SPECIMEN SIZE CANOPY TREE PER LEGEND.
- ④ PROPOSED PLANTED MEDIAN ISLANDS.
- ⑤ HEAVY PROPERTY LINE SCREEN PLANTING PER LEGEND.
- ⑥ TYP. FLOWERING ACCENT TREES AT DRIVEWAY ENTRIES.

**PLANTING LEGEND**

TREES			
SYMBOL	TREE NAME	QTY.	WUCOLS
	NEW STREET TREE ALONG LIMONITE AVE.	103	L
	NEW STREET TREE ALONG ARCHIBALD AVE.	28	L
	CERCIDIUM X 'DESERT MUSEUM', BLUE PALO VERDE 36" BOX SIZE. DOUBLE STAKE.	40	L
	OLEA EUROPAEA 'SWAN HILL', FRUITLESS OLIVE 36" BOX SIZE. DOUBLE STAKE.	15	L
	PINUS ELДАРICA, MONDELL PINE 24" BOX SIZE. DOUBLE STAKE.	99	L
	ULMUS PARVIFOLIA, CHINESE ELM TREE 24" BOX SIZE. DOUBLE STAKE. ALT: TIPUANA TIP, TIPUANA TIPU	64	L
	PODOCARPUS GRACILIOR, FERN PINE 15 GAL. SIZE. DOUBLE STAKE.	187	L
	TRISTANIA CONFERTA, BRISBANE BOX 24" BOX SIZE. DOUBLE STAKE.	125	L
	GEIJERA PARVIFLORA, AUSTRALIAN WILLOW 24" BOX SIZE. DOUBLE STAKE.	38	L

**ALUC FLIGHT ZONE**  
NO TREES SHALL BE PLANTED WITHIN THE ALUC FLIGHT ZONES.  
HEIGHT RESTRICTIONS.

**IRRIGATION NOTE:**  
THE PROJECT WILL BE EQUIPPED WITH A LOW FLOW IRRIGATION SYSTEM CONSISTING OF ET WEATHER BASED SMART CONTROLLER, LOW FLOW ROTORS, BUBBLER AND/ OR DRIP SYSTEMS USED THROUGHOUT. THE IRRIGATION WATER EFFICIENCY WILL MEET OR SURPASS THE CURRENT STATE MANDATED AB-1881 WATER ORDINANCE.

**SHRUBS - SHRUBS SHALL CONSIST OF THE FOLLOWING:**

SYMBOL	SHRUB NAME	WUCOLS
	DODONAEA VISCOSA 'PURPUREA', HOPSEED BUSH 5 GAL. SIZE	L
	LEUCOPHYLLUM F. 'GREEN CLOUD', TEXAS RANGER 5 GAL. SIZE	L
	WESTRINGIA FRUTICOSA, COAST ROSEMARY 5 GAL. SIZE	L
	LIGUSTRUM TEXANUM, TEXAS PRIVET 5 GAL. SIZE	L
	CALLISTEMON 'LITTLE JOHN', DWARF BOTTLE BRUSH 5 GAL. SIZE	L
	RHAPHIOLEPIS I. 'CLARA', INDIAN HAWTHORN 5 GAL. SIZE	L
	DIANELLA TAS. 'VARIEGATA', VARIEGATED FLAX LILY 5 GAL. SIZE	L

**GENERAL NOTES:**

- SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL GROUND COVER PER LEGEND, AND MULCH MATERIAL WITH 'BINDER' MATERIAL SHALL BE APPLIED FOR EROSION CONTROL.
- ROCK RIP-RAP MATERIAL SHALL BE INSTALLED WHERE DRAIN LINES CONNECT TO INFILTRATION AREAS.
- ALL UTILITY EQUIPMENT SUCH AS BACKFLOW UNITS, FIRE DETECTOR CHECKS AND FIRE CHECK VALVES WILL BE SCREENED WITH EVERGREEN PLANT MATERIAL ONCE FINAL LOCATIONS HAVE BEEN DETERMINED.

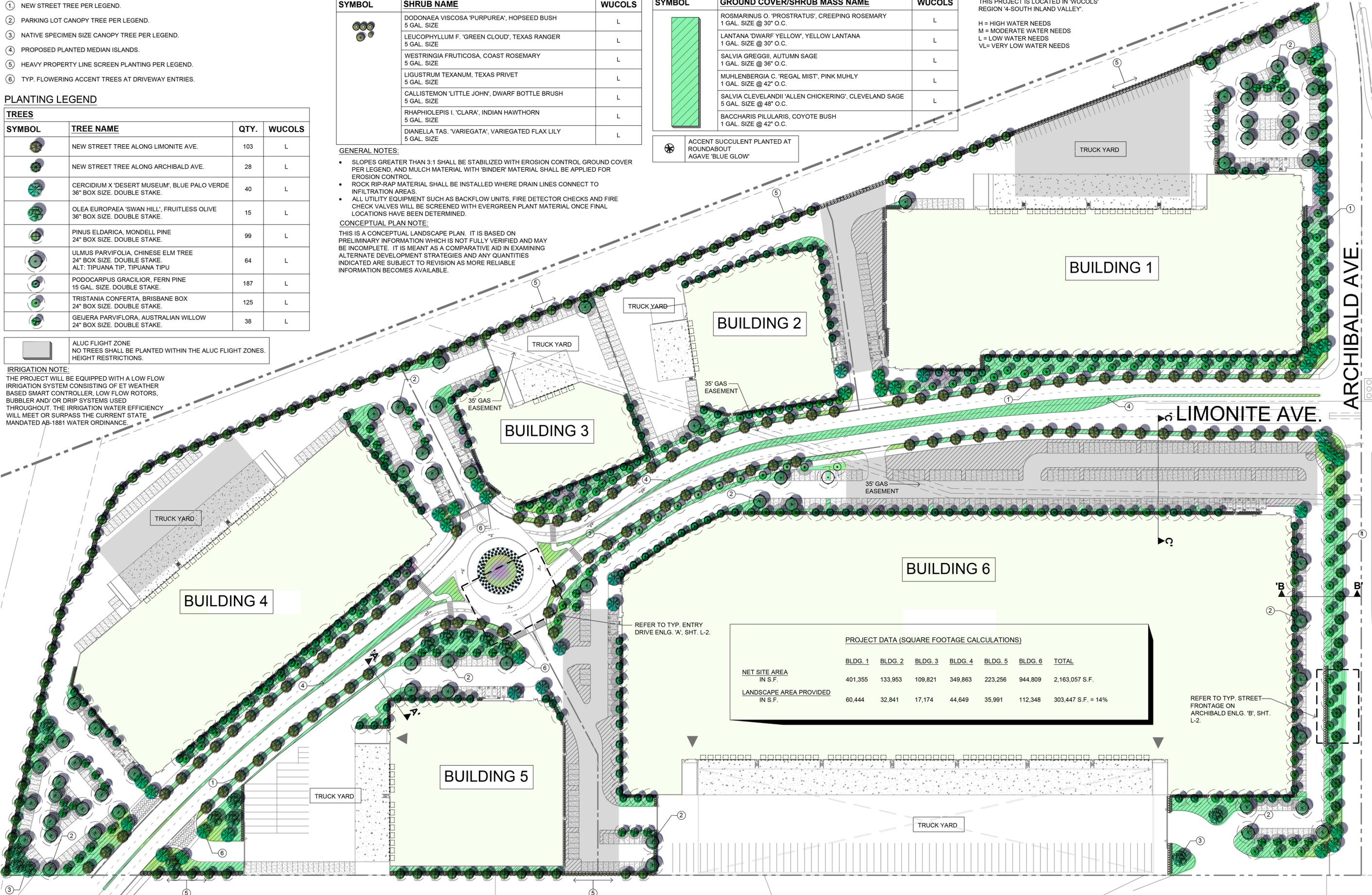
**CONCEPTUAL PLAN NOTE:**  
THIS IS A CONCEPTUAL LANDSCAPE PLAN. IT IS BASED ON PRELIMINARY INFORMATION WHICH IS NOT FULLY VERIFIED AND MAY BE INCOMPLETE. IT IS MEANT AS A COMPARATIVE AID IN EXAMINING ALTERNATE DEVELOPMENT STRATEGIES AND ANY QUANTITIES INDICATED ARE SUBJECT TO REVISION AS MORE RELIABLE INFORMATION BECOMES AVAILABLE.

**GROUND COVER AND SHRUB MASSES**

SYMBOL	GROUND COVER/SHRUB MASS NAME	WUCOLS
	ROSMARINUS O. 'PROSTRATUS', CREEPING ROSEMARY 1 GAL. SIZE @ 30" O.C.	L
	LANTANA 'DWARF YELLOW', YELLOW LANTANA 1 GAL. SIZE @ 30" O.C.	L
	SALVIA GREGGII, AUTUMN SAGE 1 GAL. SIZE @ 36" O.C.	L
	MUHLENBERGIA C. 'REGAL MIST', PINK MUHLY 1 GAL. SIZE @ 42" O.C.	L
	SALVIA CLEVELANDII 'ALLEN CHICKERING', CLEVELAND SAGE 5 GAL. SIZE @ 48" O.C.	L
	BACCHARIS PILULARIS, COYOTE BUSH 1 GAL. SIZE @ 42" O.C.	L

ACCENT SUCCULENT PLANTED AT ROUNDABOUT  
AGAVE 'BLUE GLOW'

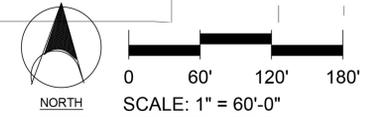
**WUCOLS PLANT FACTOR**  
THIS PROJECT IS LOCATED IN 'WUCOLS' REGION '4-SOUTH INLAND VALLEY'.  
H = HIGH WATER NEEDS  
M = MODERATE WATER NEEDS  
L = LOW WATER NEEDS  
VL = VERY LOW WATER NEEDS



**PROJECT DATA (SQUARE FOOTAGE CALCULATIONS)**

	BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	TOTAL
NET SITE AREA IN S.F.	401,355	133,953	109,821	349,863	223,256	944,809	2,163,057 S.F.
LANDSCAPE AREA PROVIDED IN S.F.	60,444	32,841	17,174	44,649	35,991	112,348	303,447 S.F. = 14%

**CONCEPTUAL LANDSCAPE PLAN  
LIMONITE AVE. AND ARCHIBALD AVE. - PHASE II**





Due to the file size, Attachment 7 – Draft EIR and Appendices can be requested by contacting the City Clerk’s Office at [cityclerk@eastvaleca.gov](mailto:cityclerk@eastvaleca.gov) or at (951) 361-0900.



## AGENDA STAFF REPORT

Planning Commission Meeting

Commission Business

Agenda Item No. 9.1

March 18, 2020

## PLN15-0958 – One-Year Review of the Drive-Through Operation at Pad 1 (El Pollo Loco) in the Eastvale Marketplace

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**Prepared By:** Gina Gibson-Williams, Community Development Director

### Recommended Action(s)

Determine that **no changes** to the Conditions of Approval are needed for the El Pollo Loco drive-through operation.

### Summary

One-year review of PLN15-0958 Conditional Use Permit (CUP) for the operation of a drive-through lane for Pad 1, which is now El Pollo Loco, at the Eastvale Marketplace.

### Background

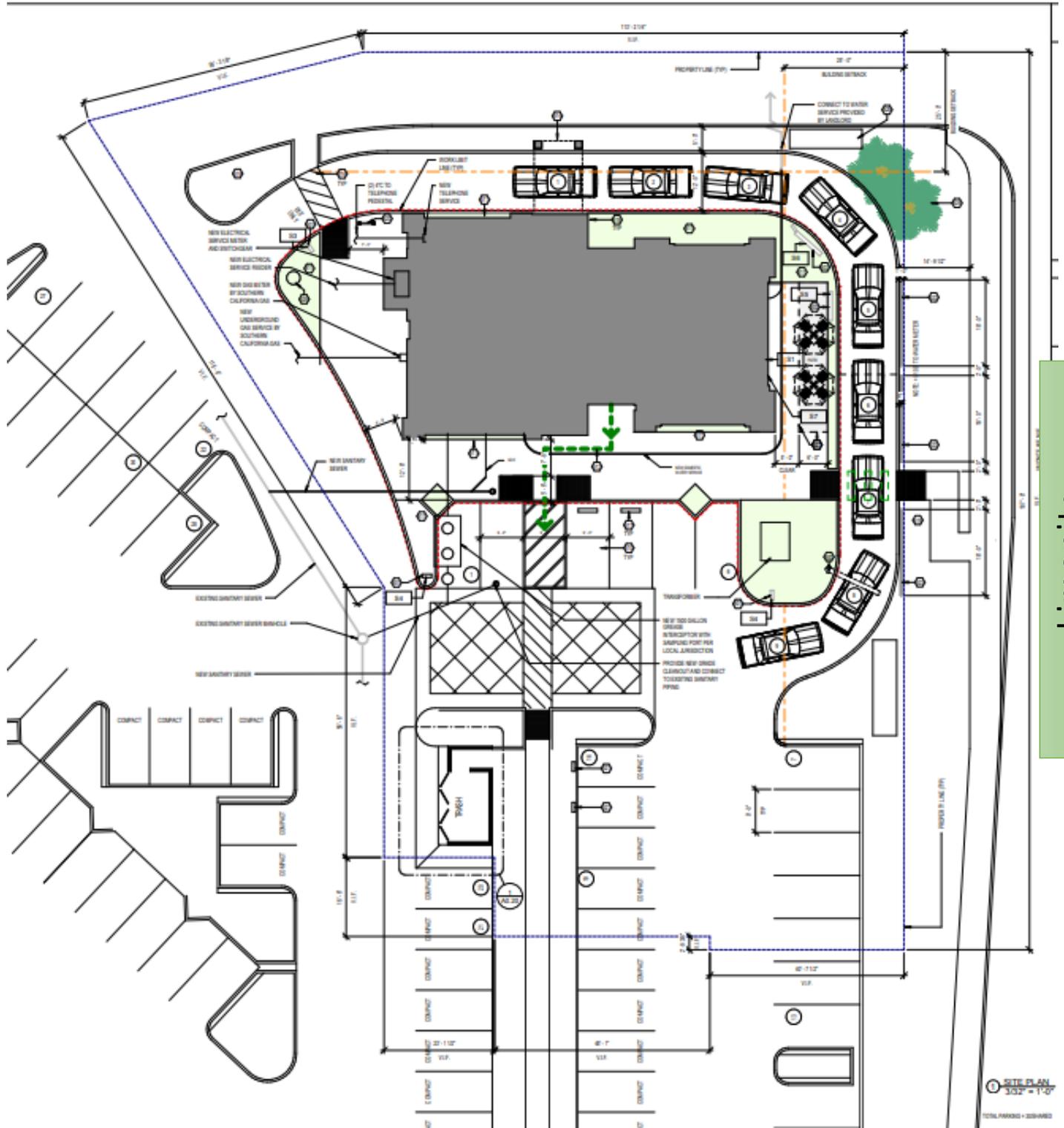
#### *Location*

El Pollo Loco is a restaurant in the Eastvale Marketplace retail center, located at 13340 Limonite Avenue on the northeast corner of Limonite Avenue and Sumner Avenue. The center's location is shown in **Figure 1**, Site Plan in **Figure 2**, and El Pollo Loco in **Figure 3**.

Figure 1: Eastvale Marketplace

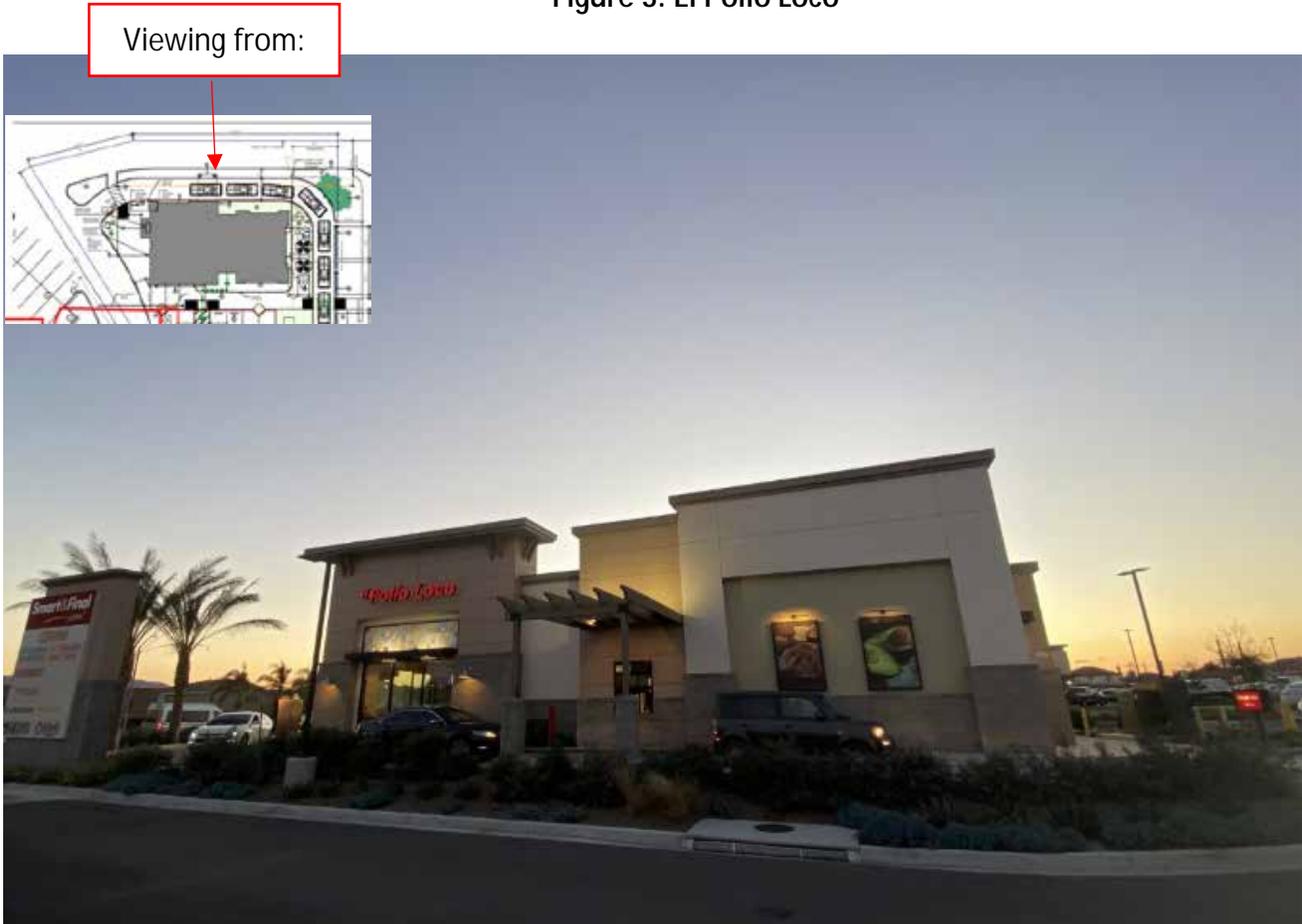


Figure 2: Site Plan



Limonte

Figure 3: El Pollo Loco



*Conditional Use Permit Discussion/Analysis*

As provided in the **Conditions of Approval No. 8**, the main concern voiced by the Planning Commission on February 21, 2018 was potential vehicle stacking in the drive-through lane affecting on-site ingress/egress.

To address potential stacking, the following conditions were included:

- "COA No.7: The operation of the drive-through service shall not result in stacking of vehicles in such a manner that would result in obstruction to any parking access aisle or parking space on a daily basis. If the drive-through operation affects traffic in the parking lot, design alternatives to remedy the issue, such as modifying the parking lot, or other alternatives, shall be presented to the City for review and approval."
- "COA No. 8: One year from the start of operations, the Planning Department will report to the Planning Commission on the drive-through, including any complaints or code enforcement cases, and whether revisions to the drive-through operation are needed."
- "COA No. 9: In the event cars extend beyond the drive-through lane, the applicant shall implement management practices that requires employees at the pick-up window to direct customers with large orders to wait in the reserved parking stalls."

In order to prevent impacts to traffic circulation in the center, customers with large orders or online pick-up orders are directed to park in the reserved drive-through parking as seen in **Figure 4** and **Figure 5** below:

**Figure 4: Location of Reserved Parking Stall**

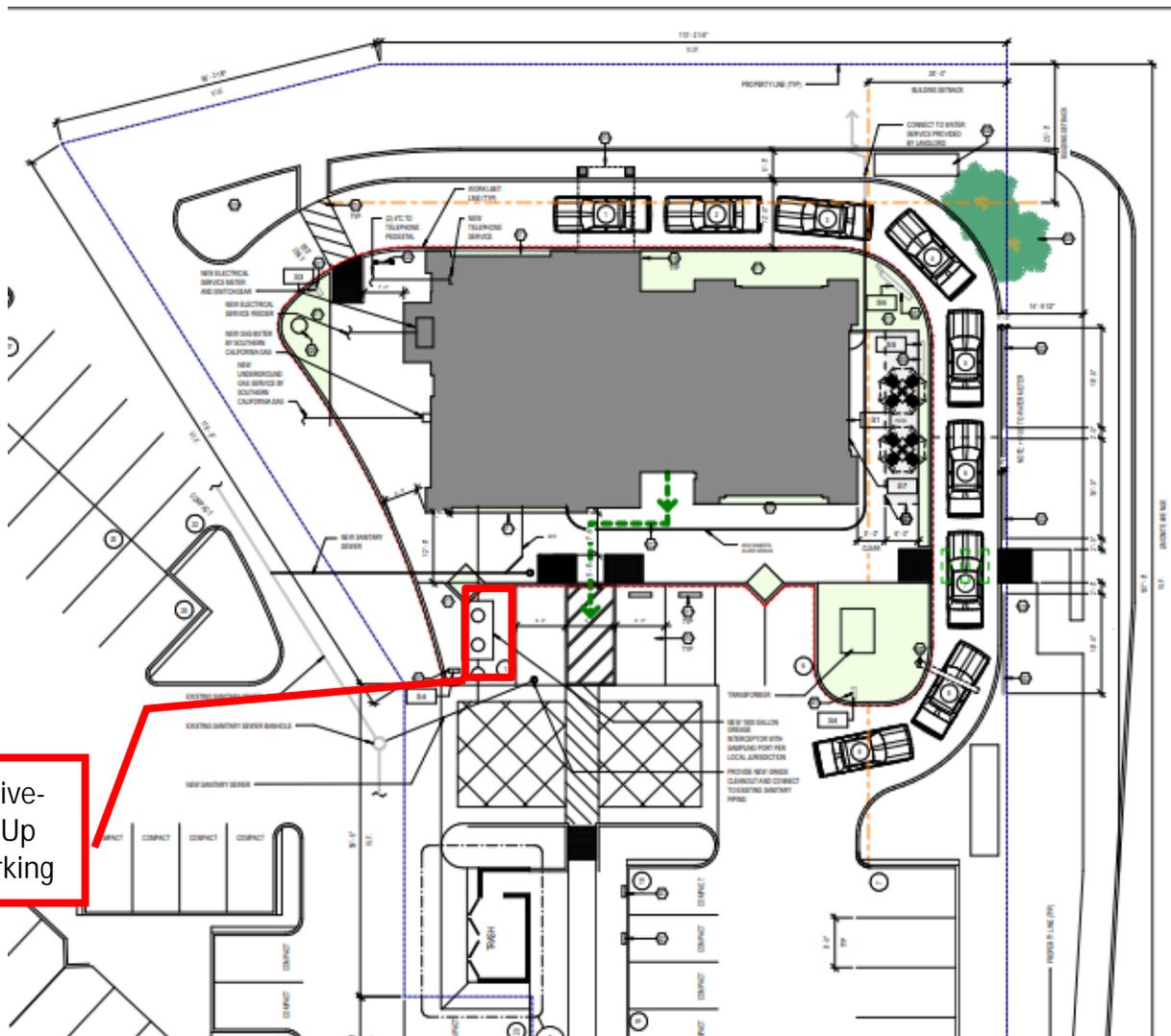


Figure 5: Reserved Parking Stall



The drive-through has been in operation for over one year and staff conducted a review on various days of the week during the lunch and dinner rush of the drive-through operations as required by this condition. Staff can report that:

- Planning has not received any complaints from neighboring businesses or residences about the drive-through.
- Planning confirmed that Code Enforcement has not received any complaints about the drive-through.
- Planning visited the facility and is satisfied that the level of stacking was consistent with what had been approved. Through the various visits, staff viewed that cars did not extend beyond the drive-through during the lunch and dinner rushes. In the event that cars do extend beyond the drive through, the operation understands to use the reserved drive-through parking.
- Planning also observed that the drive-through and landscaping had been well kept and maintained as shown in **Figure 6** and **7** below.

Figure 6: Condition of Drive-Through Entrance



Figure 7: Condition of Drive-Through Exit



### *Recommendation*

Based on staff's investigation and the lack of any complaints, staff does not recommend any changes to the conditions of approval for the drive-through.

The Planning Commission should note that all of the existing conditions of approval remain in place and will be enforced by the City to ensure that the drive-through continues to operate in an acceptable manner.

Unless the Commission requires additional information or disagrees with staff's conclusion, no further action is required.

### **Strategic Plan Action – Priority Level: 1A | Target #: 3 | Goal #: 3**

Create development standards for uniqueness to attract business; explore re-investing or re-inventing shopping centers.

### **Fiscal Impact**

The business will create revenue from food and beverage items that are subject to sales tax.

### **Prior City Council/Commission Action**

- On November 18, 2015, the Planning Commission approved Conditional Use Permit (CUP) PLN15-0958 for the operation of a drive-through facility for Pad 1, which is now the El Pollo Loco at the Eastvale Marketplace retail center.
- On February 21, 2018, the Planning Commission approved a Major Development Review PLN17-20039 for the development of a 2,995 square-foot restaurant (El Pollo Loco) and an Amendment to CUP PLN15-0958 Drive-Through for Pad 1 to require a One-Year Review of the drive-through and for additional conditions relating to the management of the drive-through operation, due to concerns of vehicle stacking by the Planning Commission

### **Attachment(s)**

1. Amended Conditions of Approval for PLN15-0958 Drive-Through Pad 1
2. Approved El Pollo Loco Development Plans

<b>CONDITIONS OF APPROVAL</b>			
<b>Planning Application Number and Description: Project No. 15-0958</b> – Amendment to Conditional Use Permit to allow operation of a drive-through facility for Pad 1 building site located in Eastvale Marketplace retail center.			
<b>Assessor’s Parcel Number:</b> 162-030-019			
<b>Planning Commission Approval Date: November 18, 2015</b>			
<b>Planning Commission Amendment Date:</b>			
Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<b>General Conditions/Requirements</b>			
1.	The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department. Project approval is not final until a signed copy of these conditions is filed with the City.  <hr style="width: 80%; margin-left: 0;"/> <div style="display: flex; justify-content: space-between;"><span>Applicant Signature</span><span>Date</span></div>	Must be completed to finalize approval	Planning Department
2.	The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative, or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively “Actions”), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project,	Ongoing	Planning Department

<b>CONDITIONS OF APPROVAL</b>				
	whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City’s defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.			
3.	The project shall operate in accordance with the Conditional Use Permit application approved by the Planning Commission November 18, 2015 and as amended on October 18, 2017. The applicant may request modifications or revisions to the approved project as outlined in the Eastvale Zoning Code.	Ongoing	Planning Department	
4.	Any approval shall not be final until and unless the applicant’s deposit account to cover the costs of application processing is made current and a positive balance of at least \$5,000 is on hand to cover the costs of staff review and follow-up during the construction process. Make check payable to the <b>City of Eastvale</b> and include <b>Project No. 15-0958</b> on the check.	Ongoing	Planning Department	
5.	Applicant understands and agrees that failure to comply with all Conditions of Approval may result in the Planning Commission taking action resulting in modification of Conditions of Approval and/or suspension or revocation of any conditional use permit.	Ongoing	Code Enforcement and Planning Departments	
<b>Conditional Use Permit</b>				
6.	Operation of the drive-through shall not result in any noise nuisance to the adjacent residential community.	Ongoing	Code Enforcement	

<b>CONDITIONS OF APPROVAL</b>				
7.	The operation of the drive-through service shall not result in stacking of vehicles in such a manner that would result in obstruction to any parking access aisle or parking space on a daily basis. If the drive-through operation affects traffic in the parking lot, design alternatives to remedy the issue, such as modifying the parking lot, or other alternatives, shall be presented to the City for review and approval.	Ongoing	Code Enforcement, Planning, and Public Works Departments	
8.	One year from the start of operations, the Planning Department will report to the Planning Commission on the drive-through, including any complaints or code enforcement cases, and whether revisions to the drive-through operation are needed.	One Year from Start of Operations	Planning Department	
9.	In the event cars extend beyond the drive-through lane, the applicant shall implement management practices, that requires employees at the pick-up window to direct customers with large orders to wait in the reserved parking stalls.	Ongoing	Planning Department	
<b>Prior to Issuance of Building Permit</b>				
10	<p>Prior to the issuance of a building permit, the applicant shall submit a signage plan and security plan to the Eastvale Police Department for review and approval to ensure compliance with the following:</p> <p><b>PROPERTY SIGN</b></p> <p>a. Proper display of “No Trespassing or Loitering” signs prominently around business and any exterior perimeter fencing and adhering to City of Eastvale Municipal Code.</p> <p><b>ADDRESS NUMBERING</b></p> <p>b. Prominently displayed address numbering in appropriate size and in contrasting color from the building façade or on a fixed sign near the street/main entrances. The numbers need to be visible from the street and</p>	Prior to Building Permit	Planning, Public Works, Building, and Police Departments	

<b>CONDITIONS OF APPROVAL</b>				
	interior property sides for any approaching emergency vehicles. No obstructions should limit their visibility (e.g., landscaping). <b>SECURITY PLAN</b> c. Adequate crime prevention measures, including security cameras, shall be installed to assist with identifying any suspect(s) of any potential future vandalism or theft attempts. Due to the high possibility of theft/vandalism attempts during construction, additional security measures should be added during the time frame of the proposed construction. All exterior access points should be properly secured and illuminated to make clearly visible any person on or about the premises during the hours of darkness.			
<b>Prior to Certificate of Occupancy</b>				
11	Prior to the issuance of certificate of occupancy, all signage shall be installed per the approved signage plan.	Prior to Issuance of Certificate of Occupancy	Planning, Public Works, and Building Departments	
12	Prior to the issuance of a certificate of occupancy, all required landscape planting and irrigation shall have been installed consistent with the approved construction plans and shall be in a condition acceptable to the Planning Director. The plants shall be healthy and free of weeds, disease, or pests. The irrigation system shall be properly constructed and in good working order. The applicant shall contact the Planning Department to schedule the final inspection(s).	Prior to Issuance of Certificate of Occupancy	Planning Department	

<b>Fire Department Conditions of Approval</b>	
1.	Provide or show that a water system exists that is capable of delivering the required fire flow of 2,375 gallons per minute at 20 psi for 4 hours duration. On-site water supply must be available before any combustible material is placed on the construction site.

**Fire Department Conditions of Approval**

2. Approved accessible on-site fire hydrants shall be located not to exceed 225 feet apart in any direction. Any portion of the facility or of an exterior wall of the first story of the building shall not be located more than 150 feet from fire apparatus access as measured by an approved route around the complex, exterior of the facility, or building. No portion of a building shall be further than 400 feet from a fire hydrant.
3. “Blue dot” hydrant locators shall be provided in accordance with Riverside County Fire Standard 06-11.
4. Prior to building plan approval and construction, applicant/developer shall furnish two copies of the water system fire hydrant plans to the Fire Department for review and approval. Plans shall be signed by a registered civil engineer, and shall confirm hydrant type, location, spacing, and minimum fire flow. Once plans are signed and approved by the local water authority, the originals shall be presented to the Fire Department for review and approval.
5. Fire apparatus access roads, minimum 30 feet wide for the grocery store and 24 feet wide for others, shall be in compliance with the Riverside County Fire Department Standard 06-05. Access roads shall have an unobstructed vertical clearance not less than 13 feet and 6 inches. Access lanes will be designed to withstand the weight of 60,000 thousand pounds over 2 axles. Access lanes will have a turning radius capable of accommodating fire apparatus. Access lanes shall be constructed with a surface so as to provide all weather driving capabilities.
6. Where fire apparatus access roads are utilized for loading or unloading, an additional 8 feet of width shall be added to the fire apparatus access road (see loading areas near grocery and Pad 1). This width is in addition to the minimum required access road width.
7. Driveway loops, fire apparatus access lanes, and entrance curb radii should be designed to adequately allow access of emergency fire vehicles. The applicant or developer shall include in the building plans the required fire lanes and include the appropriate lane printing and/or signs.
8. Install commercial fire sprinkler systems (per NFPA 13, 2013 edition). Fire sprinkler systems with pipe sizes in excess of 4 inches in diameter will require the project structural engineer to certify with a “wet signature” that the structural system is designed to support the seismic and gravity loads to support the additional weight of the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The PIVs and FDCs shall be located to the front, within 50 feet of an approved roadway or driveway, and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects including buildings, fences, posts, or plantings. FDCs shall be within 200 feet of an approved hydrant and shall not be allowed in the rear of any building.

**Fire Department Conditions of Approval**

9. Install a fire sprinkler alarm monitoring systems. A C-10 licensed contractor must submit plans along with the current permit fees to the City of Eastvale for review and approval prior to installation.
10. Install a fire alarm system for the grocery store, designed in accordance with 907.2 of the California Fire Code.
11. If the grocery store machinery room uses refrigerant, it shall have a detector with audible and visual alarms that comply with NFPA 72, 2013 edition. The detector, or a sampling tube that draws air into the detector, shall be located in an area where a refrigerant leak may be expected to concentrate.
12. Air handling systems supplying air in excess of 2,000 cubic feet per minute to enclosed spaces within buildings shall be equipped with an automatic shut-off.
13. An approved Fire Department access key lock box (minimum Knox 3200 series) shall be installed at the main entrance to each building. Shall be monitored for tampering and tied into the alarm system. Order forms and installation standards may be obtained at the Fire Department. Building plans shall include mounting location/position and operating standards for Fire Department approval.
14. The location of address numbers shall be indicated on the building plans. Street numbers shall be displayed in a prominent location on the street or fire apparatus access side of buildings. Numbers and letters for the grocery store shall be a minimum of 24 inches in height; for other buildings, shall be 12 inches in height; both with a minimum stroke of .05 inch. Suite numbers or letters shall be a minimum 6 inches in height. Addresses must be legible, of a contrasting color, and adequately illuminated so as to be visible from the street at all hours.
15. Install portable fire extinguishers, with a minimum rating of 2A-10BC, for every 3,000 square feet and/or 75 feet of travel distance. Where not readily visible, signs shall be posted above all extinguishers to indicate their locations. Extinguishers must have current CSFM service tags affixed.
16. No hazardous materials shall be stored and/or used in the building which exceeds quantities listed in the California Fire Code. No Class I, II, or IIIA combustible/flammable liquid shall be used in any amount in the building.
17. Exit signs, door hardware, markers, and exit path marking shall be per the 2013 California Building Code.
18. Fire sprinkler riser doors shall be posted "FIRE RISER" on the outside of the doors.
19. Electrical room doors shall be posted "ELECTRICAL ROOM" on the outside of the doors.
20. Fire alarm control panel doors shall be posted "FACP" on the outside of the doors.

**Fire Department Conditions of Approval**

- 21. Roof access doors shall be posted “ROOF ACCESS” on the outside of the doors.
- 22. A survey and report by a licensed fire protection engineer may be required for the grocery store prior to building permit issuance.
- 23. Provide specific Fire Department conditions on plans for building permit submittal.

**General Compliance Items/Requirements and Information**

The following items are noted for the applicant’s information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for Eastvale and many other agencies, including but not limited to the Jurupa Community Services District, Riverside County Flood Control District, and state and federal agencies.

Developer and applicant are used interchangeably below.

- 1. In compliance with Section 15075 of the CEQA Guidelines, a Notice of Determination (NOD) must be filed with the Riverside County Clerk within five (5) County working days of project approval in order for the NOD to commence the 30-day statute of limitations on the environmental document. The City must include the required California Department of Fish and Wildlife (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to “Riverside County Clerk” in the amount of **\$2,260.00 within one (1) City working day after project approval**. Failure to pay the required fees will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c)). The fee is broken down as follows:
  - a. Riverside County Clerk administrative fee of \$50.00.
  - b. California Department of Fish and Wildlife fee of \$2,210.00.
- 2. Prior to the issuance of a grading permit, the developer shall pay all necessary fees as determined by the City engineer to include but not be limited to Multiple Species Habitat Conservation Plan (MSHCP) fees and grading permit fees.
- 3. Transportation Uniform Mitigation Fees (TUMF) and any development impact fees that are in effect at that time shall be paid prior to the issuance of a certificate of occupancy, or as otherwise allowed per ordinance.
- 4. The applicant shall design and construct all improvements in accordance with City of Eastvale Road Improvement Standards and Specifications, Improvement Plan Check Policies and Guidelines, as further conditioned herein and to the satisfaction of the City engineer.

5. Prior to the issuance of a certificate of occupancy, the development shall be annexed into all applicable community service areas and landscaping maintenance districts for lighting, drainage, and maintenance to the satisfaction of the City engineer or otherwise form a district where one is not currently in place.
6. The applicant shall comply with all provisions and procedures of the Eastvale Building Department related to the plan check review process. (Please contact the Building Department at (951) 703-4450.)
7. No obstruction shall be placed which would conflict with any existing easement except with the documented approval of the easement holder(s).
8. The developer shall make best efforts to obtain written permission from the affected property owners allowing the proposed grading and/or facilities to be installed outside of the project boundaries.
9. Project runoff shall be directed to a safe point of discharge. Any additional easement that may be necessary to accomplish such shall be obtained prior to issuance of grading permit. The applicant shall submit a Final Water Quality Management Plan (WQMP) in conformance with the requirements of the Santa Ana Regional Water Quality Control Board. All stormwater quality treatment devices shall be located outside of the ultimate public right-of-way. The applicant shall design the stormwater quality treatment devices to accommodate all project runoff, ensuring that post-construction flow rate, volumes, velocity, and duration do not exceed preconstruction levels, in accordance with City of Eastvale's Hydrology Manual, Stormwater Quality Best Management Practice Design Handbook, Improvement Standards, and to the satisfaction of the City engineer. These best management practices shall be consistent with the Final WQMP and installed to the satisfaction of the City engineer.
10. All connections to flood control facilities shall be reviewed and permitted by the Riverside County Flood Control and Water Conservation District and shall be submitted through the City of Eastvale, unless otherwise directed by the City engineer.
11. The developer shall prepare and submit to the City for review and approval all required development plans including but not limited to grading (rough and/or precise), street improvement, on-site lighting, and storm drain. All applicable processing and review fees and/or deposits shall be submitted with the first plan submittal.
12. Should this project lie within any assessment/benefit district, the project proponent shall, prior to acceptance of improvements, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district unless said fees are otherwise deferred.
13. All grading shall conform to the California Building Code and to all other relevant laws, rules, and regulations governing grading in Eastvale. Prior to commencing any grading which includes 50 or more cubic yards, the developer shall obtain a grading permit from the Public Works Department.
14. All necessary measures to control dust shall be implemented by the applicant during grading to the satisfaction of the City engineer.

15. Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved by the City engineer.
16. Grading in excess of 199 cubic yards will require performance security to be posted with the City.
17. Erosion control-landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded. Planting shall occur within 30 days of meeting final grades to minimize erosion and to ensure slope coverage prior to the rainy season. The developer shall plant and irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the City engineer.

<b>CONDITIONS OF APPROVAL</b>			
<b>Planning Application Number and Description: Project No. 15-0958</b> – Amendment to Conditional Use Permit to allow operation of a drive-through facility for Pad 1 building site located in Eastvale Marketplace retail center.			
<b>Assessor’s Parcel Number:</b> 162-030-019			
<b>Planning Commission Approval Date: November 18, 2015</b>			
<b>Planning Commission Amendment Date:</b>			
Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<b>General Conditions/Requirements</b>			
1. The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department. Project approval is not final until a signed copy of these conditions is filed with the City.  <hr style="width: 80%; margin-left: 0;"/> <div style="display: flex; justify-content: space-between;"> <span>Applicant Signature</span> <span>Date</span> </div>	Must be completed to finalize approval	Planning Department	
2. The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative, or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively “Actions”), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project,	Ongoing	Planning Department	

<b>CONDITIONS OF APPROVAL</b>				
	whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City’s defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.			
3.	The project shall operate in accordance with the Conditional Use Permit application approved by the Planning Commission November 18, 2015 and as amended on October 18, 2017. The applicant may request modifications or revisions to the approved project as outlined in the Eastvale Zoning Code.	Ongoing	Planning Department	
4.	Any approval shall not be final until and unless the applicant’s deposit account to cover the costs of application processing is made current and a positive balance of at least \$5,000 is on hand to cover the costs of staff review and follow-up during the construction process. Make check payable to the <b>City of Eastvale</b> and include <b>Project No. 15-0958</b> on the check.	Ongoing	Planning Department	
5.	Applicant understands and agrees that failure to comply with all Conditions of Approval may result in the Planning Commission taking action resulting in modification of Conditions of Approval and/or suspension or revocation of any conditional use permit.	Ongoing	Code Enforcement and Planning Departments	
<b>Conditional Use Permit</b>				
6.	Operation of the drive-through shall not result in any noise nuisance to the adjacent residential community.	Ongoing	Code Enforcement	

<b>CONDITIONS OF APPROVAL</b>				
7.	The operation of the drive-through service shall not result in stacking of vehicles in such a manner that would result in obstruction to any parking access aisle or parking space on a daily basis. If the drive-through operation affects traffic in the parking lot, design alternatives to remedy the issue, such as modifying the parking lot, or other alternatives, shall be presented to the City for review and approval.	Ongoing	Code Enforcement, Planning, and Public Works Departments	
8.	One year from the start of operations, the Planning Department will report to the Planning Commission on the drive-through, including any complaints or code enforcement cases, and whether revisions to the drive-through operation are needed.	One Year from Start of Operations	Planning Department	
9.	In the event cars extend beyond the drive-through lane, the applicant shall implement management practices, that requires employees at the pick-up window to direct customers with large orders to wait in the reserved parking stalls.	Ongoing	Planning Department	
<b>Prior to Issuance of Building Permit</b>				
10	Prior to the issuance of a building permit, the applicant shall submit a signage plan and security plan to the Eastvale Police Department for review and approval to ensure compliance with the following: <b>PROPERTY SIGN</b> a. Proper display of “No Trespassing or Loitering” signs prominently around business and any exterior perimeter fencing and adhering to City of Eastvale Municipal Code. <b>ADDRESS NUMBERING</b> b. Prominently displayed address numbering in appropriate size and in contrasting color from the building façade or on a fixed sign near the street/main entrances. The numbers need to be visible from the street and	Prior to Building Permit	Planning, Public Works, Building, and Police Departments	

<b>CONDITIONS OF APPROVAL</b>				
	interior property sides for any approaching emergency vehicles. No obstructions should limit their visibility (e.g., landscaping). <b>SECURITY PLAN</b> c. Adequate crime prevention measures, including security cameras, shall be installed to assist with identifying any suspect(s) of any potential future vandalism or theft attempts. Due to the high possibility of theft/vandalism attempts during construction, additional security measures should be added during the time frame of the proposed construction. All exterior access points should be properly secured and illuminated to make clearly visible any person on or about the premises during the hours of darkness.			
<b>Prior to Certificate of Occupancy</b>				
11	Prior to the issuance of certificate of occupancy, all signage shall be installed per the approved signage plan.	Prior to Issuance of Certificate of Occupancy	Planning, Public Works, and Building Departments	
12	Prior to the issuance of a certificate of occupancy, all required landscape planting and irrigation shall have been installed consistent with the approved construction plans and shall be in a condition acceptable to the Planning Director. The plants shall be healthy and free of weeds, disease, or pests. The irrigation system shall be properly constructed and in good working order. The applicant shall contact the Planning Department to schedule the final inspection(s).	Prior to Issuance of Certificate of Occupancy	Planning Department	

<b>Fire Department Conditions of Approval</b>	
1.	Provide or show that a water system exists that is capable of delivering the required fire flow of 2,375 gallons per minute at 20 psi for 4 hours duration. On-site water supply must be available before any combustible material is placed on the construction site.

**Fire Department Conditions of Approval**

2. Approved accessible on-site fire hydrants shall be located not to exceed 225 feet apart in any direction. Any portion of the facility or of an exterior wall of the first story of the building shall not be located more than 150 feet from fire apparatus access as measured by an approved route around the complex, exterior of the facility, or building. No portion of a building shall be further than 400 feet from a fire hydrant.
3. “Blue dot” hydrant locators shall be provided in accordance with Riverside County Fire Standard 06-11.
4. Prior to building plan approval and construction, applicant/developer shall furnish two copies of the water system fire hydrant plans to the Fire Department for review and approval. Plans shall be signed by a registered civil engineer, and shall confirm hydrant type, location, spacing, and minimum fire flow. Once plans are signed and approved by the local water authority, the originals shall be presented to the Fire Department for review and approval.
5. Fire apparatus access roads, minimum 30 feet wide for the grocery store and 24 feet wide for others, shall be in compliance with the Riverside County Fire Department Standard 06-05. Access roads shall have an unobstructed vertical clearance not less than 13 feet and 6 inches. Access lanes will be designed to withstand the weight of 60,000 thousand pounds over 2 axles. Access lanes will have a turning radius capable of accommodating fire apparatus. Access lanes shall be constructed with a surface so as to provide all weather driving capabilities.
6. Where fire apparatus access roads are utilized for loading or unloading, an additional 8 feet of width shall be added to the fire apparatus access road (see loading areas near grocery and Pad 1). This width is in addition to the minimum required access road width.
7. Driveway loops, fire apparatus access lanes, and entrance curb radii should be designed to adequately allow access of emergency fire vehicles. The applicant or developer shall include in the building plans the required fire lanes and include the appropriate lane printing and/or signs.
8. Install commercial fire sprinkler systems (per NFPA 13, 2013 edition). Fire sprinkler systems with pipe sizes in excess of 4 inches in diameter will require the project structural engineer to certify with a “wet signature” that the structural system is designed to support the seismic and gravity loads to support the additional weight of the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The PIVs and FDCs shall be located to the front, within 50 feet of an approved roadway or driveway, and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects including buildings, fences, posts, or plantings. FDCs shall be within 200 feet of an approved hydrant and shall not be allowed in the rear of any building.

**Fire Department Conditions of Approval**

9. Install a fire sprinkler alarm monitoring systems. A C-10 licensed contractor must submit plans along with the current permit fees to the City of Eastvale for review and approval prior to installation.
10. Install a fire alarm system for the grocery store, designed in accordance with 907.2 of the California Fire Code.
11. If the grocery store machinery room uses refrigerant, it shall have a detector with audible and visual alarms that comply with NFPA 72, 2013 edition. The detector, or a sampling tube that draws air into the detector, shall be located in an area where a refrigerant leak may be expected to concentrate.
12. Air handling systems supplying air in excess of 2,000 cubic feet per minute to enclosed spaces within buildings shall be equipped with an automatic shut-off.
13. An approved Fire Department access key lock box (minimum Knox 3200 series) shall be installed at the main entrance to each building. Shall be monitored for tampering and tied into the alarm system. Order forms and installation standards may be obtained at the Fire Department. Building plans shall include mounting location/position and operating standards for Fire Department approval.
14. The location of address numbers shall be indicated on the building plans. Street numbers shall be displayed in a prominent location on the street or fire apparatus access side of buildings. Numbers and letters for the grocery store shall be a minimum of 24 inches in height; for other buildings, shall be 12 inches in height; both with a minimum stroke of .05 inch. Suite numbers or letters shall be a minimum 6 inches in height. Addresses must be legible, of a contrasting color, and adequately illuminated so as to be visible from the street at all hours.
15. Install portable fire extinguishers, with a minimum rating of 2A-10BC, for every 3,000 square feet and/or 75 feet of travel distance. Where not readily visible, signs shall be posted above all extinguishers to indicate their locations. Extinguishers must have current CSFM service tags affixed.
16. No hazardous materials shall be stored and/or used in the building which exceeds quantities listed in the California Fire Code. No Class I, II, or IIIA combustible/flammable liquid shall be used in any amount in the building.
17. Exit signs, door hardware, markers, and exit path marking shall be per the 2013 California Building Code.
18. Fire sprinkler riser doors shall be posted "FIRE RISER" on the outside of the doors.
19. Electrical room doors shall be posted "ELECTRICAL ROOM" on the outside of the doors.
20. Fire alarm control panel doors shall be posted "FACP" on the outside of the doors.

**Fire Department Conditions of Approval**

- 21. Roof access doors shall be posted “ROOF ACCESS” on the outside of the doors.
- 22. A survey and report by a licensed fire protection engineer may be required for the grocery store prior to building permit issuance.
- 23. Provide specific Fire Department conditions on plans for building permit submittal.

**General Compliance Items/Requirements and Information**

The following items are noted for the applicant’s information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for Eastvale and many other agencies, including but not limited to the Jurupa Community Services District, Riverside County Flood Control District, and state and federal agencies.

Developer and applicant are used interchangeably below.

- 1. In compliance with Section 15075 of the CEQA Guidelines, a Notice of Determination (NOD) must be filed with the Riverside County Clerk within five (5) County working days of project approval in order for the NOD to commence the 30-day statute of limitations on the environmental document. The City must include the required California Department of Fish and Wildlife (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to “Riverside County Clerk” in the amount of **\$2,260.00 within one (1) City working day after project approval**. Failure to pay the required fees will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c)). The fee is broken down as follows:
  - a. Riverside County Clerk administrative fee of \$50.00.
  - b. California Department of Fish and Wildlife fee of \$2,210.00.
- 2. Prior to the issuance of a grading permit, the developer shall pay all necessary fees as determined by the City engineer to include but not be limited to Multiple Species Habitat Conservation Plan (MSHCP) fees and grading permit fees.
- 3. Transportation Uniform Mitigation Fees (TUMF) and any development impact fees that are in effect at that time shall be paid prior to the issuance of a certificate of occupancy, or as otherwise allowed per ordinance.
- 4. The applicant shall design and construct all improvements in accordance with City of Eastvale Road Improvement Standards and Specifications, Improvement Plan Check Policies and Guidelines, as further conditioned herein and to the satisfaction of the City engineer.

5. Prior to the issuance of a certificate of occupancy, the development shall be annexed into all applicable community service areas and landscaping maintenance districts for lighting, drainage, and maintenance to the satisfaction of the City engineer or otherwise form a district where one is not currently in place.
6. The applicant shall comply with all provisions and procedures of the Eastvale Building Department related to the plan check review process. (Please contact the Building Department at (951) 703-4450.)
7. No obstruction shall be placed which would conflict with any existing easement except with the documented approval of the easement holder(s).
8. The developer shall make best efforts to obtain written permission from the affected property owners allowing the proposed grading and/or facilities to be installed outside of the project boundaries.
9. Project runoff shall be directed to a safe point of discharge. Any additional easement that may be necessary to accomplish such shall be obtained prior to issuance of grading permit. The applicant shall submit a Final Water Quality Management Plan (WQMP) in conformance with the requirements of the Santa Ana Regional Water Quality Control Board. All stormwater quality treatment devices shall be located outside of the ultimate public right-of-way. The applicant shall design the stormwater quality treatment devices to accommodate all project runoff, ensuring that post-construction flow rate, volumes, velocity, and duration do not exceed preconstruction levels, in accordance with City of Eastvale's Hydrology Manual, Stormwater Quality Best Management Practice Design Handbook, Improvement Standards, and to the satisfaction of the City engineer. These best management practices shall be consistent with the Final WQMP and installed to the satisfaction of the City engineer.
10. All connections to flood control facilities shall be reviewed and permitted by the Riverside County Flood Control and Water Conservation District and shall be submitted through the City of Eastvale, unless otherwise directed by the City engineer.
11. The developer shall prepare and submit to the City for review and approval all required development plans including but not limited to grading (rough and/or precise), street improvement, on-site lighting, and storm drain. All applicable processing and review fees and/or deposits shall be submitted with the first plan submittal.
12. Should this project lie within any assessment/benefit district, the project proponent shall, prior to acceptance of improvements, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district unless said fees are otherwise deferred.
13. All grading shall conform to the California Building Code and to all other relevant laws, rules, and regulations governing grading in Eastvale. Prior to commencing any grading which includes 50 or more cubic yards, the developer shall obtain a grading permit from the Public Works Department.
14. All necessary measures to control dust shall be implemented by the applicant during grading to the satisfaction of the City engineer.

15. Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved by the City engineer.
16. Grading in excess of 199 cubic yards will require performance security to be posted with the City.
17. Erosion control-landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded. Planting shall occur within 30 days of meeting final grades to minimize erosion and to ensure slope coverage prior to the rainy season. The developer shall plant and irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the City engineer.



## AGENDA STAFF REPORT

Planning Commission Meeting

Commission Business

Agenda Item No. 9.2

March 18, 2020

## Tract 30817 Lots 272 & 273 - Dedication of Right-of-Way

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**Prepared By:** Gina Gibson-Williams, Community Development Director

### Recommended Action(s)

1. Make a determination for General Plan consistency for acceptance of Open Space Lot 272 and the acceptance of Open Space Lot 273.
2. Review and provide comments related to the acquisition of Open Space Lot 272 and the acquisition of Open Space Lot 273.

### Summary

On May 27, 2004 (prior to City incorporation), Tract Map 30817 was recorded by owners Pulte Home Corporation and North Corona 417, LLC. This subdivision, located on the northwest corner of Citrus and Hamner, created Lots 1-273. Open Space Lot 272 (APN 152-430-050), and Open Space Lot 273 (APN 152-420-024 & 152-420-025) have not been dedicated to the County at this time. Pulte Home Company LLC, formerly Pulte Home Corporation and North Corona 417 LLC, are now dedicating Open Space Lot 272 and Open Space Lot 273 to the City of Eastvale for Right-of-Way and Utility Purposes.

### Background

Real Estate Developers can dedicate Open Space Lots to a respective city/county for right-of-way and utility purposes. In this particular case, the dedication has not occurred and the owners are proposing the dedication at this time.

There were several developments in the County prior to this development that dedicated similar lots of land for landscape improvements.

It is recommended that the acquisition of Open Space Lot 272 and the acquisition of Open Space Lot 273 be deemed consistent with the General Plan.

### **Strategic Plan Action – Priority Level: 1A | Target #: 3 | Goal #: 3**

Create value-added development.

### **Fiscal Impact**

The proposed Right-of-Way Dedication will not have any increased impact on the City's General Fund. Open Space Lots 272 and 273 have been maintained by Jurupa Community Services District (JCSD) since TR 30817 was completed and costs for landscape maintenance were accounted for through the tax assessment for Community Facilities District 12. JCSD will continue to maintain Open Space Lots 272 and 273 through Community Facilities District 12.

### **Prior City Council/Commission Action**

On May 27, 2004 (prior to City incorporation), Tract Map 30817 was recorded by owners Pulte Home Corporation and North Corona 417, LLC. This subdivision, located on the northwest corner of Citrus Street and Hamner Avenue created Lots 1-273. Open Space Lot 272 (152-430-050), and Open Space Lot 273 (APN 152-420-024 & 152-420-025) were not dedicated to the County at the time or to the City to date.

### **Attachment(s)**

1. Legal and Plat Showing Dedication of Open Space Lot 272 (APN 152-430-050)
2. Legal and Plat Showing Dedication of Open Space Lot 273 (APN 152-420-024 and 152-420-025)
3. Tract Map 30817

**Attachment 1**

**EXHIBIT "A"**

**LEGAL DESCRIPTION**

OPEN SPACE LOT 272 OF TRACT No. 30817, IN THE CITY OF EASTVALE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 357, PAGES 35 THROUGH 43, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AS SHOWN ON EXHIBIT B ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.



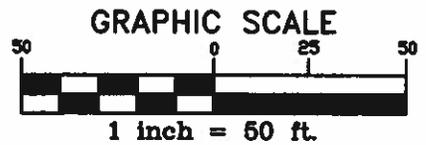
*Miguel*

1/31/20

**EXHIBIT 'B' - PLAT MAP**

SHEET 2 OF 3

Assessor's Parcel Numbers:  
152-430-050  
Sec. 36, T.2S., R.7W., S.B.B.M.  
Date Prepared: 06/29/18



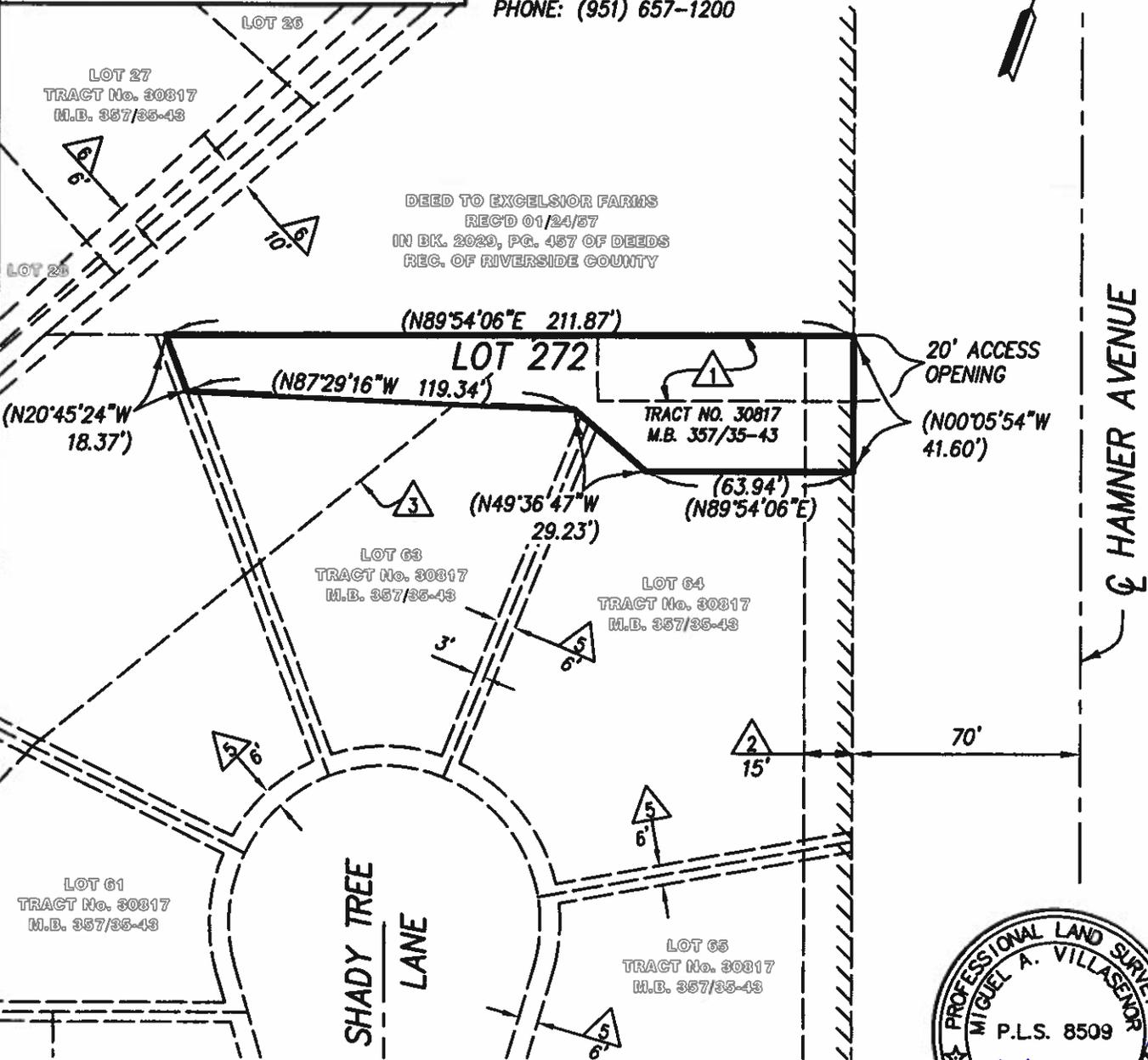
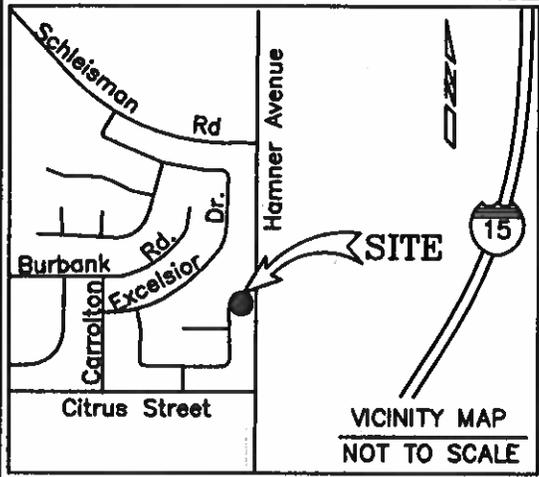
**SURVEYOR'S NOTES:**

( ) INDICATES RECORD DATA  
PER TRACT NO. 30817  
M.B. 357/35-43.

////// INDICATES RESTRICTED ACCESS

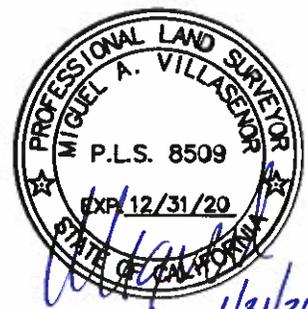
**EXHIBIT PREPARED BY:**

INLAND VALLEY SURVEYING, INC.  
PERRIS, CA. 92571  
PHONE: (951) 657-1200



**EASEMENT NOTES:**

SEE SHEET NO. 3



**EASEMENT NOTES:**

- 1 AN EASEMENT FOR DRAINAGE PURPOSES, PER M.B. 357/35-43. (PLOTTED HEREON)
- 2 AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES, RECORDED APRIL 7, 1971 AS INSTRUMENT No. 35543 OF OFFICIAL RECORDS. A QUITCLAIM OF EASEMENT RECORDED OCTOBER 12, 2004 AS INSTRUMENT No. 806630 OF OFFICIAL RECORDS. (PLOTTED HEREON)
- 3 AN EASEMENT FOR FLOWAGE AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 21, 2000 AS INSTRUMENT No. 2000-465449 OF OFFICIAL RECORDS. (PLOTTED HEREON)
4. AN EASEMENT FOR PEDESTRIAN AND VEHICULAR ACCESS AND INCIDENTAL PURPOSES, RECORDED DECEMBER 3, 2003 AS INSTRUMENT 2003-948145 OF OFFICIAL RECORDS. (BLANKET IN NATURE OVER STREETS AND OPEN SPACE AND/OR PUBLIC AREAS)
- 5 AN EASEMENT FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATIONS SYSTEMS, DISTRIBUTING ELECTRICAL ENERGY AND FOR TRANSMITTING INTELLIGENCE BY ELECTRICAL MEANS AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 17, 2004 AS INSTRUMENT No. 2004-0920076 AND 2004-092007B OF OFFICIAL RECORDS. (PLOTTED HEREON)
- 6 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 7, 1957 IN BOOK 2051, PAGE 413 OF OFFICIAL RECORDS. (PLOTTED HEREON)

## Attachment 2

### EXHIBIT "A"

#### LEGAL DESCRIPTION

OPEN SPACE LOT 273 OF TRACT No. 30817, IN THE CITY OF EASTVALE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 357, PAGES 35 THROUGH 43, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AS SHOWN ON EXHIBIT B ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF.



*Miguel A. Villaseñor*

1/31/20



**EASEMENT NOTES:**

1. AN EASEMENT FOR PEDESTRIAN AND VEHICULAR ACCESS AND INCIDENTAL PURPOSES, RECORDED DECEMBER 3, 2003 AS INSTRUMENT 2003-948145 OF OFFICIAL RECORDS. (BLANKET IN NATURE OVER STREETS AND OPEN SPACE AND/OR PUBLIC AREAS)
2. AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 7, 1957 IN BOOK 2051, PAGE 413 OF OFFICIAL RECORDS. (PLOTTED HEREON)

# Attachment 3

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY,  
STATE OF CALIFORNIA

SHEET 1 OF 9 SHEETS

## TRACT NO. 30817

BEING A SUBDIVISION OF A PORTION OF LOTS 77 AND 78 OF THE KINGSTON TRACT, AS SHOWN BY MAP ON FILE IN BOOK 12 PAGE 6 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, TOGETHER WITH A PORTION OF LOT "P" OF FULLER RANCHO, CENTRAL AND EASTERLY SECTION, AS SHOWN BY MAP ON FILE IN BOOK 16 PAGES 94 TO 97, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, BEING PARCEL 4 AND A PORTION OF PARCELS 2 AND 3 OF LOT LINE ADJUSTMENT NO. 4577, RECORDED OCTOBER 9, 2003 AS INST. NO. 799209, O.R., LYING IN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 7 WEST, AS SHOWN BY SECTIONALIZED SURVEY OF JURUPA RANCHO, RECORDED IN BOOK 9, PAGE 33 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

### RECORDERS STATEMENT

FILED THIS 27<sup>TH</sup> DAY OF MAY  
2004 AT 8:00 A.M. IN BOOK 357 OF  
MAPS AT PAGES 35-43 AT THE REQUEST  
OF THE CLERK OF THE BOARD.  
FEE \$ 23.00  
NUMBER 2004-0403236

GARY L. ORSO  
COUNTY ASSESSOR - CLERK-RECORDER

BY: James D. Burrows  
Deputy

SUBDIVISION GUARANTEE:  
FIRST AMERICAN TITLE COMPANY

### OWNER'S STATEMENT

ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003

WE HEREBY STATE THAT WE ARE THE OWNERS OF THE LAND INCLUDED WITHIN THE SUBDIVISION SHOWN HEREON; THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO SAID LAND; THAT WE CONSENT TO THE MAKING AND RECORDING OF THIS SUBDIVISION MAP AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE. WE HEREBY DEDICATE TO PUBLIC USE FOR STREET AND PUBLIC UTILITY PURPOSES, LOTS "A" THROUGH "V" INCLUSIVE, AS A CONDITION OF DEDICATION OF LOT "A" (HAMNER AVENUE), LOT "B" (CITRUS STREET) AND LOT "V" (CLEVELAND AVENUE) THE OWNERS OF LOTS 15, 72 THROUGH 82, INCLUSIVE, 95, 96, 226 THROUGH 231, INCLUSIVE, AND 273 ABUTTING THESE HIGHWAYS AND DURING SUCH TIME WILL HAVE NO RIGHTS OF ACCESS EXCEPT THE GENERAL EASEMENT OF TRAVEL. ALSO EXCEPTING THE TWENTY FOOT OPENING IN LOT 273, AS SHOWN HEREON. ANY CHANGE OF ALIGNMENT OR WIDTH THAT RESULTS IN THE VACATION THEREOF SHALL TERMINATE THIS CONDITION OF ACCESS RIGHTS AS TO THE PART VACATED.

WE HEREBY DEDICATE TO PUBLIC USE THE DRAINAGE EASEMENT, AS SHOWN HEREON, FOR CONSTRUCTION AND MAINTENANCE OF DRAINAGE FACILITIES.

WE HEREBY DEDICATE TO PUBLIC USE THE TURN AROUND EASEMENT, AS SHOWN HEREON, FOR FIRE DEPARTMENT PURPOSES.

NORTH CORONA 417, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

North Corona 417, LLC

PULTE HOME CORPORATION, MICHIGAN CORPORATION

James B. Bernas

### TRUSTEE

AMERICAN SECURITIES COMPANY, A CALIFORNIA CORPORATION, TRUSTEE UNDER DEED OF TRUST RECORDED OCTOBER 10, 2003 AS INSTRUMENT NO. 2003-800676, O.R.

431241

### NOTARY ACKNOWLEDGEMENT

STATE OF CALIFORNIA )  
COUNTY OF Riverside )

ON THIS 23<sup>rd</sup> DAY OF March, 2004, BEFORE ME Kristi L. Blanchard A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED Patrick J. Van Doek (PERSONALLY KNOWN TO ME AND/OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON(S) WHOSE NAME(S) (IS/ARE) SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT (HE/SHE/THEY) EXECUTED THE SAME IN (HIS/HER/THEIR) AUTHORIZED CAPACITY, AND THAT BY (HIS/HER/THEIR) SIGNATURE ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY (IES) UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE Kristi L. Blanchard  
NOTARY PUBLIC IN AND FOR SAID STATE

NAME Kristi L. Blanchard

MY COMMISSION EXPIRES Feb. 4, 2007

### NOTARY ACKNOWLEDGEMENT

STATE OF CALIFORNIA )  
COUNTY OF Riverside )

ON THIS 24<sup>th</sup> DAY OF March, 2004, BEFORE ME Kristi L. Blanchard A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED James B. Bernas (PERSONALLY KNOWN TO ME AND/OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON(S) WHOSE NAME(S) (IS/ARE) SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT (HE/SHE/THEY) EXECUTED THE SAME IN (HIS/HER/THEIR) AUTHORIZED CAPACITY, AND THAT BY (HIS/HER/THEIR) SIGNATURE ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY (IES) UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE Kristi L. Blanchard  
NOTARY PUBLIC IN AND FOR SAID STATE

NAME Kristi L. Blanchard

MY COMMISSION EXPIRES Feb. 4, 2007

### NOTARY ACKNOWLEDGEMENT

STATE OF CALIFORNIA )  
COUNTY OF Orange )

ON THIS 25<sup>th</sup> DAY OF March, 2004, BEFORE ME R. Friedly A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED Ben Singh (PERSONALLY KNOWN TO ME AND/OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON(S) WHOSE NAME(S) (IS/ARE) SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT (HE/SHE/THEY) EXECUTED THE SAME IN (HIS/HER/THEIR) AUTHORIZED CAPACITY, AND THAT BY (HIS/HER/THEIR) SIGNATURE ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY (IES) UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE R. Friedly  
NOTARY PUBLIC IN AND FOR SAID STATE

NAME R. Friedly

MY COMMISSION EXPIRES 9/15/2005

### SIGNATURE OMISSIONS

PURSUANT TO SECTION 66436 OF THE SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING OWNERS OF EASEMENTS AND/OR OTHER INTERESTS HAVE BEEN OMITTED.

MUTUAL RIGHTS OF WAY RESERVED TO THE STEARNS RANCHO COMPANY AND THE JURUPA LAND AND WATER COMPANY, THEIR SUCCESSORS OR ASSIGNS, FOR DITCHES, CANALS OR PIPELINES RECORDED IN BOOK 104 PAGE 322 OF DEEDS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, AND BY DEEDS RECORDED JULY 24, 1897 IN BOOK 31 PAGE 337, MARCH 2, 1899 IN BOOK 69 PAGE 250, APRIL 1902 IN BOOK 142 PAGE 101, JANUARY 8, 1906 IN BOOK 216 PAGE 4 ALL OF DEEDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA. CANNOT BE LOCATED FROM THE RECORD.

A RIGHT OF WAY FOR A CERTAIN DITCH KNOWN AS FULLER DITCH AS RESERVED BY WILLIAM L. COLLIER AND WIFE, IN DEED RECORDED JUNE 29, 1910 IN BOOK 305 PAGE 36 OF DEEDS, RECORDS OF RIVERSIDE CO. CANNOT BE LOCATED FROM THE RECORD.

### SURVEYOR'S STATEMENT

I HEREBY STATE THAT I AM A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA AND THAT THIS MAP CONSISTING OF NINE (9) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING JULY 2000; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN OR WILL BE IN ACCORDANCE WITH THE TERMS OF THE MONUMENT AGREEMENT FOR THE MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN.

DATED: MAY 12 2004

Matthew E. Webb  
MATTHEW E. WEBB, L.S. 5529  
L.S. EXPIRES 9-30-2004



### COUNTY SURVEYOR'S STATEMENT

THIS MAP CONFORMS WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES. I HEREBY STATE THAT THIS MAP HAS BEEN EXAMINED BY ME OR UNDER MY SUPERVISION AND FOUND TO BE SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP OF TRACT MAP NO. 30817 APPROVED BY THE BOARD OF SUPERVISORS ON JUNE 17, 2003. THE EXPIRATION DATE BEING JUNE 17, 2006; AND THAT I AM SATISFIED THIS MAP IS TECHNICALLY CORRECT.

DATED: May 19 2004

Mark S. Bernas  
MARK S. BERNAS, L.S. 4568  
COUNTY SURVEYOR EXP. 9-30-05



### BOARD OF SUPERVISOR'S STATEMENT

THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BY ITS BOARD OF SUPERVISORS, HEREBY APPROVES THE TRACT MAP AND ACCEPTS THE OFFERS OF DEDICATION MADE HEREON FOR PUBLIC ROAD AND PUBLIC UTILITY PURPOSES, AND AS PART OF THE COUNTY MAINTAINED ROAD SYSTEM, SUBJECT TO IMPROVEMENTS IN ACCORDANCE WITH COUNTY STANDARDS. THE DEDICATION MADE HEREON OF TURN AROUND FOR FIRE DEPARTMENT PURPOSES IS HEREBY ACCEPTED AS PART OF THE COUNTY MAINTAINED ROAD SYSTEM, SUBJECT TO IMPROVEMENTS.

THE OFFER OF DEDICATION FOR DRAINAGE EASEMENT IS HEREBY NOT ACCEPTED.

COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
DATED May 25, 2004 BY: Joseph Wilson  
CHAIRMAN OF THE BOARD OF SUPERVISORS

ATTEST:  
NANCY ROMERO  
CLERK TO THE BOARD OF SUPERVISORS

BY: Chloria Lew-Smith  
DEPUTY

### TAX COLLECTOR'S CERTIFICATE

I HEREBY CERTIFY THAT ACCORDING TO THE RECORDS OF THIS OFFICE, AS OF THIS DATE, THERE ARE NO LIENS AGAINST THE REAL PROPERTY SHOWN ON THE WITHIN MAP FOR UNPAID STATE, COUNTY, MUNICIPAL, OR LOCAL TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES, EXCEPT TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES NOW A LIEN BUT NOT YET PAYABLE, WHICH ARE ESTIMATED TO BE \$ 157,800.

DATED April 27 2004

PAUL McDONNELL  
COUNTY TAX COLLECTOR

BY: Bernice Dando  
Deputy

### TAX BOND CERTIFICATE

I HEREBY CERTIFY THAT A BOND IN THE SUM OF \$ 157,800 HAS BEEN EXECUTED AND FILED WITH THE BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, CONDITIONED UPON THE PAYMENT OF ALL TAXES, STATE, COUNTY, MUNICIPAL OR LOCAL, AND ALL SPECIAL ASSESSMENTS COLLECTED AS TAXES, WHICH AT THE TIME OF FILING OF THIS MAP WITH THE COUNTY RECORDER ARE A LIEN AGAINST SAID PROPERTY, BUT NOT YET PAYABLE, AND SAID BOND HAS BEEN DULY APPROVED BY SAID BOARD OF SUPERVISORS.

DATED April 27, 2004  
NANCY ROMERO  
CLERK TO THE BOARD OF SUPERVISORS

CASH TAX BOND  
PAUL McDONNELL  
COUNTY TAX COLLECTOR

BY: \_\_\_\_\_ Deputy BY: Bernice Dando Deputy

### NOTICE OF DRAINAGE FEES

NOTICE IS HEREBY GIVEN THAT THIS PROPERTY IS LOCATED IN THE EASTVALE AREA DRAINAGE PLAN WHICH WAS ADOPTED BY THE BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE PURSUANT TO SECTION 10.25 OF ORDINANCE 460 AND SECTION 66483, ET SEQ. OF THE GOVERNMENT CODE AND THAT SAID PROPERTY IS SUBJECT TO FEES FOR SAID DRAINAGE AREA.

NOTICE IS FURTHER GIVEN THAT, PURSUANT TO SECTION 10.25 OF ORDINANCE 460, PAYMENT OF THE DRAINAGE FEES SHALL BE PAID TO THE RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT AT THE TIME OF ISSUANCE OF THE GRADING OR BUILDING PERMIT FOR SAID PARCELS, WHICHEVER OCCURS FIRST, AND THAT THE OWNER OF EACH PARCEL, AT THE TIME OF ISSUANCE OF EITHER THE GRADING OR BUILDING PERMIT, SHALL PAY THE FEE REQUIRED AT THE RATE IN EFFECT AT THE TIME OF ISSUANCE OF THE ACTUAL PERMIT.

2004-0403236 ORIGINAL

357/358

2004-0403236 ORIGINAL

ENVIRONMENTAL CONSTRAINT NOTE

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA

SHEET 2 OF 9 SHEETS

ENVIRONMENTAL CONSTRAINT SHEET AFFECTING THIS MAP IS ON FILE IN THE OFFICE OF THE RIVERSIDE COUNTY SURVEYOR IN E.C.S. BOOK 35 PAGE 23 THIS AFFECTS ALL LOTS.

TRACT NO. 30817

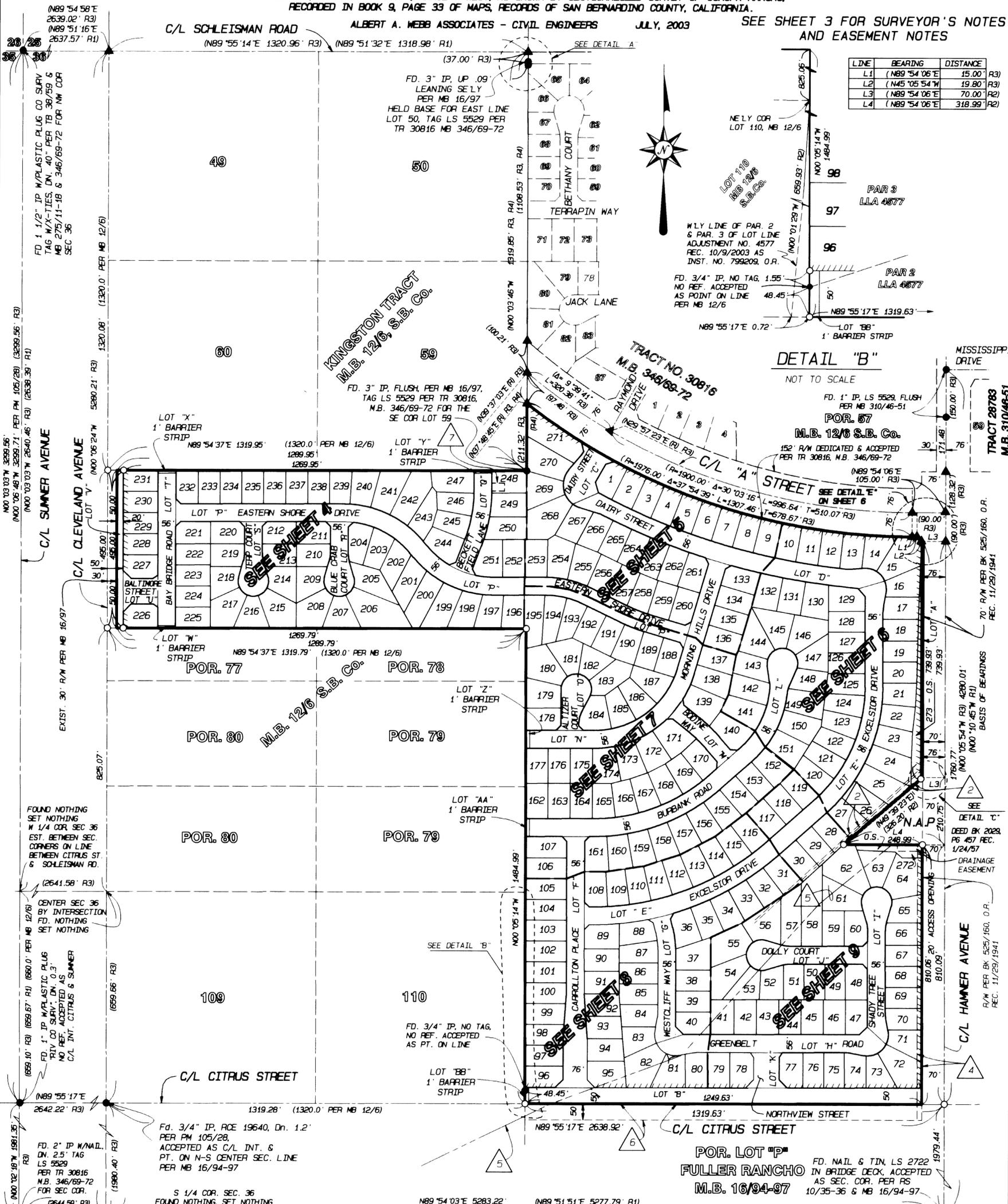
GRAPHIC SCALE 1"=200'



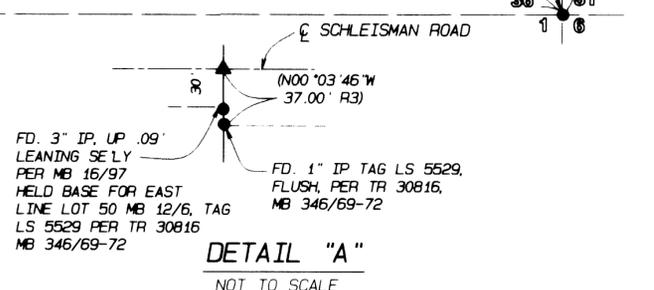
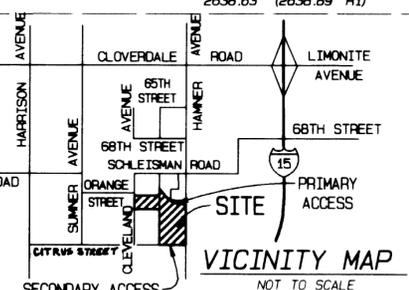
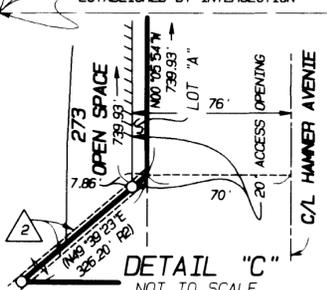
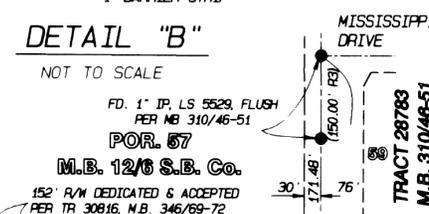
BEING A SUBDIVISION OF A PORTION OF LOTS 77 AND 78 OF THE KINGSTON TRACT, AS SHOWN BY MAP ON FILE IN BOOK 12 PAGE 6 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, TOGETHER WITH A PORTION OF LOT "P" OF FULLER RANCHO, CENTRAL AND EASTERLY SECTION, AS SHOWN BY MAP ON FILE IN BOOK 16 PAGES 94 TO 97, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, BEING PARCEL 4 AND A PORTION OF PARCELS 2 AND 3 OF LOT LINE ADJUSTMENT NO. 4577, RECORDED OCTOBER 9, 2003 AS INST. NO. 799209, O.R., LYING IN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 7 WEST, AS SHOWN BY SECTIONALIZED SURVEY OF JURUPA RANCHO, RECORDED IN BOOK 9, PAGE 33 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003

SEE SHEET 3 FOR SURVEYOR'S NOTES AND EASEMENT NOTES



LINE	BEARING	DISTANCE
L1	(N89°54'06"E	15.00' R3)
L2	(N45°05'54"W	19.80' R3)
L3	(N89°54'06"E	70.00' R2)
L4	(N89°54'06"E	318.99' R2)



357  
2004

2004-0403236

ORIGINAL

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY,  
STATE OF CALIFORNIA

SHEET 3 OF 9 SHEETS

# TRACT NO. 30817

BEING A SUBDIVISION OF A PORTION OF LOTS 77 AND 78 OF THE KINGSTON TRACT, AS SHOWN BY MAP ON FILE IN BOOK 12 PAGE 6 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, TOGETHER WITH A PORTION OF LOT "P" OF FULLER RANCHO, CENTRAL AND EASTERLY SECTION, AS SHOWN BY MAP ON FILE IN BOOK 16 PAGES 94 TO 97, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, BEING PARCEL 4 AND A PORTION OF PARCELS 2 AND 3 OF LOT LINE ADJUSTMENT NO. 4577, RECORDED OCTOBER 9, 2003 AS INST. NO. 799209, O.R., LYING IN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 7 WEST, AS SHOWN BY SECTIONALIZED SURVEY OF JURUPA RANCHO, RECORDED IN BOOK 9, PAGE 33 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003

## EASEMENT NOTES

1. MUTUAL RIGHTS OF WAY RESERVED TO THE STEARNS RANCHO COMPANY & THE JURUPA LAND & WATER CO. FOR DITCHES, CANALS OR PIPELINES FOR IRRIGATION RECORDED IN BOOK 104, PAGE 322 OF DEEDS, RECORDS OF SAN BERNARDINO CO., BY DEEDS RECORDED JULY 24, 1897 IN BOOK 31 PAGE 337, MARCH 2, 1899 IN BOOK 69 PAGE 250, APRIL 1902 IN BOOK 142 PAGE 101, JANUARY 8, 1906 IN BOOK 216 PAGE 4, ALL OF DEEDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA. CANNOT BE LOCATED FROM THE RECORD.
2. AN EASEMENT FOR PUBLIC UTILITIES IN FAVOR OF SOUTHERN CALIFORNIA EDISON CO. RECORDED MARCH 7, 1957 IN BOOK 2051, PAGE 413, O.R.
3. A RIGHT OF WAY FOR A CERTAIN DITCH KNOWN AS FULLER DITCH, AS RESERVED BY WILLIAM L. COLLIER AND WIFE, IN DEED RECORDED JUNE 29, 1910 IN BOOK 305 PAGE 36 OF DEEDS, RECORDS OF RIVERSIDE CO. CANNOT BE LOCATED FROM THE RECORD.
4. AN EASEMENT FOR PIPELINES AND INCIDENTAL PURPOSES IN FAVOR OF CITY OF NORCO, RECORDED APRIL 7, 1971 AS INST. NO. 35543 OF O.R.
5. A TEMPORARY EASEMENT FOR FLOWAGE AND INCIDENTAL PURPOSES IN FAVOR OF COUNTY OF RIVERSIDE RECORDED NOVEMBER 21, 2000 AS INST. NO. 2000-465449, O.R. EASEMENT AREA IS THE PROPERTY LYING SOUTHERLY OF LINE SHOWN.
6. AN EASEMENT AGREEMENT BY & BETWEEN WILLIAM A. VAN LEEUMEN & DELORES M. VAN LEEUMEN, TRUSTEES OF THE WILLIAM & DELORES VAN LEEUMEN REVOCABLE TRUST UDOT DATED FEB. 17, 1983 AND NORTH CORONA 417, LLC, RECORDED 10/10/2003 AS INST. NO. 2003-801102 FOR INSTALLING SEWER, WATER, DRAIN, GRADING & STREET IMPROVEMENTS.
7. FIRE DEPARTMENT TURN AROUND EASEMENT DEDICATED HEREON, LOT 248 CANNOT BE DEVELOPED UNTIL FIRE DEPARTMENT TURN AROUND EASEMENT IS VACATED.

## SURVEYOR'S NOTES

1. BASIS OF BEARINGS IS THE CENTERLINE OF HAMMER AVENUE TAKEN AS NORTH 00°05'54" WEST, AS SHOWN ON TRACT NO. 30816, M.B. 346/69-72.
2. ● INDICATES FOUND MONUMENT AS NOTED.
3. ▲ INDICATES FOUND 1" I.P. TAGGED LS 5529, FLUSH, PER TR 30816, M.B. 346/69-72.
4. ○ INDICATES SET 1" I.P. TAGGED LS 5529, FLUSH.
5. (R1) INDICATES RECORD DATA PER M.B. 16/94-97, UNLESS OTHERWISE NOTED.
6. (R2) INDICATES RECORD AND MEASURED DATA PER LOT LINE ADJUSTMENT NO. 4577 RECORDED 10/9/2003 AS INST. NO. 799209, O.R.
7. (R3) INDICATES RECORD AND MEASURED DATA PER TR 30816, M.B. 346/69-72.
8. (R4) INDICATES RECORD AND MEASURED DATA PER LOT LINE ADJUSTMENT NO. 4587 RECORDED 8/8/2003 AS INST. NO. 603331, O.R.
9. SET 1" I.P. TAGGED LS 5529, FLUSH, AT ALL REAR LOT CORNERS CORNER OUTBACKS AND ANGLE POINTS. WHERE REAR CONCRETE BLOCK WALLS EXIST, SET NAIL AND TAG LS 5529 ON TOP OF REAR BLOCK WALL IN LIEU OF 1" IP AT REAR LOT CORNERS.
10. SET STEEL PIN AND TAG LS 5529 IN TOP OF CURB AT ALL SIDE LOT LINES PROJECTED PER STD. "E".
11. ///// INDICATES RESTRICTED ACCESS.
12. TRACT CONTAINS 68.65 ACRES GROSS.
13. ALL SET MONUMENTS SHALL BE PER RIV. CO. ORD. 461.9.
14. DRAINAGE EASEMENTS SHALL BE KEPT FREE OF BUILDINGS & OBSTRUCTIONS.
15. O.S. INDICATES OPEN SPACE.

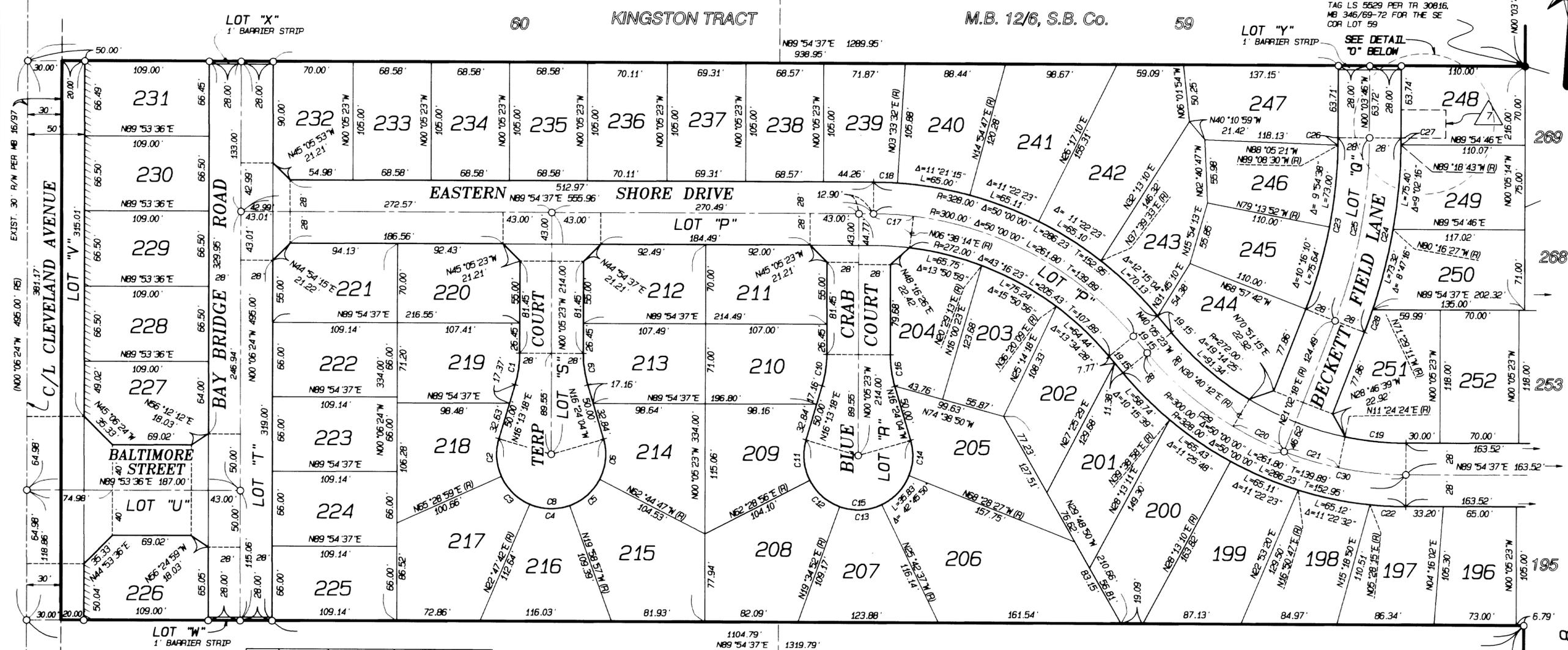
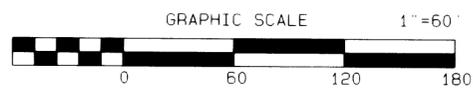
IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY,  
STATE OF CALIFORNIA

# TRACT NO. 30817

BEING A SUBDIVISION OF A PORTION OF LOTS 77 AND 78 OF THE KINGSTON TRACT, AS SHOWN BY MAP ON FILE IN BOOK 12 PAGE 6 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, TOGETHER WITH A PORTION OF LOT "P" OF FULLER RANCHO, CENTRAL AND EASTERLY SECTION, AS SHOWN BY MAP ON FILE IN BOOK 16 PAGES 94 TO 97, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, BEING PARCEL 4 AND A PORTION OF PARCELS 2 AND 3 OF LOT LINE ADJUSTMENT NO. 4577, RECORDED OCTOBER 9, 2003 AS INST. NO. 79209, O.R., LYING IN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 7 WEST, AS SHOWN BY SECTIONALIZED SURVEY OF JURUPA RANCHO, RECORDED IN BOOK 9, PAGE 33 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003

SEE SHEET 2 FOR SURVEYOR'S NOTES AND EASEMENT NOTES



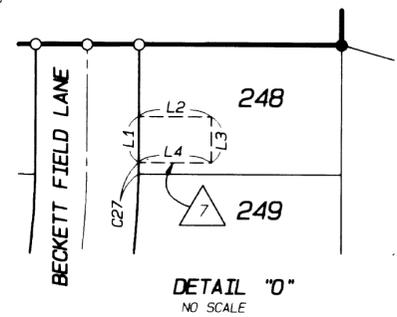
CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	100.00'	16°18'41"	28.47'	14.33'
C2	48.00'	40°44'19"	34.13'	17.82'
C3	48.00'	42°41'17"	35.76'	18.76'
C4	48.00'	42°46'39"	35.84'	18.80'
C5	48.00'	42°45'50"	35.83'	18.79'
C6	48.00'	43°39'17"	36.57'	19.23'
C7	100.00'	16°18'41"	28.47'	14.33'
C8	48.00'	212°37'22"	178.13'	
C9	100.00'	16°18'41"	28.47'	14.33'
C10	100.00'	16°18'41"	28.47'	14.33'
C11	48.00'	43°44'22"	36.64'	19.27'
C12	48.00'	42°54'04"	35.94'	18.86'
C13	48.00'	45°17'29"	37.94'	20.03'
C14	48.00'	37°55'37"	31.77'	16.49'
C15	48.00'	212°37'22"	178.12'	
C16	100.00'	16°18'41"	28.47'	14.33'
C17	300.00'	6°43'37"	35.22'	17.63'
C18	328.00'	3°38'55"	20.89'	10.45'
C19	272.00'	11°29'47"	54.58'	27.38'

KINGSTON TRACT  
POR. 77

CURVE	RADIUS	DELTA	LENGTH	TANGENT
C20	300.00'	9°37'54"	50.43'	25.28'
C21	300.00'	9°37'54"	50.43'	25.28'
C22	328.00'	5°33'38"	31.83'	15.93'
C23	422.00'	21°06'04"	155.41'	78.60'
C24	478.00'	21°06'04"	176.04'	89.03'
C25	450.00'	21°06'04"	165.73'	83.81'
C26	422.00'	0°55'16"	6.77'	3.39'
C27	478.00'	0°45'03"	6.26'	3.13'
C28	478.00'	2°31'29"	21.06'	10.53'
C29	300.00'	28°52'19"	151.17'	77.23'
C30	300.00'	21°07'41"	110.63'	55.95'

M.B. 12/6, S.B. Co.  
POR. 78

LINE	BEARING	DISTANCE
L1	N00°03'46"W	25.00'
L2	N89°56'14"E	39.50'
L3	N00°03'46"W	25.00'
L4	N89°56'14"E	39.50'



SEE SHEET 5

SEE SHEET 8

FD. 3" IP, FLUSH PER MB 16/97  
TAG LS 5529 PER TR 30816,  
MB 346/69-72 FOR THE SE  
COR LOT 59

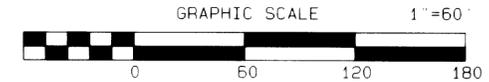
DETAIL "O"  
NO SCALE

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY,  
STATE OF CALIFORNIA

# TRACT NO. 30817

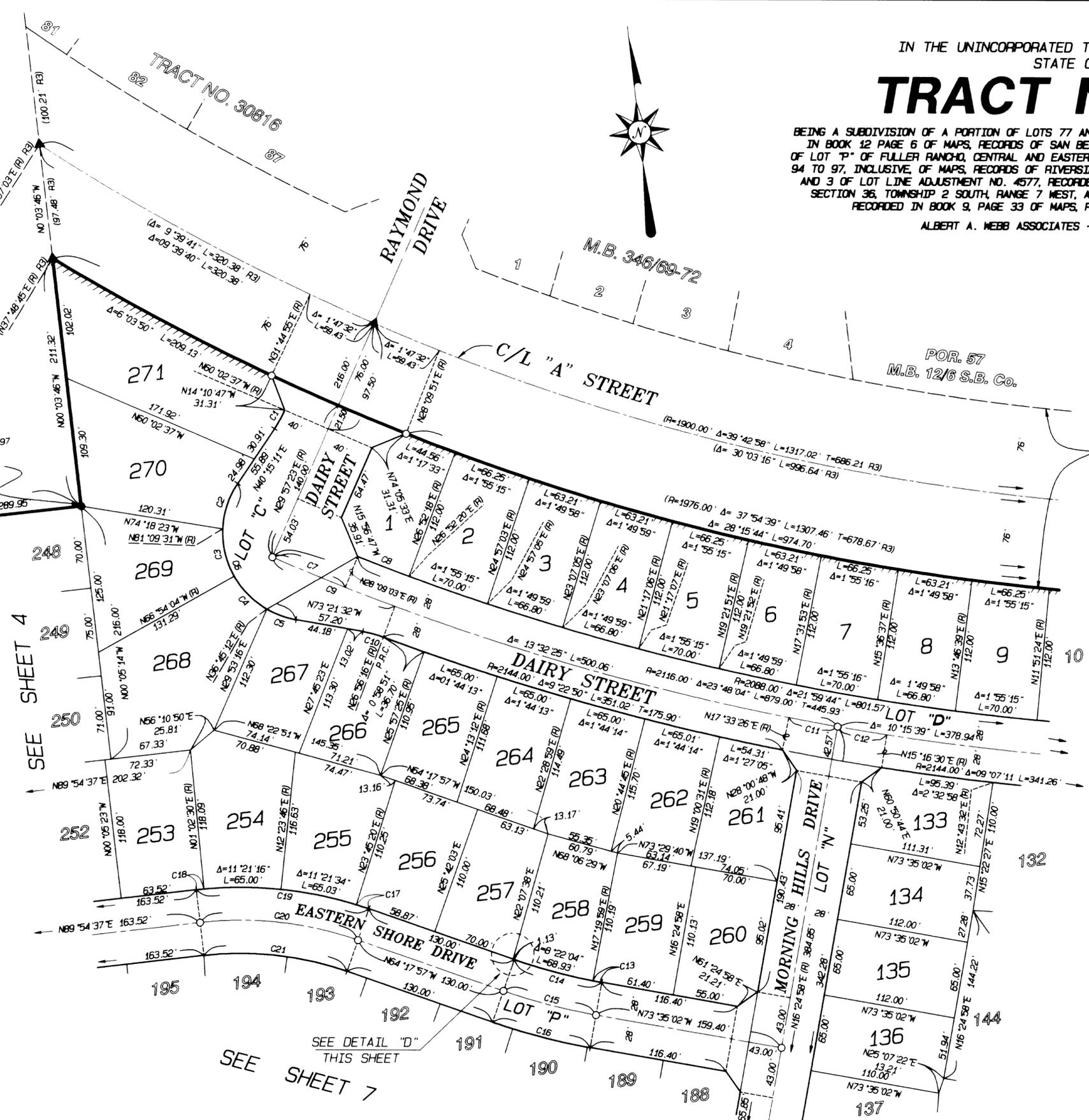
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ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003



KINGSTON TRACT  
MB 12/6 S.B. Co.

FD. 3" IP. FLUSH PER MB 16/97  
TAG LS 5529 PER TR 30816.  
MB 346/69-72 FOR THE SE  
COR LOT 59



152' R/W DEDICATED & ACCEPTED  
PER TRACT 30816, M.B. 346/69-72

CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	100.00'	10°17'48"	17.97'	9.01'
C2	75.00'	31°24'42"	41.12'	21.09'
C3	75.00'	31°56'25"	41.81'	21.46'
C4	75.00'	30°08'52"	39.46'	20.20'
C5	75.00'	20°06'44"	26.33'	13.30'
C6	75.00'	113°36'43"	148.72'	114.64'
C7	2116.00'	1°48'20"	66.68'	33.34'
C8	2088.00'	1°16'43"	46.60'	23.30'
C9	2116.00'	3°01'07"	111.47'	55.75'
C10	100.00'	10°17'48"	17.97'	9.01'
C11	2116.00'	1°08'28"	42.15'	21.07'
C12	2116.00'	1°08'28"	42.15'	21.07'
C13	472.00'	0°55'01"	7.55'	3.78'
C14	472.00'	9°17'05"	76.48'	38.33'
C15	500.00'	9°17'05"	81.02'	40.60'
C16	528.00'	9°17'05"	85.56'	42.87'
C17	328.00'	1°56'43"	11.14'	5.57'
C18	328.00'	1°07'53"	6.48'	3.24'
C19	328.00'	25°47'26"	147.65'	75.09'
C20	300.00'	25°47'26"	135.04'	68.68'
C21	272.00'	25°47'26"	122.43'	62.27'



SEE SHEET 4

SEE SHEET 6

SEE SHEET 7

SEE SHEET 2 FOR SURVEYOR'S NOTES  
AND EASEMENT NOTES

2004-0403236 ORIGINAL

SEE SHEET 2 FOR SURVEYOR'S NOTES AND EASEMENT NOTES

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA

SHEET 6 OF 9 SHEETS

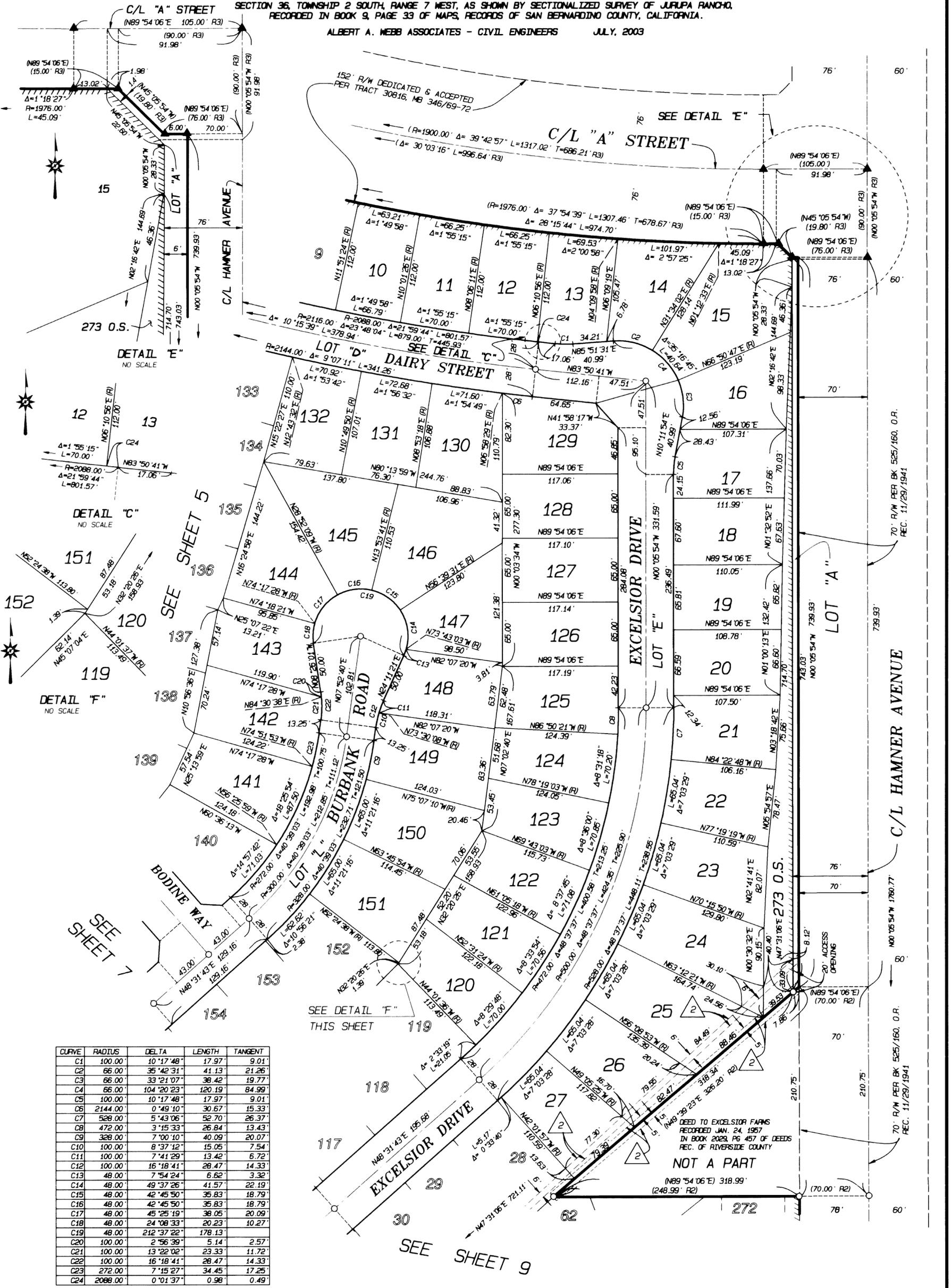
GRAPHIC SCALE 1"=60'

# TRACT NO. 30817



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ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003



CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	100.00	10°17'48"	17.97'	9.01'
C2	66.00	35°42'31"	41.13'	21.26'
C3	66.00	33°21'07"	38.42'	19.77'
C4	66.00	104°20'23"	120.19'	84.99'
C5	100.00	10°17'48"	17.97'	9.01'
C6	2144.00	0°49'10"	30.67'	15.33'
C7	528.00	5°43'06"	52.70'	26.37'
C8	472.00	3°15'33"	26.84'	13.43'
C9	328.00	7°00'10"	40.09'	20.07'
C10	100.00	8°37'12"	15.05'	7.54'
C11	100.00	7°41'29"	13.42'	6.72'
C12	100.00	16°18'41"	28.47'	14.33'
C13	48.00	7°54'24"	6.62'	3.32'
C14	48.00	49°37'26"	41.57'	22.19'
C15	48.00	42°45'50"	35.83'	18.79'
C16	48.00	42°45'50"	35.83'	18.79'
C17	48.00	45°25'19"	38.05'	20.09'
C18	48.00	24°08'33"	20.23'	10.27'
C19	48.00	212°37'22"	178.13'	
C20	100.00	2°56'39"	5.14'	2.57'
C21	100.00	13°22'02"	23.33'	11.72'
C22	100.00	16°18'41"	28.47'	14.33'
C23	272.00	7°15'27"	34.45'	17.25'
C24	2088.00	0°01'37"	0.96'	0.49'

DEED TO EXCELSIOR FARMS RECORDED JAN. 24, 1957 IN BOOK 2029, PG. 457 OF DEEDS REC. OF RIVERSIDE COUNTY

NOT A PART (N89°54'06"E) 318.99' (248.99' R2)

70' R/W PER BK 525/160, O.R. REC. 11/29/1941

70' R/W PER BK 525/160, O.R. REC. 11/29/1941

2004-0403236 ORIGINAL

# TRACT NO. 30817

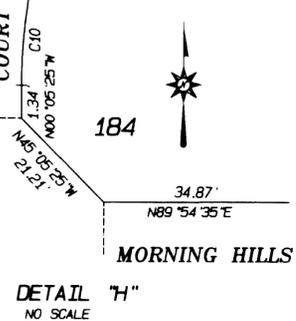
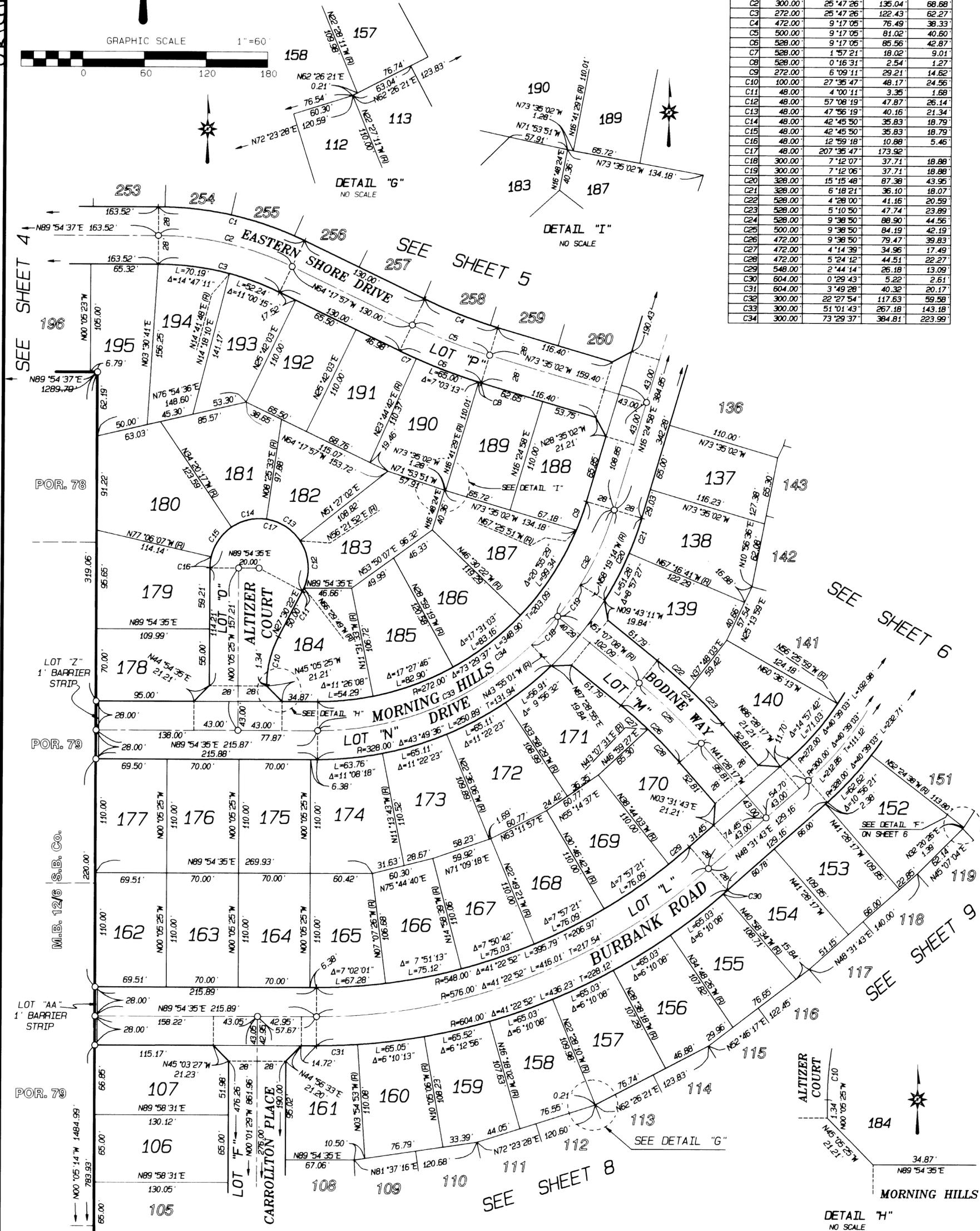
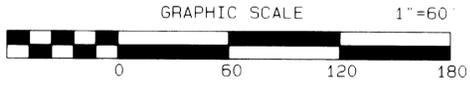
SEE SHEET 2 FOR SURVEYOR'S NOTES  
AND EASEMENT NOTES

BEING A SUBDIVISION OF A PORTION OF LOTS 77 AND 78 OF THE KINGSTON TRACT, AS SHOWN BY MAP ON FILE IN BOOK 12 PAGE 6 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA, TOGETHER WITH A PORTION OF LOT "P" OF FULLER RANCHO, CENTRAL AND EASTERLY SECTION, AS SHOWN BY MAP ON FILE IN BOOK 16 PAGES 94 TO 97, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, BEING PARCEL 4 AND A PORTION OF PARCELS 2 AND 3 OF LOT LINE ADJUSTMENT NO. 4577, RECORDED OCTOBER 9, 2003 AS INST. NO. 799209, O.R., LYING IN SECTION 36, TOWNSHIP 2 SOUTH, RANGE 7 WEST, AS SHOWN BY SECTIONALIZED SURVEY OF JURUPA RANCHO, RECORDED IN BOOK 9, PAGE 33 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003

CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	328.00'	25°47'26"	147.64	75.09
C2	300.00'	25°47'26"	135.04	68.68
C3	272.00'	25°47'26"	122.43	62.27
C4	472.00'	9°17'05"	76.49	39.33
C5	500.00'	9°17'05"	81.02	40.60
C6	528.00'	9°17'05"	85.56	42.87
C7	528.00'	1°57'21"	18.02	9.01
C8	528.00'	0°16'31"	2.54	1.27
C9	272.00'	6°09'11"	29.21	14.62
C10	100.00'	27°35'47"	48.17	24.56
C11	48.00'	4°00'11"	3.35	1.68
C12	48.00'	57°08'19"	47.87	26.14
C13	48.00'	47°56'19"	40.16	21.34
C14	48.00'	42°45'50"	35.83	18.79
C15	48.00'	42°45'50"	35.83	18.79
C16	48.00'	12°59'18"	10.88	5.46
C17	48.00'	207°35'47"	173.92	86.96
C18	300.00'	7°12'07"	37.71	18.88
C19	300.00'	7°12'06"	37.71	18.88
C20	328.00'	15°15'48"	87.38	43.95
C21	328.00'	6°18'21"	36.10	18.07
C22	528.00'	4°28'00"	41.16	20.59
C23	528.00'	5°10'50"	47.74	23.89
C24	528.00'	9°38'50"	86.90	44.56
C25	500.00'	9°38'50"	84.19	42.10
C26	472.00'	9°38'50"	79.47	39.83
C27	472.00'	4°14'39"	34.96	17.49
C28	472.00'	5°24'12"	44.51	22.27
C29	548.00'	2°44'14"	26.18	13.09
C30	604.00'	0°29'43"	5.22	2.61
C31	604.00'	3°49'28"	40.32	20.17
C32	300.00'	22°27'54"	117.63	59.58
C33	300.00'	51°01'43"	267.18	143.18
C34	300.00'	73°29'37"	384.81	223.99

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SEE SHEET 8

SEE SHEET 9

SEE SHEET 6

SEE SHEET 5

SEE SHEET 4

M.B. 12/6 S.B. Co.

POR. 79

POR. 78

POR. 79

2004 - 0403236  
ORIGINAL

IN THE UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY,  
STATE OF CALIFORNIA

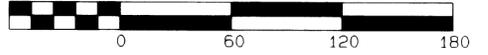
# TRACT NO. 30817

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ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003

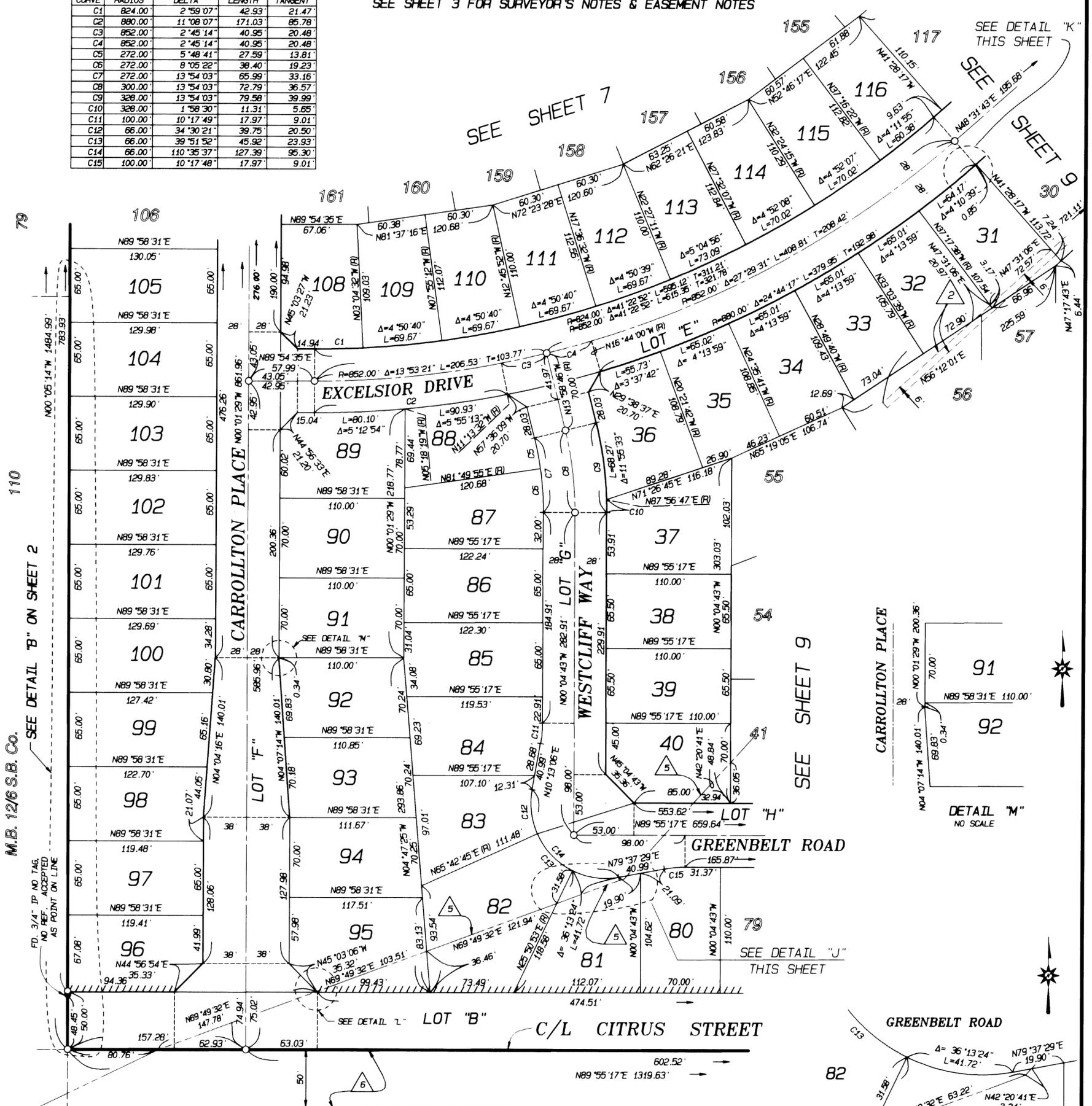


GRAPHIC SCALE 1"=60'



CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	824.00'	2°59'07"	42.93'	21.47'
C2	880.00'	11°08'07"	171.03'	85.78'
C3	852.00'	2°45'14"	40.95'	20.48'
C4	852.00'	2°45'14"	40.95'	20.48'
C5	272.00'	5°48'41"	27.59'	13.81'
C6	272.00'	8°05'22"	38.40'	19.23'
C7	272.00'	13°54'03"	65.99'	33.16'
C8	300.00'	13°54'03"	72.79'	36.57'
C9	328.00'	13°54'03"	79.58'	39.99'
C10	328.00'	1°58'30"	11.31'	5.65'
C11	100.00'	10°17'49"	17.97'	9.01'
C12	65.00'	34°30'21"	39.75'	20.50'
C13	65.00'	39°51'52"	45.92'	23.93'
C14	65.00'	110°35'37"	127.39'	95.30'
C15	100.00'	10°17'48"	17.97'	9.01'

SEE SHEET 3 FOR SURVEYOR'S NOTES & EASEMENT NOTES



79  
110  
M.B. 12/6 S.B. Co.  
SEE DETAIL "B" ON SHEET 2

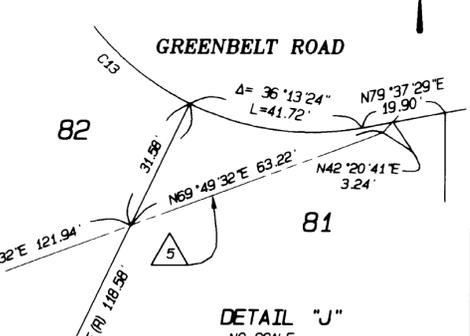
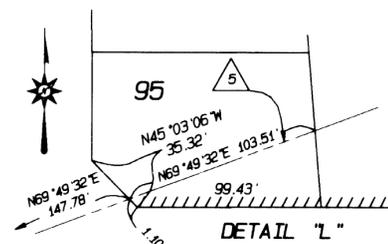
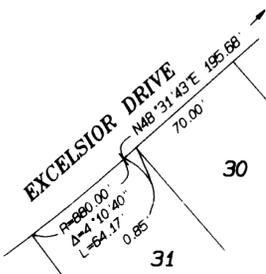
SEE SHEET 7

SEE SHEET 9  
SEE DETAIL "K" THIS SHEET

SEE SHEET 9

DETAIL "M" NO SCALE

SEE DETAIL "J" THIS SHEET



POR. LOT "P" FULLER RANCHO M.B. 16/94-97

DETAIL "K" NO SCALE

DETAIL "L" NO SCALE

DETAIL "J" NO SCALE

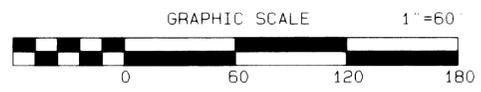
2004-0403236  
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STATE OF CALIFORNIA

# TRACT NO. 30817

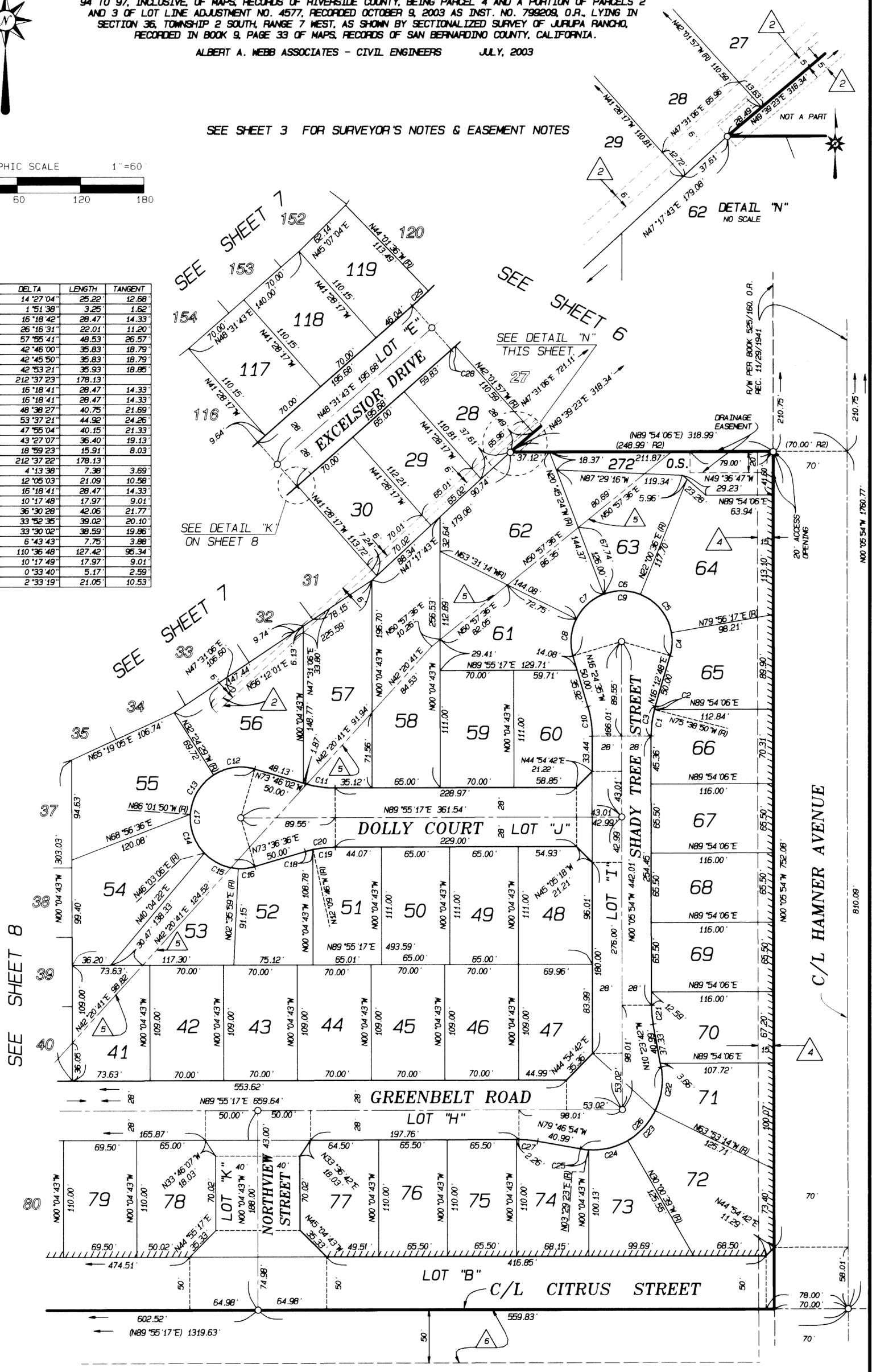
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ALBERT A. WEBB ASSOCIATES - CIVIL ENGINEERS JULY, 2003



SEE SHEET 3 FOR SURVEYOR'S NOTES & EASEMENT NOTES

CURVE	RADIUS	DELTA	LENGTH	TANGENT
C1	100.00	14°27'04"	25.22	12.68
C2	100.00	1°51'38"	3.25	1.62
C3	100.00	16°18'42"	28.47	14.33
C4	48.00	26°16'31"	22.01	11.20
C5	48.00	57°55'41"	48.53	26.57
C6	48.00	42°46'00"	35.83	18.79
C7	48.00	42°45'50"	35.83	18.79
C8	48.00	42°53'21"	35.93	18.85
C9	48.00	212°37'23"	178.13	
C10	100.00	16°18'41"	28.47	14.33
C11	100.00	16°18'41"	28.47	14.33
C12	48.00	48°38'27"	40.75	21.69
C13	48.00	53°37'21"	44.92	24.26
C14	48.00	47°55'04"	40.15	21.33
C15	48.00	43°27'07"	36.40	19.13
C16	48.00	18°59'23"	15.91	8.03
C17	48.00	212°37'22"	178.13	
C18	100.00	4°13'38"	7.38	3.69
C19	100.00	12°05'03"	21.09	10.58
C20	100.00	16°18'41"	28.47	14.33
C21	100.00	10°17'48"	17.97	9.01
C22	66.00	36°30'28"	42.06	21.77
C23	66.00	33°52'35"	39.02	20.10
C24	66.00	33°30'02"	38.59	19.86
C25	66.00	6°43'43"	7.75	3.88
C26	66.00	110°36'48"	127.42	95.34
C27	100.00	10°17'49"	17.97	9.01
C28	528.00	0°33'40"	5.17	2.59
C29	472.00	2°33'19"	21.05	10.53



62 DETAIL "N"  
NO SCALE

SEE DETAIL "K"  
ON SHEET 8

SEE SHEET 8

C/L HAMNER AVENUE

C/L CITRUS STREET