



AGENDA PLANNING COMMISSION CITY OF EASTVALE

**Regular Meeting
Wednesday, August 17, 2016
6:00 p.m.**

**Rosa Parks Elementary School
13830 Whispering Hills Drive
Eastvale, CA 92880**

- 1. CALL TO ORDER**
- 2. ROLL CALL/PLEDGE OF ALLEGIANCE**

Commissioners: Daryl Charlson, Bill Van Leeuwen, Karen Patel
Vice-Chair: Howard Feng
Chair: Larry Oblea

- 3. PUBLIC COMMENT**

This is the time when any member of the public may bring a matter to the attention of the Planning Commission that is within the jurisdiction of the Commission. The Ralph M. Brown act limits the Commission's and staff's ability to respond to comments on non-agendized matters at the time such comments are made. Thus, your comments may be agendized for a future meeting or referred to staff. The Commission may discuss or ask questions for clarification, if desired, at this time. Although voluntary, we ask that you fill out a "Speaker Request Form," available at the side table. The completed form is to be submitted to the Recording Secretary prior to being heard. Public comment is limited to two (2) minutes each with a maximum of six (6) minutes.

- 4. ADDITIONS/DELETIONS TO THE AGENDA**
- 5. CONSENT CALENDAR**

5.1 Planning Commission Minutes

RECOMMENDATION: Approve the minutes from the May 18, 2016 and June 15, 2016, regular meetings.

6. PUBLIC HEARING

- 6.1 PROJECT NO. 15-06023 – SENDERO TENTATIVE PARCEL MAP NO. 37046 AND REVISED TENTATIVE TRACT MAP NO. 36775** – Tentative Parcel Map to subdivide a 45-acre site into four parcels for financing and conveyance purposes only and Revised Tentative Tract Map No. 36775 to allow development of the residential site in four phases. Project site is located on the northeast corner of Limonite Avenue and Harrison Avenue. This project is exempt from further environmental review pursuant to Section 15162 of the California Environmental Quality Act (CEQA), because the proposed project does not result in changes to the Mitigated Negative Declaration adopted on June 10, 2015 for Tentative Tract Map No. 36775.

RECOMMENDATION: Staff recommends that the Planning Commission approve a motion recommending that the City Council take the following actions:

1. Approve Tentative Parcel Map No. 37046 to subdivide a 45-acre site into four parcels for financing and conveyance purposes only, subject to conditions of approval; and
2. Approve Revised Tentative Tract Map No. 36775 to allow development of the residential site in four phases, subject to conditions of approval.

- 6.2 PROJECT NO. 16-00015 -- EXTENSION OF TIME FOR TENTATIVE TRACT MAP NO. 35751** -- Tentative Tract Map 35751 allows the subdivision of a 19.88 acre site into 22 residential lots and 2 open space lots for the future development of 243 residential units, one recreation center, and one water quality basin in three phases. Extension of Time for TTM 35751 does not approve any particular layout or design for the residential units; a development plan review application would be required for the development of the site. The project site is located at the southeast corner of Schleisman Road and Cucamonga Creek. This project is exempt from further environmental review pursuant to Section 15162 of the California Environmental Quality Act (CEQA), because the proposed project does not result in changes to the tentative tract map and therefore would not require any revisions to adopted EIR No. 511 for Tentative Tract Map No. 35751.

RECOMMENDATION: Staff recommends that the Planning Commission approve a motion recommending that the City Council approve a one-year Extension of Time for Tentative Tract Map No. 35751, subject to conditions of approval.

7. CITY STAFF REPORT

- 7.1** Planning Department Project Status

8. COMMISSION COMMUNICATIONS

9. ADJOURNMENT

The next regular meeting of the Eastvale Planning Commission will be held on **September 21, 2016**, at 6:00 p.m. at Rosa Parks Elementary School.



In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City of Eastvale. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

I, Margo Wuence, Deputy City Clerk, or my designee, hereby certify that a true and correct, accurate copy of the foregoing agenda was posted seventy-two (72) hours prior to the meeting, per Government Code Section 54954.2, at the following locations: City Hall, 12363 Limonite Avenue, Suite 910; Rosa Parks Elementary School, 13830 Whispering Hills Drive; Eastvale Library, 7447 Scholar Way; and on the City's website (www.eastvaleca.gov).

MINUTES
REGULAR MEETING OF THE PLANNING COMMISSION
OF THE CITY OF EASTVALE
Wednesday, May 18, 2016
6:00 P.M.
Rosa Parks Elementary School
13830 Whispering Hills Drive
Eastvale, CA 92880

1. CALL TO ORDER - 6:02 p.m.

2. ROLL CALL/PLEDGE OF ALLEGIANCE

Commissioners present: Commissioners Van Leeuwen, Charlson, and Vice Chair Feng

Commissioners absent: Commissioner Patel and Chair Oblea

Staff Members present: City Attorney Cavanaugh, Planning Director Norris, Senior Planner Kith, Planner Morgan Weintraub, and Recording Secretary Wuence.

The Pledge of Allegiance was led by Commissioner Charlson.

3. PUBLIC COMMENT

There was no public comment.

4. PRESENTATIONS

There were no presentations.

5. ADDITIONS/DELETIONS TO THE AGENDA

There were no Additions or Deletions to the Agenda.

6. CONSENT CALENDAR

6.1 Planning Commission Minutes

RECOMMENDATION: Approve the minutes from the April 20, 2016 regular meeting.

Motion: Moved by Van Leeuwen, seconded by Feng, to approve the Consent Calendar

Motion carried 2-0-1 with Van Leeuwen and Vice Chair Feng voting aye and Commissioner Charlson abstaining.

7. PUBLIC HEARING

- 7.1 PROJECT NO. 15-1662 – Minor Development Review for the installation of a new 50-foot-high wireless telecommunications tower, disguised as a “monopalm,” with ancillary equipment in a 17-foot by 19-foot lease area at 8306 Grapewin Street with an access easement on the adjacent parcel to the north of the project site. The project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) under Section 15303, New Construction or Conversion of Small Structures.

RECOMMENDATION: Staff recommends that the Planning Commission take the following actions:

1. Adopt a Resolution approving Categorical Exemption pursuant to CEQA for Minor Development Plan No. 15-1662; and
2. Adopt a Resolution approving Minor Development Plan No. 15-1662 for the installation of a new wireless facility disguised as a monopalm and ancillary telecommunications equipment in a lease area of approximately 17 feet by 19 feet located at 8306 Grapewin (Assessor’s Parcel Number 380-070-018) with access via an easement on an adjacent lot to the north (Assessors Parcel Number 380-070-019), subject to conditions of approval.

Senior Planner Kith provided a PowerPoint presentation for the item, including location and a summary of the project.

The Public Hearing was opened at 6:10 p.m.

The applicant, Courtney Stenridge, from Verizon, provided a PowerPoint presentation and discussed the benefits to the community, need of customers and the elements of the site selection.

Bill Frescas, engineer from Verizon, discussed coverage areas that would be improved by the new tower and discussed the Radio Frequency Study performed by Hammett and Edison, an independent third party.

Commissioner Van Leeuwen inquired about the credentials of Hammett and Edison and the effect of fire on the facility.

Vice Chair Feng inquired about the maintenance schedule of the tower. It was noted that technicians would frequent the site anywhere from five to ten times per month but if a site is operating well it only requires regular maintenance two times per month.

Commissioner Charlson inquired about the easement upon the sale of the property, the time period of the lease, and the distance of the nearest structure. It

was noted that the easement runs with the land, the lease is 20-25 years, and the nearest structure 144 feet away is a non-habitable dwelling.

John Gretzer, a resident in the area, noted that he is opposed to the tower at that location as he has concerns about safety and the view of the “palm tree”.

Kurt DeStubing, a resident on the property adjacent to the easement, noted that he has safety concerns as there are cancer survivors in the area and concerns about traffic on the easement at all hours to the tower. He believes they can find a better location for the tower.

Susan Pierwell, owner of the horse ranch adjacent to the proposed project, noted concerns about the actual measurements from her home to the tower. She believes the photos of the view provided by Verizon are deceiving. She stated that Verizon told her that they would need access to the tower eight times per week for maintenance. She noted serious health concerns with having a tower so close to homes and the horse trail.

Jim Sullivan, resident of Oceanside, noted that there are health concerns for people, especially cancer survivors, who would be living and sleeping in proximity to the tower. He believes the government should protect residents and requested the Commission vote no on the tower location.

Hiko Itokazu, resident, noted that he is in favor of the tower. He stated that he understands health concerns but noted that he is for technology and improvement. He stated that Radio Frequencies are found all around us, including from televisions and microwaves.

Lyle Smith, resident also noted health concerns and requests the Commission deny the project.

Jane Connor, with Verizon, thanked the community for coming to the meeting and clarified that the lease required is 20-25 years and that 24 hours 7 days access to the tower is required for emergency situations.

Bill Frescas, engineer with Verizon, discussed the Electromagnetic emissions (EME) issues and noted that the FCC mandates measurements and Verizon has to show that they are in compliance. He stated that cell sites are located in parks, churches, and fire stations. He discussed the two different types radiation and EME levels from household items that emit radio waves.

Commissioner Feng initiated discussion regarding “Rad Tags”. Mr. Frescas noted that professionals who work around cell towers are required to use a Rad Tag patch to indicate when a person has been around a certain amount of radiation for too long.

Commissioner Van Leeuwen initiated discussion regarding the nearest site to the tower being referred to as a structure versus a residence. Senior Planner Kith noted that staff was unable to access property to verify if it was a habitable structure and noted that on the site plan it was identified as an existing building. Planning Director Norris noted that at 144 feet, it still is almost three times as far as needed from the tower based on zoning standards.

Commissioner Charlson noted that some of the numbers in the report weren't clear.

The Public Hearing was closed at 7:06 p.m.

Commissioner Van Leeuwen noted that resident input was important and sometimes emotional, making the decision difficult.

Commissioner Charlson thanked the public for their comments and noted that the project has a big effect on the residents in the near vicinity. He also noted that Verizon is trying to provide good service for their many cell phone customers. He noted the challenges for the Commission of hearing and weighing on terminology and measurements that were discussed.

Vice-Chair Feng noted that he lives next to the "Water Tower" cell site on Schleisman. He noted that the applicant and the residents both have legitimate concerns and arguments to be considered.

Commissioner Charlson inquired about the number of and locations of existing cell towers in Eastvale and whether they are on commercial, city, county, or private property. Planning Director Norris noted that most are currently located in parks and residential property, but could come back to provide the information and a map of locations.

Staff reviewed the voting options for the Planning Commission and noted that the Public Hearing could be continued to the next Planning Commission meeting for further discussion with all Commissioners present.

Vice-Chair Feng requested the applicant provide information to ease the minds of the residents relating to their health concerns.

Jane Connor, Verizon representative, noted that the third party independent report provided a summary of EME RF levels on the ground and noted that from the nearest residence they are at least 93% under the FCC health safety standard. She also stated that several health organizations have determined that cell towers are safe.

Commissioner Charlson noted that the Commission is only tasked with determining if the tower is wanted in the proposed location.

City Attorney Cavanaugh emphasized that Federal law mandates that a wireless facility cannot be denied based on health issues alone, there would need to be other reasons for denial.

Motion: Moved by Charlson, seconded by Van Leeuwen for discussion purposes, to deny the project.

Commissioner Van Leeuwen stated that he believes a lot of what was heard was emotional and not factual. He believes the greater community needs to be served and prefers a full Commission to hear the item.

Motion failed 1-2 with Charlson voting aye and Van Leeuwen and Vice Chair Feng voting no.

Motion: Moved by Feng, seconded by Van Leeuwen, to continue the item to the next meeting on June 15, 2016.

Motion passed 3-0 with Charlson, Van Leeuwen, and Vice Chair Feng voting aye.

Commissioner Van Leeuwen requested that the word “structure” be changed to “residence”, if it is indeed a residence.

8. CITY STAFF REPORT

8.1 Planning Department Project Status

Planning Director Norris noted that an updated monthly Planning Department report would be provided to the Commission prior to the next City Council Meeting.

9. COMMISSION COMMUNICATIONS

Commissioner Charlson thanked staff for the monthly Planning Department report. He inquired about the status of the property at Schleisman and Hamner as there is no sidewalk and there is pedestrian traffic from the Silverlakes park.

Commissioner Van Leeuwen inquired about the vacant lot inside the Enclave shopping center. Planning Director Norris noted that there is temporary approval for an interim parking lot area until further development.

Vice-Chair Feng noted that the Eastvale Community Foundation would like to put some artwork on the Water Tower cell site on Schleisman and requested that Verizon, as part owner of the Water Tower, contact the Foundation.

Vice-Chair Feng noted that he has spoken to Councilmember Lorimore regarding a Sister City program.

10. ADJOURNMENT

There being no further business, the meeting was adjourned at 7:35 p.m.

*Submitted by Margo Wuence, Recording Secretary
Reviewed and edited by Marc Donohue, City Clerk*

MINUTES
MEETING OF THE PLANNING COMMISSION
OF THE CITY OF EASTVALE
Wednesday, June 15, 2016
6:00 P.M.

Rosa Parks Elementary, 13830 Whispering Hills Drive, Eastvale, CA 92880

1. CALL TO ORDER: 6:02 p.m.

2. ROLL CALL/PLEDGE OF ALLEGIANCE:

Commissioners Present – Commissioners Van Leeuwen, Patel, Vice-Chair Feng, and Chair Oblea.

Commissioners Absent – Commissioner Charlson.

Staff Members Present – City Attorney Cavanaugh, Planning Director Norris, and Recording Secretary Urtado.

The pledge of allegiance was presented by Chair Oblea.

3. PUBLIC COMMENT:

There was no Public Comment.

4. ADDITIONS/DELETIONS TO THE AGENDA:

There were no additions/deletions to the agenda.

5. CONSENT CALENDAR:

5.1 Planning Commission Minutes –

RECOMMENDATION: Approve the minutes from the May 18, 2016, regular meeting.

Chair Oblea requested that the item be tabled to the next regular meeting.

6. PUBLIC HEARING:

6.1 PROJECT NO. 15-1662 – Minor Development Review for the installation of a new 50-foot-high wireless telecommunications tower, disguised as a “monopalm,” with ancillary equipment in a 17-foot by 19-foot lease area at 8306 Grapewin Street with an access easement on the adjacent parcel to the north of the project site. The project qualifies for a categorical exemption from the California Environmental Quality Act (CEQA) under Section 15303, New Construction or Conversion of Small Structures. **Continued from May 18 regular meeting.**

RECOMMENDATION: Staff recommends that the Planning Commission take the following actions:

1. Adopt a Resolution approving Categorical Exemption pursuant to CEQA for Minor Development Plan No. 15-1662; and
2. Adopt a Resolution approving Minor Development Plan No. 15-1662 for the installation of a new wireless facility disguised as a monopalm and ancillary telecommunications equipment in a lease area of approximately 17 feet by 19 feet located at 8306 Grapewin (Assessor's Parcel Number 380-070-018) with access via an easement on an adjacent lot to the north (Assessor's Parcel Number 380-070-019), subject to conditions of approval.

Planning Director Eric Norris presented a PowerPoint presentation for the item.

There was discussion about exposure limits and radio frequency waves.

The Public Hearing was opened at 6:41 p.m.

Brad Peacock, resident, expressed his concerns and opposition to the project.

Jim Sullivan, explained his representation for an Eastvale resident whom was unable to attend the meeting, concerning opposition to the project.

Susan Peacock, resident, expressed her opposition to the project.

Collin Williamson, resident, spoke in support of the project.

Brenda Williamson, resident, expressed her support for the project.

Adele DeSteuben, resident, spoke in opposition of the project.

Lyle Smith, resident, expressed his concerns opposing the project.

Sean McMullin, resident, expressed his concerns and spoke in opposition to the project.

Nazar Kalayji, resident, spoke in opposition of the project.

John Gratzner, resident, spoke in opposition of the project.

Bashar Madani, resident, spoke in opposition of the project and expressed his concerns.

Christopher Wollan, resident, expressed his concerns with the material presented on the project.

Lithia Whitenhill, resident, spoke in opposition of the project.

Sarah Burnett, resident, spoke in opposition of the project.

Chair Oblea inquired if the applicant was aware of elevation change, and the applicant noted that elevation change was accounted for in their analysis.

The Public Hearing was closed at 7:27 p.m.

Vice-Chair Feng inquired if the cell phone tower would have a camera on the tower and if Verizon could lease the site to other carriers. Planning Director Norris noted that cameras would not be placed on the tower, and that a separate application would be required for another carrier to lease the site.

Planning Director Norris noted that the City of Eastvale reached out to Cal Fire and stated that they did not have any concerns or objections.

Commissioner Patel initiated discussion regarding the regional transportation plan on Archibald and River Road.

Commissioner Patel inquired about minimum height per zoning code for antennas. Planning Director Norris noted that the proposed monopalm is already maxed out in terms of height.

There was discussion regarding topography and concerns of maximum coverage for Eastvale residents.

Chair Oblea inquired about the height of the proposed tower in correlation to home rooftops. Ahmad Smith from Verizon explained that they were not asked to survey that information, due to the zoning code not requiring it.

There was discussion of possible alternative sites that could be potentially used in place of the proposed site on Grapewin Street.

Commissioner Patel thanked the community for attending the meeting, and expressed her concerns with service coverage. Planning Director Norris noted that the City of Eastvale code did not require the applicant to demonstrate coverage.

Commissioner Van Leeuwen expressed his appreciation of residents attending the meeting and encouraged involvement.

Chair Oblea thanked the community for the fantastic response and turnout. He noted that it is the commission's job to protect the community and explained that the project could not be refused on health concerns alone, because there is not any evidence. Chair Oblea requested an analysis for a potential tower at Half Moon Park.

Motion: Moved by Commissioner Patel, to extend Public Hearing with direction of more evidence on coverage and an assessment on Half Moon Park with typography included.

Motion failed for a lack of a second.

Motion: Moved by Commissioner Van Leeuwen, seconded by Vice-Chair Feng, to deny the project based on the proposed site not being an adequate site.

Motion carried 3-1 with Commissioner Van Leeuwen, Vice-Chair Feng, and Chair Oblea voting aye, and Commissioner Patel voting no.

City Attorney Cavanaugh explained that the applicant could apply to appeal the decision to the City Council.

There was discussion if Verizon could return with a new application on a different site, or return with the same location but with modifications.

7. PRESENTATION:

7.1 Presentation on Public Hearings by Planning and the City Attorney

Planning Director Norris suggested that the item could be brought back at a future meeting in light of the lengthy meeting, and the Commission agreed.

Chair Oblea called for a brief recess at 8:06 p.m.

The meeting was called back to order at 8:08 p.m.

8. CITY STAFF REPORT:

8.1 Planning Department Project Status

Planning Director Norris noted that Amazon is working to open within a few weeks to begin operation. He noted that there would be roughly 1,600 human jobs for a total of two shifts, and during the peak season an additional shift would be added. In addition he noted that Volkswagen, Porsche, and Audi would also be coming to Eastvale.

Chair Oblea inquired on any updates on a hospital. City Attorney Cavanaugh noted that at this time there is no news.

Commissioner Patel requested that street addresses be added to the Major Projects Summary update documents.

9. COMMISSION COMMUNICATIONS:

Commissioner Patel shared that she would be installed as President for NAWBO IE (National Association of Women Business Owners).

Chair Oblea inquired on a status of construction for the Eastvale Marketplace project located on Limonite and Sumner. There was discussion, and Planning Director Norris noted that there is grocer that is close to signing a lease.

Chair Oblea also inquired about the extension of time for the property located behind Mayor Bootsma's home. Planning Director Norris explained that there is a high density condominium map, but not a corresponding development approval to go with it. There was discussion if the developer could sell off parcels.

10. ADJOURNMENT:

There being no further business, the meeting was adjourned at 8:19 p.m.



City of Eastvale

Planning Commission Meeting Agenda

Staff Report

MEETING DATE: AUGUST 17, 2016

TO: PLANNING COMMISSION

FROM: KANIKA KITH, SENIOR PLANNER

SUBJECT: **PROJECT NO. 15-06023 – SENDERO TENTATIVE PARCEL MAP NO. 37046 AND REVISED TENTATIVE TRACT MAP NO. 36775–** Tentative Parcel Map to subdivide a 45-acre site into four parcels for financing and conveyance purposes only and revision to the previously approved Tentative Tract Map No. 36775 to allow development of the residential site in four phases.

RECOMMENDATION

Staff recommends that the Planning Commission approve a motion recommending that the City Council take the following actions:

1. Approve Tentative Parcel Map No. 37046 to subdivide a 45-acre site into four parcels for financing and conveyance purposes only, subject to conditions of approval; and
2. Approve Revised Tentative Tract Map No. 36775 to allow development of the residential site in four phases, subject to conditions of approval.

BACKGROUND

On June 10, 2015, the City Council approved a General Plan Amendment, Change of Zone, Planned Residential Development Standards, and Tentative Tract Map No. 36775 for the project site. The project site is approximately 45 acres located at the northwest corner of Limonite Avenue and Harrison Avenue, as shown in **Figure 1**. A conceptual site plan illustrating how the site would be developed is shown in **Figure 2**.

The following entitlements were approved by the Council:

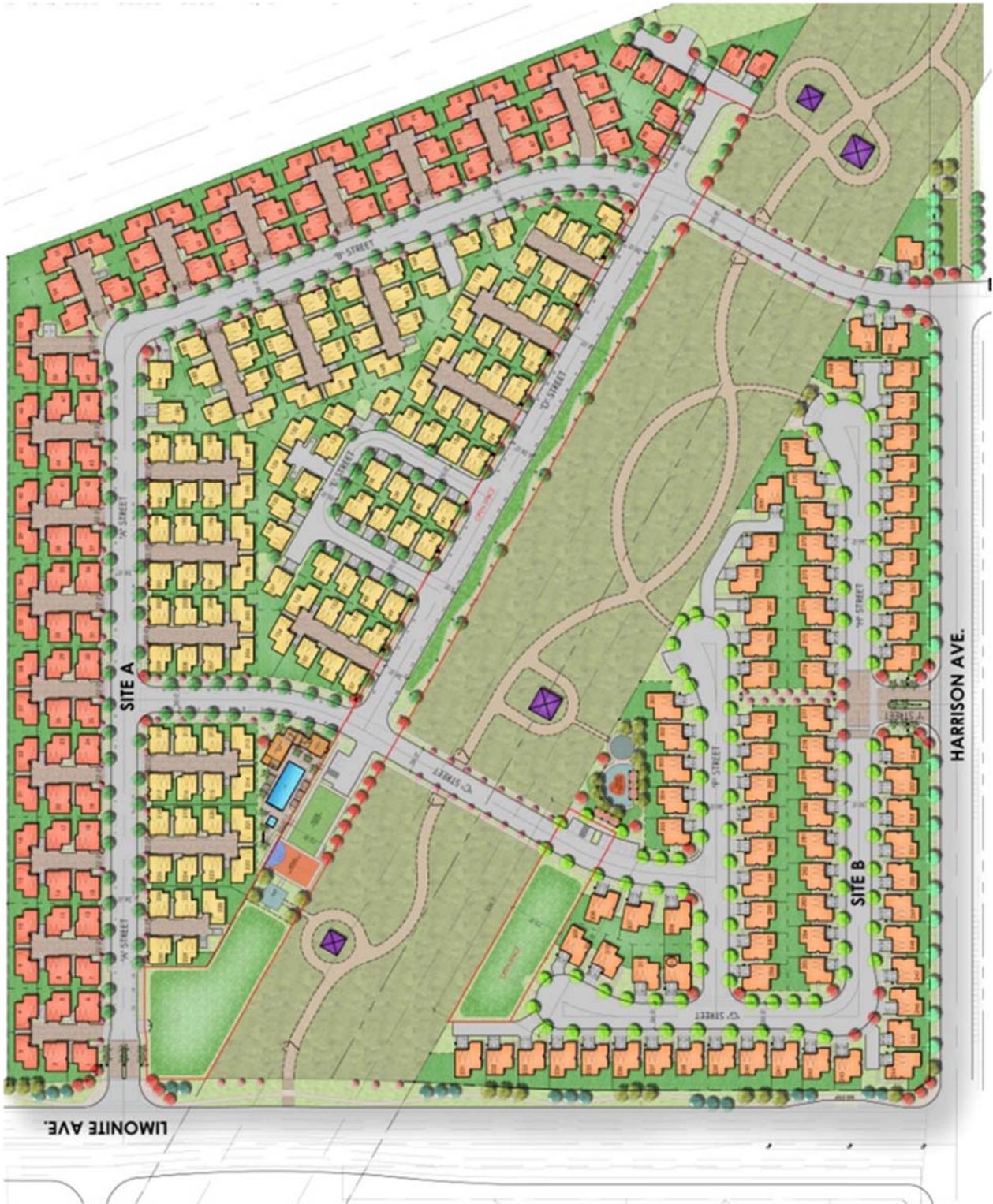
- A General Plan Amendment from Medium Density Residential (MDR) of 2.1 to 5 dwelling units per acre to Medium High Density Residential (MHDR) of 5.1 to 8 dwelling units per acre; and
- A Change of Zone from Single Family Residential (R-1) to Planned Residential Development; and
- Planned Residential Development Standards for the site; and
- Tentative Tract Map No. 36775 for the subdivision of the approximately 45-acre site into 323 parcels for single-family detached homes and 14 lettered parcels for open space and water quality basins.

The applicant's submittal and the City's approvals assumed that the entire project would be developed by one builder (most likely Stratham Homes). Because of this, the applicant did not submit what is typically referred to as a "phasing map," which is a parcel map that divides the overall subdivision map into smaller pieces that can be sold to individual homebuilders.

Figure 1: Aerial Photograph of Project Site



Figure 2: Conceptual Site Plan



PROJECT DESCRIPTION

As noted above, the applicant's original submittal package did not include a parcel map (or "phasing map") that would allow the project to be split and sold to individual homebuilders. The project was therefore reviewed and approved assuming that one party—most likely Stratham Homes, but potentially a subsequent owner—would be responsible for building the roads and other infrastructure that would be needed to develop the site.

However, the applicant, Stratham Community Builders, subsequently decided that it may seek individual buyers for portions of the project, and is now seeking to add the ability to split the project into pieces and build in phases.

To accomplish this, the applicant is requesting approval of the following:

- Tentative Parcel Map No. 37046 (TPM 37046) to subdivide the approximately 45-acre site into four parcels to allow four individual ownerships of the site; and
- Revised Tentative Tract Map No. 36775 (TTM 36775) to allow development of the project in four phases in which each phase corresponds with the proposed parcel map. The entire subdivision must be recorded before development of any of the phases can take place.

DISCUSSION

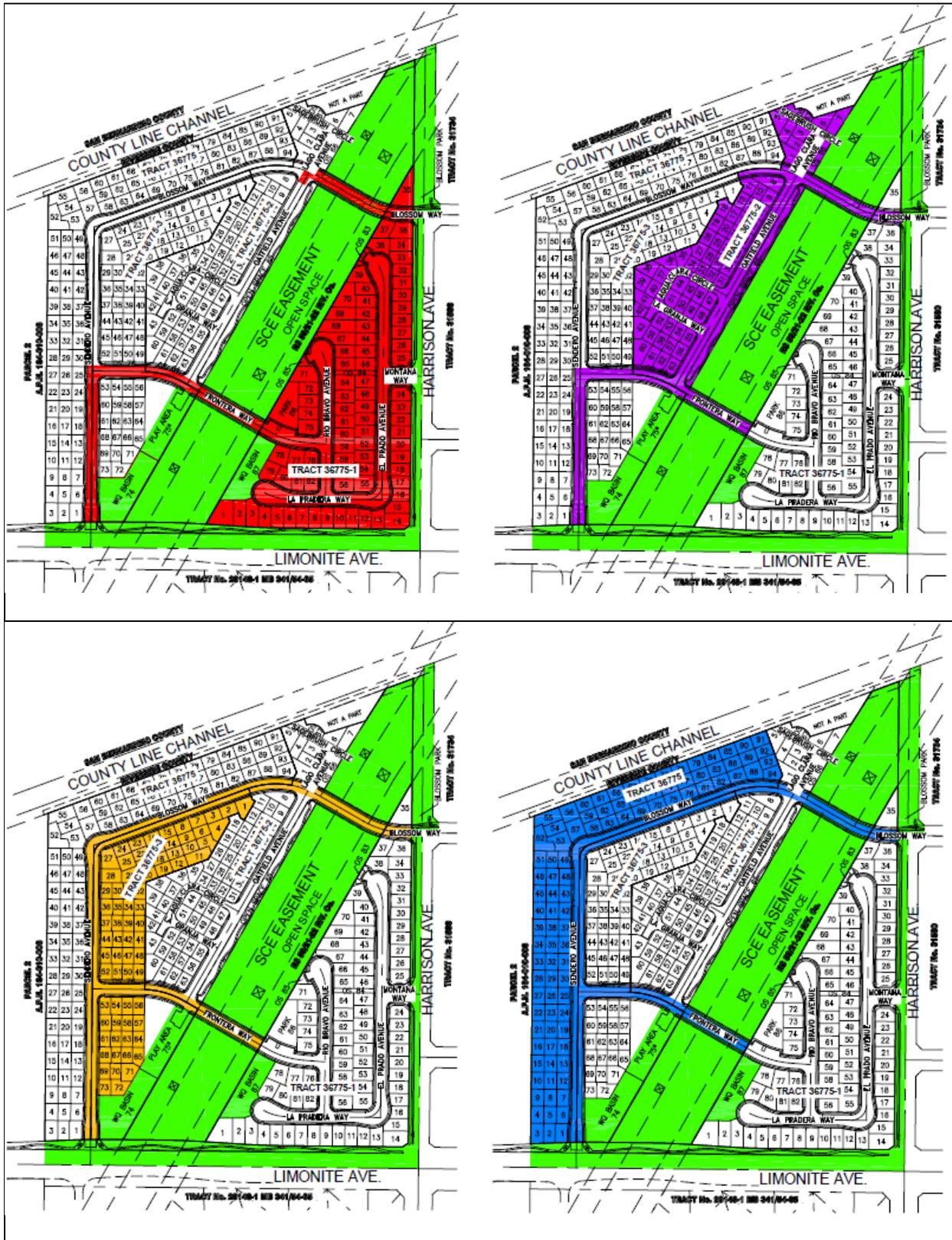
Together, the requested approvals would allow the project to be developed by up to four different builders. The proposed TPM is shown in **Figure 3** and also included as **Attachment 4**.

Table 1: Matrix Showing Infrastructure Required by Parcel

TRACT	ALL IMPROVEMENTS TO LIMONITE AND HARRISON	SCE EASEMENT IMPROVEMENTS	SENDERO AVENUE	BLOSSOM WAY	FRONTERA WAY	LOTS 74 & 87 WATER QUALITY BASINS	LOT 75 OPEN PLAY AREA (NOT INCLUDING THE POOL)	BLOSSOM PARK ON HARRISON
36775-1	X	X	X (LIMONITE TO FRONTERA)	X (HARRISON TO GATFIELD)	X	X	X	X
36775-2	X	X	X (LIMONITE TO FRONTERA)	X (HARRISON TO GATFIELD)	X (SENDERO TO SCE ESMT)	X	X	X
36775-3	X	X	X	X	X (SENDERO TO SCE ESMT)	X	X	X
36775	X	X	X	X	X (SENDERO TO SCE ESMT)	X	X	X

NOTE: ALL IMPROVEMENTS DONE OUTSIDE OF THE TRACT BOUNDARIES (WITH THE EXCEPTION OF HARRISON, LIMONITE AND WITHIN THE SCE EASEMENT) WILL BE CURB TO CURB ONLY.

Figure 4: Illustration Showing Infrastructure Required by Parcel



As shown above, the following facilities will be developed as part of Phase I regardless of which parcel gets developed first:

- Limonite Avenue (half-width), including bus stop and shelter
- Harrison Avenue (half-width)
- Trails in the Southern California Edison easement
- Blossom Way and Blossom Park, include par-course exercise station
- Nongated recreational area adjacent to the recreation building and pool, including par-course exercise station
- Both water quality basins

Also with the first phase, the portion of Harrison Avenue north of Blossom Way will be vacated for vehicle transportation. The City will retain the right-of-way for utility and trail use. The vacated portion of Harrison Avenue will be incorporated into the trail network that is also part of the SCE right-of-way.

The previously approved TTM had a condition requiring the applicant to obtain approval from the City Council for the street vacation prior to recordation of the final map. The applicant is working with Public Works on this process and it will be presented to Council for approval prior to developing Blossom Park.

The conditions of approval for TTM No. 36775 have been modified as follows:

- Added the phasing matrix and exhibits
- Added language regarding bonding for the improvements completed with the first phase and bonding for the internal street and infrastructures
- Added condition to require the applicant to build the private recreation center (the gated area) prior to the issuance of the 150th residential building permit
- Added condition to require the applicant to build the tot lot prior to the issuance of the 83rd residential building permit

General Plan Consistency

The proposed project is a land division to divide a 45-acre site into four parcels to create four saleable lots and phasing of the approved TTM 36775.

Future development on this 45-acre site was approved in 2015. The future development of this site was determined to be consistent with the land use designation of Medium High Density Residential (MHDR), which allows a density of 5.1 to 8 dwelling units per acre.

Therefore, this proposed subdivision is consistent with the General Plan.

Zoning Code Compliance

The zoning for the project site is Planned Residential Development, which means the project is subject to the development standards identified in the Sendero Planned Residential Development Standards, which were adopted by City Council on June 10, 2015.

The proposed subdivision conforms to the Sendero Planned Residential Development in that the new parcels satisfy the minimum lot width requirement.

Public Hearing Notification and Comment

The proposed project requires a 10-day public hearing notification period for property owners located within a 600-foot radius of the project site. The notification was sent on August 4, 2016, for the Planning Commission meeting on August 17, 2016. At the time of preparing this staff report, no comment was received.

Environmental Review

Section 15162 of the California Environmental Quality Act (CEQA) Statutes and Guidelines states that when a mitigated negative declaration (MND) has been certified for a project, no subsequent MND shall be prepared unless the lead agency determines so on the basis of substantial change in the project which would require major revisions in the MND. On June 10, 2015, the Eastvale City Council adopted an MND for approval of a General Plan Amendment, Change of Zone, Planned Residential Development, and Tentative Tract Map No. 36775. The requested approval of Tentative Parcel Map No. 37046 and Revised Tentative Tract Map No. 36775 does not include changes to the development shown in the approved Tentative Tract Map, and therefore would not require any revisions in the MND.

Recommendation

Staff recommends that the Planning Commission recommend that the City Council take the following actions:

- Approve Tentative Parcel Map No. 37046 to subdivide a 45-acre site into four parcels for financing and conveyance purposes only, subject to conditions of approval; and
- Approve Revised Tentative Tract Map No. 36775 to allow development of the residential site in four phases, subject to the revised conditions of approval.

Planning Commission Options

The following alternatives are available to the Planning Commission:

- Recommend approval of the project with additional changes and/or conditions.
- Continue the public hearing and direct the applicant to make revisions.
- Recommend denial of the project.

As noted above, staff's recommendation is that the Planning Commission recommend approval of all components of the proposed project to the City Council.

FISCAL IMPACT

Conditions of approval on the project require the payment of development impact fees to offset the incremental increase in the cost of providing services as a result of this project. The developer of the project will be responsible for the construction of all infrastructure, park, trail, and street improvements needed for the project. Maintenance costs for public improvements will be provided through a variety of mechanisms acceptable to the City.

As a result, the project is not expected to have a direct financial impact on the City's budget.

ATTACHMENTS

1. Conditions of Approval for Tentative Parcel Map
2. Condition of Approval for Tentative Tract Map Phasing
3. Notification Map
4. Tentative Parcel Map Exhibit
5. Tentative Tract Map Phasing Exhibit and Bonding

Prepared by: Kanika Kith, Senior Planner
Reviewed by: Eric Norris, Planning Director
John Cavanaugh, City Attorney

ATTACHMENT 1
CONDITIONS OF APPROVAL FOR
TENTATIVE PARCEL MAP

CONDITIONS OF APPROVAL

Project No. 14-1398: Sendero Tentative Parcel Map No. 37046 to subdivide an approximately 45-acre site into four parcels for financing and conveyance purposes only. Project site is located at northeast corner of Limonite and Harrison.

Assessor’s Parcel Numbers: 164-010-025

Planning Commission Review Date: August 17, 2016

City Council Action:

Conditions of Approval		Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
General Conditions				
1.	In compliance with Section 15075 of the California Environmental Quality Act (CEQA) Guidelines, a Notice of Determination (NOD) shall be filed with the Riverside County Clerk within five (5) days of project approval. The NOD shall include the required California Department of Fish and Wildlife (CDFW) (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to the Riverside County Clerk in the amount of \$50.00 no later than _____, 2016 . Failure to pay the required fee will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c). The fee is broken down as follows: a. Riverside County Clerk administrative fee of \$50.00.		Planning Department	
2.	The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department no later than _____.		Planning Department	

	Applicant Signature	Date		

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<p>3. The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under CEQA, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.</p>	Ongoing	Planning Department	
<p>4. The Final Parcel Map shall be developed in accordance with the Tentative Parcel Map approved by the City Council on _____. The applicant may request approval for any modifications/revisions to the approved project as outlined in the Eastvale Zoning Code and/or Subdivision Map Act.</p>	Ongoing	Public Works and Planning Departments	

Conditions of Approval		Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
5.	Any approval shall not be final until and unless the applicant's deposit account to cover the costs of application processing is made current and a positive balance of at least \$10,000 is on hand to cover the costs of staff review and follow-up during the construction process. Make check payable to the City of Eastvale and include Project No. 15-05023 on the check.	Ongoing	Planning, Public Works, and Building Departments	
6.	No permits (building permit, grading permit, etc.) shall be issued without recordation of Tract Map No. 36775.	Ongoing	Public Works Department	
Prior to Recordation of Final Map				
7.	The final map shall include a note on the map stating that development of the land covered under Parcel Map No. 37046 shall be subjected to Tract Map No. 36775 and its conditions of approval.	Prior to map recordation	Public Works Department	

GENERAL COMPLIANCE ITEMS/REQUIREMENTS AND INFORMATION

The following items are noted for the applicant's information. These items are required by the City, other local agencies, or state and federal agencies, and are not conditions of approval of the project.

1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned. Amended entitlement approvals may be necessary as a result.
2. Applicants are responsible for all costs associated with off-site right-of-way acquisition, including any costs associated with the eminent domain process, if necessary.
3. Should this project lie within any assessment/benefit district, the project proponent shall, prior to acceptance of improvements, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district unless said fees are otherwise deferred.

ATTACHMENT 2

CONDITION OF APPROVAL FOR

TENTATIVE TRACT MAP PHASING

CONDITIONS OF APPROVAL

Project No. 15-06023: Sendero Revised Tentative Tract Map No. 36775 to allow development of the residential site in four phases.

Assessor’s Parcel Numbers: 164-010-025

Planning Commission Review Date: August 17, 2016

City Council Action:

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
General Conditions			
1. In compliance with Section 15075 of the CEQA Guidelines, a Notice of Determination (NOD) shall be filed with the Riverside County Clerk within five (5) days of project approval. The NOD shall include the required California Department of Fish and Wildlife (CDFW) (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to the Riverside County Clerk in the amount of \$50.00 no later than _____. Failure to pay the required fee will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c)). The fee is broken down as follows: a. Riverside County Clerk administrative fee of \$50.00.		Planning Department	
2. The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department no later than _____. <hr/> Applicant Signature Date		Planning Department	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<p>3. The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under CEQA, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.</p>	<p>Ongoing</p>	<p>Planning Department</p>	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
4. The project shall be developed in accordance with the Neighborhood Design Standards of PRD No. 14-1398 approved by the City Council on June 10, 2015, and with the Revised Tentative Tract Map No. 36775 approved by the City Council on _____. The applicant may request approval for any modifications/revisions to the approved project as outlined in the Eastvale Zoning Code and/or Subdivision Map Act.	Ongoing	Public Works and Planning Departments	
5. Any approval shall not be final until and unless the applicant's deposit account to cover the costs of application processing is made current and a positive balance of at least \$10,000 is on hand to cover the costs of staff review and follow-up during the construction process. Make check payable to the City of Eastvale and include Project No. 15-06023 on the check.	Ongoing	Planning, Public Works, and Building Departments	
6. If burrowing owls are found to be present on-site, the project applicant shall develop a conservation strategy in cooperation with the CDFW and the Western Riverside County Regional Conservation Authority in accordance with the CDFW's <i>Staff Report on Burrowing Owl Mitigation</i> (2012). (<i>Mitigation Measure BIO-3</i>)	Ongoing	Public Works, Planning, and Building Departments	
Prior to Recordation of Final Map			
7. Parcel Map No. 37046 shall be approved and recorded prior to recordation of Final Tract Map No. 36775.	Prior to recordation of final map	Public Works Department	
8. The final map shall demonstrate that a notice approved by the Airport Land Use Commission (ALUC) (sample of the notice is provided in Figure 1 below) will be provided to all potential purchasers of the property and shall be recorded as a deed notice (avigation easement; must include language in Condition No. 11) recognizing the proximity of the Chino Airport and the potential for aircraft over flight. (<i>Mitigation Measure TRA-3</i>)	Prior to recordation of final map	Public Works and Planning Departments	

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
9.	The final map shall demonstrate that all open space areas designated and approved by ALUC (see Condition No. 12) will be kept free of structures and other major obstacles such as walls, large trees, or poles (greater than 4 inches in diameter, measured 4 feet above the ground), and overhead wires. Small trees and shrubs that exceed 4 feet in height and/or thickness of 4 inches may be allowed along the edge of open space areas where the area abuts a wall or other similar feature, provided they are planted within 4 feet of the wall. (<i>Mitigation Measure TRA-5</i>)	Prior to recordation of final map	Public Works and Planning Departments	
10.	The final map shall demonstrate that a disclosure will be provided to all future residents of Lots 94 and 95 (see Figure 3 of the IS/MND and included as Figure 2 below) of the potential for Chino Desalter Authority (CSA) well noise located on the adjacent CDA lot. (<i>Mitigation Measure NOI-3</i>).	Prior to recordation of final map	Planning Department	
11.	The final map shall demonstrate that the following uses will be prohibited: <ul style="list-style-type: none"> a. Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator. b. Any use which would cause sunlight to be reflected toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport. c. Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses 	Prior to recordation of final map	Public Works and Planning Departments	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<p>include landscaping utilizing water features, aquaculture, production of cereal grains, sunflowers, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)</p> <p>d. Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.</p> <p>e. Highly noise-sensitive outdoor nonresidential uses, children's schools, hospitals, and nursing homes.</p> <p><i>(Mitigation Measure TRA-2)</i></p>			
<p>12. The final map shall demonstrate that the open space area as designated and approved by ALUC shall remain as open space in accordance with the rules and regulations of the ALUC as they may exist at that time. (Added by the ALUC on October 9, 2014.) <i>(Mitigation Measure TRA-6)</i></p>	<p>Prior to recordation of final map</p>	<p>Public Works and Planning Departments</p>	
<p>13. A final cancellation of the agriculture preservation shall be obtained and recorded.</p>	<p>Prior to recordation of final map</p>	<p>Public Works and Planning Departments</p>	
<p>14. The applicant shall obtain approval from City Council for the street vacation of a portion of Harrison Avenue north of Blossom Way. The vacation shall be subjected to the property owners' approval on the easterly side of the center line. The City will retain the easements for public utility, trail, and pedestrian access purposes. The vacated portion of Harrison Avenue will be incorporated into the trail network within the SCE right-of-way.</p>	<p>Prior to recordation of final map</p>	<p>Public Works Department</p>	

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
15.	<p>The applicant shall dedicate rights-of-way for, and design Limonite Avenue, and Harrison Avenue, as listed below, in accordance with the City of Eastvale Road Improvement Standards & Specification, Improvement Plan Check Policies and Guidelines, to the satisfaction of the City Engineer.</p> <p>A. Limonite Avenue: 76 feet north of the centerline from Harrison Avenue to west project limits, except when additional width is required at street intersection(s) which shall be as depicted in the traffic study and/or street improvement plans.</p> <p>B. Harrison Avenue, 37 feet west of the centerline from Limonite Avenue to north project limits, except when additional width is required at street and/or driveway intersection(s) which shall be as depicted in the traffic study and/or street improvement plans.</p> <p>C. Necessary right-of-way for the modification of traffic signals as required by the traffic study.</p>	Prior to recordation of final map	Public Works Department	
16.	<p>The applicant shall establish, to the City's and the Jurupa Community Services District's (JCSD) satisfaction, plans to provide adequate funding for the cost of the construction and acquisition of public park improvements as required by the City and the JCSD and for the ongoing maintenance in perpetuity of parks, parkways, and open space areas, including street trees, trails, entry monumentation, landscaping, and appurtenances. This condition may be satisfied through the formation of or annexation to a community facilities district or other forms of financing acceptable to the City and the JCSD.</p>	Prior to recordation of final map	Public Works Department	
17.	<p>The applicant shall prepare CC&Rs which call for the establishment of a homeowners association for this project that shall at a minimum provide for maintenance, operation, and replacement (if needed) in perpetuity of community facilities including, but not limited to, mailboxes.</p>	Prior to recordation of final map	Public Works and Planning Departments; City Attorney	

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
18.	The applicant and/or developer shall dedicate, design, and improve all internal streets as shown on the Tentative Tract Map in accordance with the City of Eastvale Road Improvement Standards & Specifications and Improvement Plan Check Policies and Guidelines, and to the satisfaction of the City Engineer.	Prior to recordation of final map	Public Works Department	
19.	Various blanket and specific transportation and/or water easements that are no longer in use are to be quit claimed/abandoned on the final map.	Prior to recordation of final map	Public Works Department	
20.	<p>The developer shall guarantee by posting security(ies) for the construction of public facilities under the jurisdiction of the City of Eastvale and/or other service agencies to the satisfaction of each respective agency and the City Engineer, including but not limited to:</p> <ul style="list-style-type: none"> • Public streets and appurtenances • Private streets as needed for circulation and emergency vehicular access, and as needed for water and drainage purposes • Storm drain facilities up to 36 inches in diameter • Water and sewer • Traffic signal equipment, including fiber optic lines from signal at Harrison and Limonite to westerly property limits for future interconnected traffic signal system • Flood control facilities 	Prior to recordation of final map	Public Works Department	
21.	The developer shall record appropriate easement(s) to the homeowner association in perpetuity and agreement(s) for the construction and maintenance of water quality basin(s) to meet the Storm Water Permit/Water Quality Management Plan requirements and in compliance with National Pollutant Discharge Elimination System requirements.	Prior to recordation of final map	Public Works Department	

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
22.	The final map shall show that the SCE easement is not to be used to satisfy the open space requirement imposed by the ALUC.	Prior to recordation of final map	Public Works and Planning Departments	
23.	The developer shall enter into a Subdivision Improvement Agreement with the City to include all public improvements the developer is conditioned to construct as part of this approval. See the bonding language and exhibit included as Exhibit 1 .	Prior to recordation of final map	Public Works Department	
24.	The final map shall show that public improvements, including recreational amenities (Blossom Park, trails in SCE easement, and nongated recreational area on Lot 75), will be developed in accordance with the Infrastructure Improvements table and exhibits included as Exhibit 1 to this document. A note shall be added on the final map stating that all public improvements and amenities in Exhibit 1 shall be completed prior to issuance of building permit for the 1 st residential unit.	Prior to recordation of final map	Public Works and Planning Departments	
25.	The final map shall show that Lot 86 will be developed as a park prior to the issuance of building permit for the 83 rd residential unit.	Prior to recordation of final map	Public Works and Planning Departments	
26.	The final map shall show that the private recreation center (the gated area) on Lot 75 will be constructed prior to the issuance of building permit for the 150 th residential unit.	Prior to recordation of final map	Public Works and Planning Departments	
27.	The applicant shall enter into an agreement with the City for bonding and improvements of all internal private street and infrastructures per Exhibit 1 .	Prior to recordation of final map	Public Works Department	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
Prior to Improvement Plan Acceptance or Approval			
28. The developer shall execute a Maintenance Agreement/Memorandum of Understanding with the City and JCSD for the maintenance, operation, and repair of common facilities, including but not limited to mailboxes, water quality basins and their appurtenances, entry monuments, decorative pavements, landscaping, street lighting, and open space/trails.	Prior to improvement plan acceptance	Planning and Public Works Departments; JCSD	
29. The applicant and/or developer shall submit a signing and striping and traffic signal modification plan for this project. The project proponent shall be responsible for any additional paving (include grinding and overlay to centerline of Limonite Avenue along the front of the project site), channelization, and/or striping removal caused by the striping plan as well as any traffic signal modifications for the intersection of Limonite Avenue at Harrison Avenue to the satisfaction of the City Engineer. Pavement and/or striping transitions on Limonite Avenue may extend beyond Sumner Avenue and up to Archibald Avenue. Pavement and/or striping transitions on Harrison Avenue may also extend south of Limonite Avenue (for proper striping transitions) and to the north project limit.	Prior to improvement plan acceptance	Public Works Department	
30. For intersection improvements that are not part of the development impact fees adopted by the City, the proposed project shall pay its pro rata share of improvement costs as shown in Table 16-10 of the IS/MND and included as Figure 3 below, or as approved by the City Engineer. (<i>Mitigation Measure TRA-7</i>)	Prior to improvement plan acceptance	Planning, Building, and Public Works Departments	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
Prior to issuance of grading permit			
<p>31. The project applicant shall incorporate the requirements listed below in all rough and/or precise grading plan documents and the applicant's construction inspector shall monitor to ensure that measures are implemented during construction:</p> <ul style="list-style-type: none"> • The project applicant shall conduct construction and clearing activities outside of the avian nesting season (September 1–January 14), where feasible. Preconstruction surveys for nesting raptors and migratory birds (including ground-nesting birds) shall be conducted by a qualified biologist, no more than 14 days before initiation of construction activities regardless of season. The qualified biologist shall survey the construction zone and a 250-foot radius surrounding the construction zone, where feasible, to determine whether the activities taking place have the potential to disturb or otherwise harm nesting birds. • If an active nest is located within 100 feet (250 feet for raptors) of construction activities, the project applicant shall establish an exclusionary zone (no ingress of personnel or equipment at a minimum radius of 100 feet or 250 feet, as appropriate, around the nest). Alternative exclusionary zones may be established through consultation with the California Department of Fish and Wildlife and the US Fish and Wildlife Service, as necessary. The exclusionary zones shall remain in place until all young have fledged or the nest is deemed inactive by a qualified biologist. <p>Reference to this requirement and to the Migratory Bird Treaty Act shall be included in the construction specifications. (<i>Mitigation Measure BIO-1</i>)</p>	<p>Prior to issuance of demolition permit or grading permit</p>	<p>Public Works and Planning Departments</p>	

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
32.	Per the Multiple Species Habitat Conservation Plan Species-Specific Objective 6, preconstruction presence/absence surveys for burrowing owl shall be conducted by a qualified biologist within 500 feet of the project work areas, where feasible. Surveys shall be conducted for all covered activities through the life of the building permit and shall be conducted within 30 days prior to any vegetation removal or ground disturbance. All occupied burrows will be mapped on an aerial photo. Take of active nests shall be avoided during construction. If construction is delayed or suspended for more than 30 days after the survey, the work area shall be resurveyed. (<i>Mitigation Measure BIO-2</i>)	Prior to issuance of demolition permit or grading permit	Public Works and Planning Departments	
33.	Prior to the issuance of a grading permit, the developer shall pay all necessary fees as determined by the City Engineer to include but not be limited to Multiple Species Habitat Conservation Plan (MSHCP) fees and grading permit fees.	Prior to issuance of grading permit	Public Works and Building Departments	
34.	<p>All grading plans shall incorporate the recommendations of the geotechnical investigation dated January 18, 2005, prepared by CHJ; the geotechnical due diligence review and manure investigation dated November 20, 2013, prepared by Leighton and Associates (as amended or updated); and the geotechnical exploration dated December 12, 2013, prepared by Leighton and Associates (as amended or updated) into project plans related to the proposed project. These studies must be updated and approved by the City prior to any grading operation.</p> <p>The grading plans shall demonstrate that they incorporate all applicable recommendations of the design-level geotechnical study and comply with all applicable requirements of the latest adopted version of the California Building Standards Code. A licensed professional engineer shall prepare the plans, including those that pertain to soil engineering, structural foundations, pipeline excavation, and installation. All on-site soil engineering activities shall be conducted under the supervision of a</p>	Prior to issuance of grading permit	Public Works and Building Departments	

	Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
	licensed geotechnical engineer or certified engineering geologist. (<i>Mitigation Measure GEO-1</i>).			
35.	<p>Prior to issuance of any grading permit, the project applicant shall submit a liquefaction and seismic settlement study to the City of Eastvale for review and approval. The liquefaction and seismic settlement study shall be prepared by a qualified engineer and identify grading and building practices necessary to ensure stable building conditions. The project applicant shall incorporate the recommendations of the approved project-level liquefaction and seismic settlement study into project plans as directed by the City Engineer.</p> <p>The construction plans shall demonstrate that they incorporate all applicable recommendations of the liquefaction study and comply with all applicable requirements of the latest adopted version of the California Building Standards Code. A licensed professional engineer shall prepare the plans, including those that pertain to soil engineering, structural foundations, and installation. All on-site soil engineering activities shall be conducted under the supervision of a licensed geotechnical engineer or certified engineering geologist. (<i>Mitigation Measure GEO-2</i>).</p>	Prior to issuance of grading permit	Public Works and Building Departments	
36.	At least 30 days prior to seeking a grading permit, the applicant shall coordinate with the City to develop a Cultural Resources Treatment and Monitoring Agreement. The agreement shall address the treatment and final disposition of any cultural resources, sacred sites, and human remains discovered on the project site; designation, responsibilities, and participation of Native American tribal monitors during ground-disturbing activities; project grading and development scheduling; and terms of compensation. If subsurface archaeological resources are discovered during grading related to development associated with the project, the project applicant, the project archaeologist, and the	Prior to issuance of grading permit	Planning and Public Works Departments	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<p>appropriate tribe(s) shall assess the significance of such resources and shall meet and confer regarding the mitigation for such resources, in accordance with the Cultural Resources Treatment and Monitoring Agreement. If the parties cannot agree on the significance or the mitigation for such resources, these issues will be presented to the City’s Planning Director for decision. The Planning Director shall make the determination based on the provisions of CEQA with respect to archaeological resources and shall take into account the religious beliefs, customs, and practices of the appropriate tribe. Notwithstanding any other rights available under the law, the decision of the Planning Director shall be appealable to the City of Eastvale (Planning Commission and City Council). (<i>Mitigation Measure CUL-3</i>)</p>			
<p>37. A construction-related noise mitigation plan shall be submitted to the City for review and approval. The construction-related noise mitigation plan must demonstrate the following:</p> <ol style="list-style-type: none"> a. Depict the location of construction equipment and specify how the noise from this equipment will be mitigated during project construction. Construction noise-reducing methods can include, but are not limited to, temporary noise attenuation fences, preferential location of equipment, length of equipment use and idling time in compliance with state regulations, and use of current noise suppression technology and equipment. b. The following measures shall be implemented, consistent with the City General Plan, to reduce the impacts of construction noise: <ul style="list-style-type: none"> • During all project site excavation and grading on-site, construction contractors shall equip all construction equipment, fixed or mobile, with properly operating and maintained mufflers, consistent with manufacturer standards. The construction contractor shall place all stationary construction equipment so that emitted noise is directed away 	<p>Prior to issuance of grading permit</p>	<p>Public Works and Planning Departments</p>	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<p>from the noise-sensitive receptors nearest the construction area.</p> <ul style="list-style-type: none"> The construction contractor shall limit haul truck deliveries to the same hours specified for construction equipment. To the extent feasible, haul routes shall not pass sensitive land uses or residential dwellings. Haul routes shall be approved by the City Engineer. All construction, maintenance, or demolition activities associated with the proposed project shall be limited to the hours between 7:00 AM and 6:00 PM. <p><i>(Mitigation Measure NOI-4)</i></p>			
Prior to Ground-Disturbing Activities			
<p>38. The applicant shall remove and dispose of all manure and organic-rich soils that are currently found on the site to an approved off-site location as detailed in the Geotechnical Due Diligence Review and Manure Investigation Study conducted by Leighton and Associates in the MND, as amended or updated. As an alternative to removing all of the manure and organic-rich soil, the applicant may mix a portion (an organic soil range of 5 percent or less) of the organic-rich soil with clean soils. Additionally, the applicant shall remove the upper 12 inches of soil found below the manure and dispose of the soil at an approved off-site location. <i>(Mitigation Measure GEO-4).</i></p>	<p>Prior to grading/ construction activities</p>	<p>Public Works Department</p>	
<p>39. The organochlorine pesticide (OCP)-impacted soil identified by the Phase I and Limited Phase II ESAs in the MND must be excavated and disposed of off-site prior to redevelopment of the subject site for residential use. After removal of contaminated soils, soil samples shall be collected from the resulting excavation sidewalls and bottom to determine whether all OCP-impacted soil has been effectively removed. <i>(Mitigation Measure HAZ-2)</i></p>	<p>Prior to grading/ construction activities</p>	<p>Public Works Department</p>	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
During Grading/Construction			
40. If cultural resources are discovered on the project site, work shall be halted immediately within 50 feet of the discovery and the resources shall be evaluated by a qualified archeologist and the 11 tribes consulted with through the SB 18 process (Appendices 3c–3n in the IS/MND). Any unanticipated cultural resources that are discovered shall be evaluated and a final report prepared by the qualified archeologist. The report shall include a list of the resources discovered, documentation of each site/locality, interpretation of the resources identified, and the method of preservation and/or recovery for identified resources. In the event the significant resources are recovered and if the qualified archaeologist and the tribe determine the resources to be historic or unique, avoidance and/or mitigation would be required pursuant to and consistent with CEQA Guidelines Sections 15064.5 and 15126.4, Public Resources Code Section 21083.2, and the Cultural Resources Treatment and Monitoring Agreement required by Mitigation Measure CUL-3. (<i>Mitigation Measure CUL-1</i>).	Implemented during ground-disturbing activities	Planning and Public Works Departments	
41. The landowner shall relinquish ownership of all cultural resources, including sacred items, burial goods, and all archaeological artifacts, that are found on the project site to the appropriate tribe for proper treatment and disposition. (<i>Mitigation Measure CUL-2</i>)	Implemented during ground-disturbing activities	Planning and Public Works Departments	
42. If paleontological resources are encountered during grading or project construction related to development contemplated in association with the proposed project, all work in the area of the find shall cease. The project applicant shall notify the City of Eastvale, and a qualified paleontologist shall evaluate the finds and recommend appropriate next steps to ensure that the resource is not substantially adversely impacted, including but not limited to avoidance, preservation in place, excavation, documentation, curation, data recovery, or other appropriate measures. The qualified paleontologist shall make	Implemented during ground-disturbing activities	Planning and Public Works Departments	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<p>recommendations as to the paleontological resource's disposition to the City's Planning Director. The project applicant shall pay for all required treatment and storage of the discovered resources. (<i>Mitigation Measure CUL-4</i>)</p>			
<p>43. Due to the age of the buildings, hidden or unknown suspect Asbestos containing material (ACM) or lead-containing/coated materials may be uncovered during possible demolition or renovation activities. For any removal of lead-containing components included in any renovation/demolition, a waste profile shall be conducted prior to disposal. Additionally, all ACMs and lead removal/demolition and other identified hazardous material waste is required to be disposed of in accordance with all local, state, and federal regulations and Leighton Consulting's policies and procedures contained in Appendix 5 of the MND. (<i>Mitigation Measure HAZ-1</i>)</p>	<p>Implemented during ground-disturbing/construction activities</p>	<p>Planning and Public Works Departments</p>	

Figure 1: Notice to Buyers

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

Figure 2: Lots 94 and 95

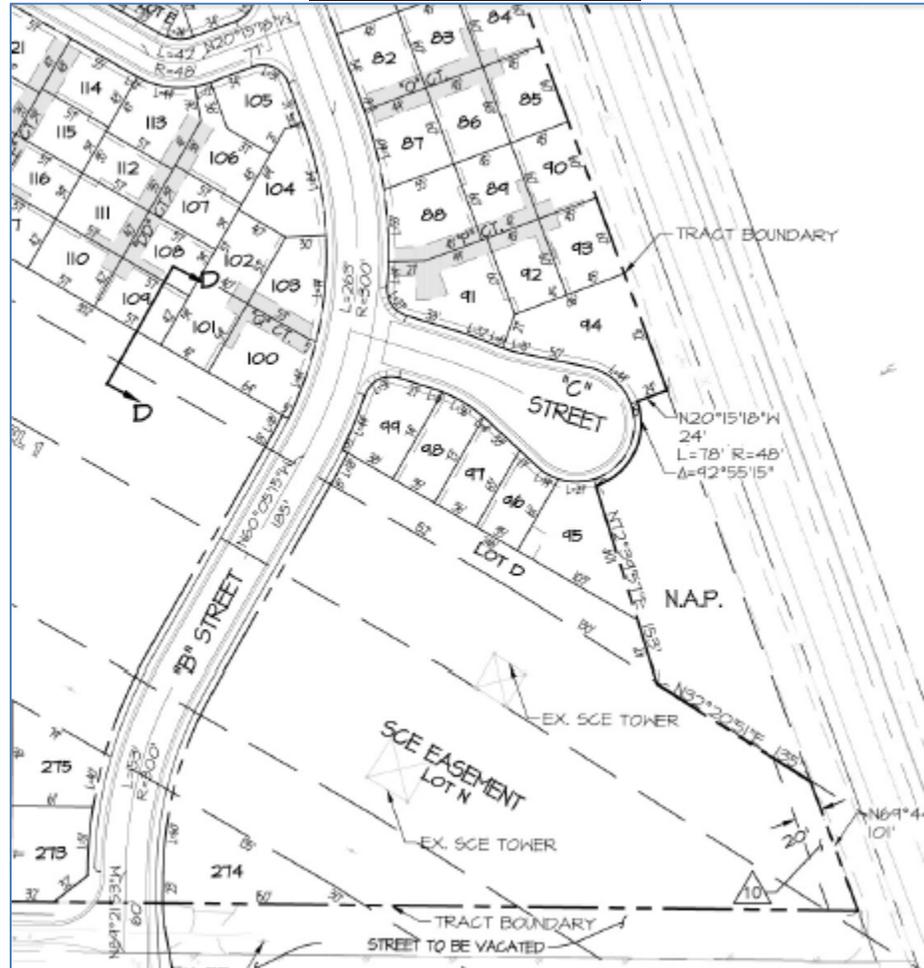


Table 16-10 (continued)
Intersection Improvements With Proportionate Share and Funding Source

#	Intersection Location	Jurisdiction	Recommended Improvements ¹						Improvements in TUMF, RBBD or DIF ² ?	Fair Share %
			Existing (2014)	Existing Plus Project	2018 Without Project	2018 With Project	HY (Post-2035) Without	HY (Post-2035) With Project		
9	Scholar Wy. / Limonite Av.	Eastvale						2nd NB left turn lane Same SB right turn lane Same 2nd EB through lane Same 3rd EB through lane Same EB right turn lane Same 2nd WB through lane Same 3rd WB through lane Same WB right turn lane Same	No No Yes (RBBD & TUMF) Yes (TUMF) No Yes (RBBD & TUMF) Yes (TUMF)	6.5%
10	Hamner Av. / Limonite Av.	Eastvale			Modify the traffic signal to accommodate overlap phasing for the NB and SB right turn lanes 3rd SB through lane 3rd WB through lane	Same Same Same	Modify the traffic signal to accommodate overlap phasing for the NB, SB, EB and WB right turn lanes Same Same	Same Same Same	Yes (DIF) Yes (TUMF) Yes (TUMF)	-
11	I-15 SB Ramps / Limonite Av.	Caltrans			3rd EB through lane 3rd WB through lane	Same Same	Same Same Modify the interchange by vacating WB left turn lanes and provide for an WB loop on ramp	Same Same Same	Yes (TUMF) Yes (TUMF) Yes (TUMF)	-
12	I-15 NB Ramps / Limonite Av.	Caltrans			3rd EB through lane 3rd WB through lane	Same Same	Same Same Modify the interchange by vacating EB left turn lanes and provide for an EB loop on ramp	Same Same Same	Yes (TUMF) Yes (TUMF) Yes (TUMF)	-

Source: Urban Crossroads 2014

GENERAL COMPLIANCE ITEMS/REQUIREMENTS AND INFORMATION

The following items are noted for the applicant’s information. These items are required by the City, other local agencies, or state and federal agencies, and are not conditions of approval of the project.

1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned. Amended entitlement approvals may be necessary as a result.
2. All flood control plans to be reviewed shall be submitted to the Riverside County Flood Control and Water Conservation District through the City of Eastvale, unless otherwise directed by the City Engineer.

3. Written permission shall be obtained from the City and from affected property owners allowing the proposed grading and/or facilities to be installed outside of the project boundaries.
4. The applicant shall be responsible for all costs associated with off-site right-of-way acquisition, including any costs associated with the eminent domain process, if necessary.
5. The developer shall dedicate, design, and construct all improvements in accordance to the City of Eastvale Road Improvement Standards & Specification, Improvement Plan Check Policies and Guidelines, and to the satisfaction of the City Engineer.
6. Should this project lie within any assessment/benefit district, the project proponent shall, prior to acceptance of improvements, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district unless said fees are otherwise deferred.

Prior to Recordation of the Final Map

7. Prior to the final map, improvement plans shall be accepted by the City Engineer and all improvements required by these conditions, City ordinances, resolutions, and policies shall be constructed unless otherwise secured by the developer in accordance with City ordinances and the state Subdivision Map Act.
8. Prior to the final map, the developer shall provide will-serve letters from the appropriate water and sewer agencies.
9. Prior to the final map, the developer shall install all street name signs at intersections adjacent to the project, public or private, and/or replace street name signs in accordance with the City of Eastvale Standard Details and to the satisfaction of the City Engineer.
10. Prior to the final map, the developer shall construct the stormwater quality treatment devices to accommodate all project runoff in accordance with City of Eastvale's Hydrology Manual, Stormwater Quality Best Management Practice Design Handbook, and Improvement Standards, and to the satisfaction of the City Engineer. All stormwater quality treatment devices shall be constructed outside of the ultimate public right-of-way.
11. Prior to the final map, the developer shall dedicate a public utility easement adjacent to all public and private streets for overhead and/or underground facilities and appurtenances to the satisfaction of the City Engineer.

Prior to Acceptance of Improvement Plan

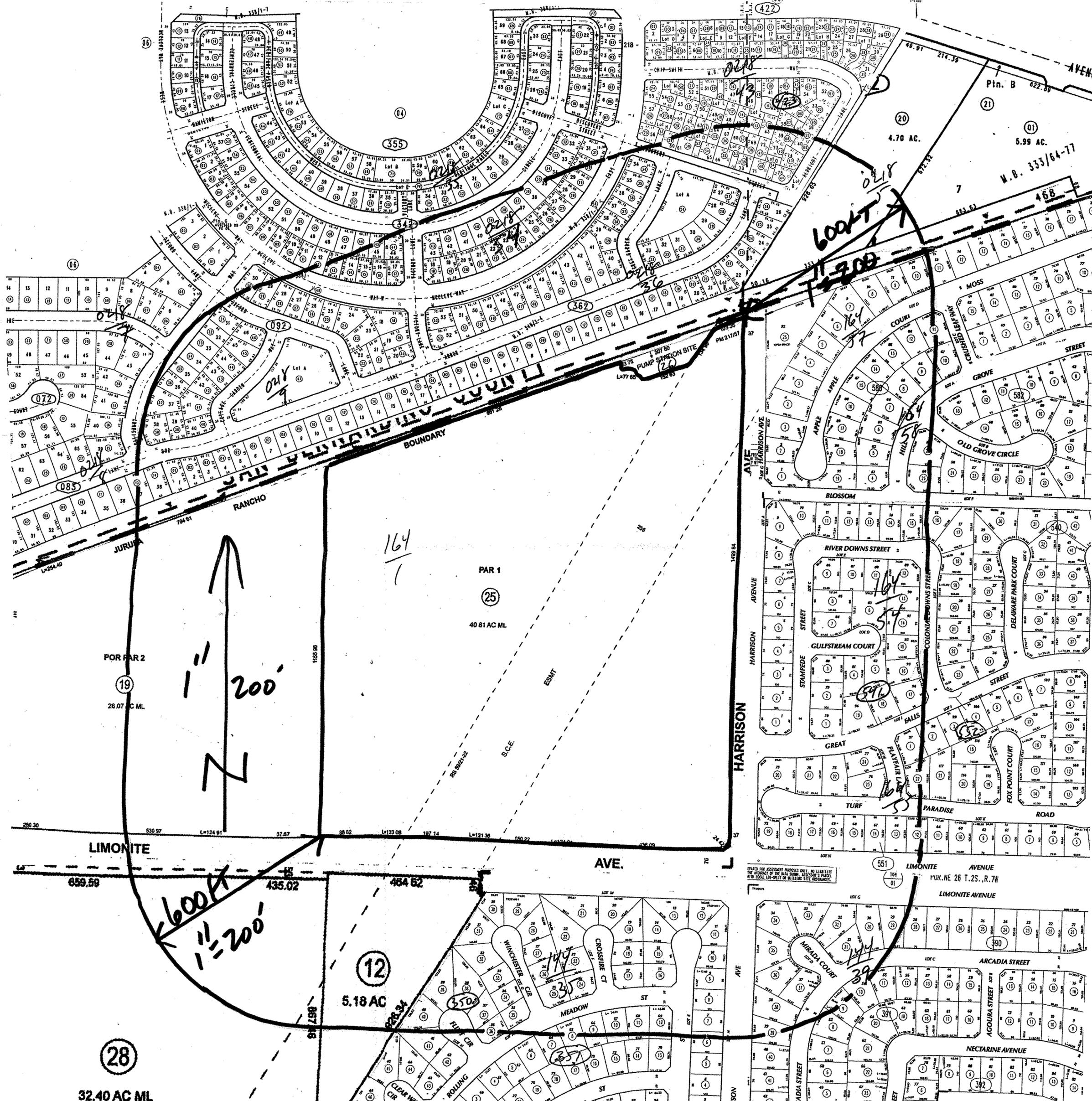
12. Prior to improvement plan acceptance, the developer shall submit landscaping and irrigation plans within the public right-of-way to Public Works and Planning Departments. These plans shall include water usage calculations, estimate of irrigation, and the location of all existing trees that will remain. All plans and calculations shall be designed and calculated per the Road Improvement Standards & Specification, Improvement Plan Check Policies and Guidelines as adopted by the City of Eastvale, and City codes, and to the satisfaction of the City Engineer.
13. Prior to improvement plan acceptance, the developer shall submit a separate streetlight plan for this project. Street lighting shall be designed and installed in accordance with City of Eastvale Ordinance 460 and the Streetlight Specification Chart found in Specification Section 22 of Ordinance 461.
14. Prior to the first improvement plan submittal, the developer shall submit a list of street names for review and approval by the City.
15. Prior to improvement plan acceptance, the developer shall submit a signing and striping plan for this project. The project proponent shall be responsible for any additional paving, channelization, and/or striping removal caused by the striping plan beyond the project boundary to the satisfaction of the City Engineer.
16. Prior to improvement plan acceptance, the developer shall execute a maintenance agreement for the stormwater quality control treatment device inside or outside the water quality basins to the satisfaction of the City Engineer. Should the JCSD be responsible to maintain and operate the landscaping and irrigation aspects of the water quality basins, the JCSD shall be a part of the subject agreement.

EXHIBIT 1

Infrastructure Improvements and Bonding

(Included as Attachment 5 in the Staff Report)

ATTACHMENT 3
NOTIFICATION MAP



04

355

422

4.70 AC.

5.99 AC.

M.B. 333/64-77

072

092

343

362

083

POR PAR 2

19

26.07 AC ML

PAR 1

25

40.81 AC ML

LIMONITE

659.59

435.02

484.62

AVE.

12

5.18 AC

350

28

32.40 AC ML

PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS FILED LOCAL OFFICE OF BUILDING SITE REGULATIONS.

551

101

01

MUR. NE 26 T. 2S., R. 7W

LIMONITE AVENUE

390

ARCADIA STREET

ACOURA STREET

LOT B

392

NECTARINE AVENUE

LOT C

391

LOT D

393

LOT E

394

LOT F

395

LOT G

396

LOT H

397

LOT I

398

LOT J

399

LOT K

400

LOT L

401

LOT M

402

LOT N

403

LOT O

404

LOT P

405

LOT Q

406

LOT R

407

LOT S

408

LOT T

409

LOT U

410

LOT V

411

LOT W

412

LOT X

413

LOT Y

414

LOT Z

415

LOT AA

416

LOT AB

417

LOT AC

418

LOT AD

419

LOT AE

420

LOT AF

421

LOT AG

422

LOT AH

423

LOT AI

424

LOT AJ

425

LOT AK

426

LOT AL

427

LOT AM

428

LOT AN

429

LOT AO

430

LOT AP

431

LOT AQ

432

LOT AR

433

LOT AS

434

LOT AT

435

LOT AU

436

LOT AV

437

LOT AW

438

LOT AX

439

LOT AY

440

LOT AZ

441

LOT BA

442

LOT BB

443

LOT BC

444

LOT BD

445

LOT BE

446

LOT BF

447

LOT BG

448

LOT BH

449

LOT BI

450

LOT BJ

451

LOT BK

452

LOT BL

453

LOT BM

454

LOT BN

455

LOT BO

456

LOT BP

457

LOT BQ

458

LOT BR

459

LOT BS

460

LOT BT

461

LOT BU

462

LOT BV

463

LOT BV

464

LOT BW

465

LOT BX

466

LOT BY

467

LOT BZ

468

LOT CA

469

LOT CB

470

LOT CC

471

LOT CD

472

LOT CE

473

LOT CF

474

LOT CG

475

LOT CH

476

LOT CI

477

LOT CJ

478

LOT CK

479

LOT CL

480

LOT CM

481

LOT CN

482

LOT CO

483

LOT CP

484

LOT CQ

485

LOT CR

486

LOT CS

487

LOT CT

488

LOT CU

489

LOT CV

490

LOT CW

491

LOT CX

492

LOT CY

493

LOT CZ

494

LOT DA

495

LOT DB

496

LOT DC

497

LOT DD

498

LOT DE

499

LOT DF

500

LOT DG

501

LOT DH

502

LOT DI

503

LOT DJ

504

LOT DK

505

LOT DL

506

LOT DM

507

LOT DN

508

LOT DO

509

LOT DP

510

LOT DQ

511

LOT DR

512

LOT DS

513

LOT DT

514

LOT DU

515

LOT DV

516

LOT DW

517

LOT DX

518

LOT DY

519

LOT DZ

520

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LOT EE

525

LOT EF

526

LOT EG

527

LOT EH

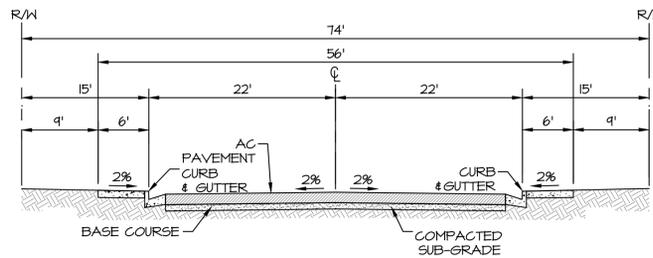
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LOT EI

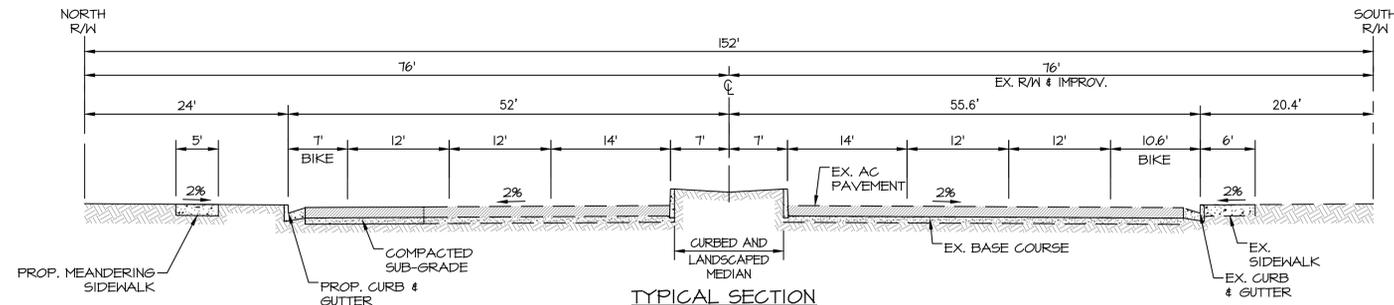
529

LOT EJ

ATTACHMENT 4
TENTATIVE PARCEL MAP EXHIBIT



TYPICAL SECTION
COLLECTOR STREET
STD. NO. 103
HARRISON AVENUE
NTS



TYPICAL SECTION
URBAN ARTERIAL HIGHWAY
STD. NO. 41 MODIFIED
LIMONITE AVENUE
NTS
**MATCHES ALIGNMENT BY KIMLEY HORN

TENTATIVE PARCEL MAP

PM 37046
SECTIONS/DETAILS

SCALE:	NTS	ALBERT A. ENGINEERING CONSULTANTS	P.L.O.	14-015
DATE:	12/4/2015	3788 McCRAY STREET	SHEET	2
DESIGNED:	ABE	RIVERSIDE CA 92506	OF 2	SHEETS
CHECKED:	SKK	PH. (951) 686-1070	DWG. NO.	
PLN CK REF:		FAX (951) 788-1256		
REVISIONS	DATE	BY		

ATTACHMENT 5
TENTATIVE TRACT MAP
PHASING EXHIBIT AND BONDING

TRACT	ALL IMPROVEMENTS TO LIMONITE AND HARRISON	SCE EASEMENT IMPROVEMENTS	SENDERO AVENUE	BLOSSOM WAY	FRONTERA WAY	LOTS 74 & 87 WATER QUALITY BASINS	LOT 75 OPEN PLAY AREA (NOT INCLUDING THE POOL)	BLOSSOM PARK ON HARRISON
36775-1	X	X	X (LIMONITE TO FRONTERA)	X (HARRISON TO OATFIELD)	X	X	X	X
36775-2	X	X	X (LIMONITE TO FRONTERA)	X (HARRISON TO OATFIELD)	X (SENDERO TO SCE ESMT)	X	X	X
36775-3	X	X	X	X	X (SENDERO TO SCE ESMT)	X	X	X
36775	X	X	X	X	X (SENDERO TO SCE ESMT)	X	X	X

NOTE: ALL IMPROVEMENTS DONE OUTSIDE OF THE TRACT BOUNDARIES (WITH THE EXCEPTION OF HARRISON, LIMONITE AND WITHIN THE SCE EASEMENT) WILL BE CURB TO CURB ONLY.

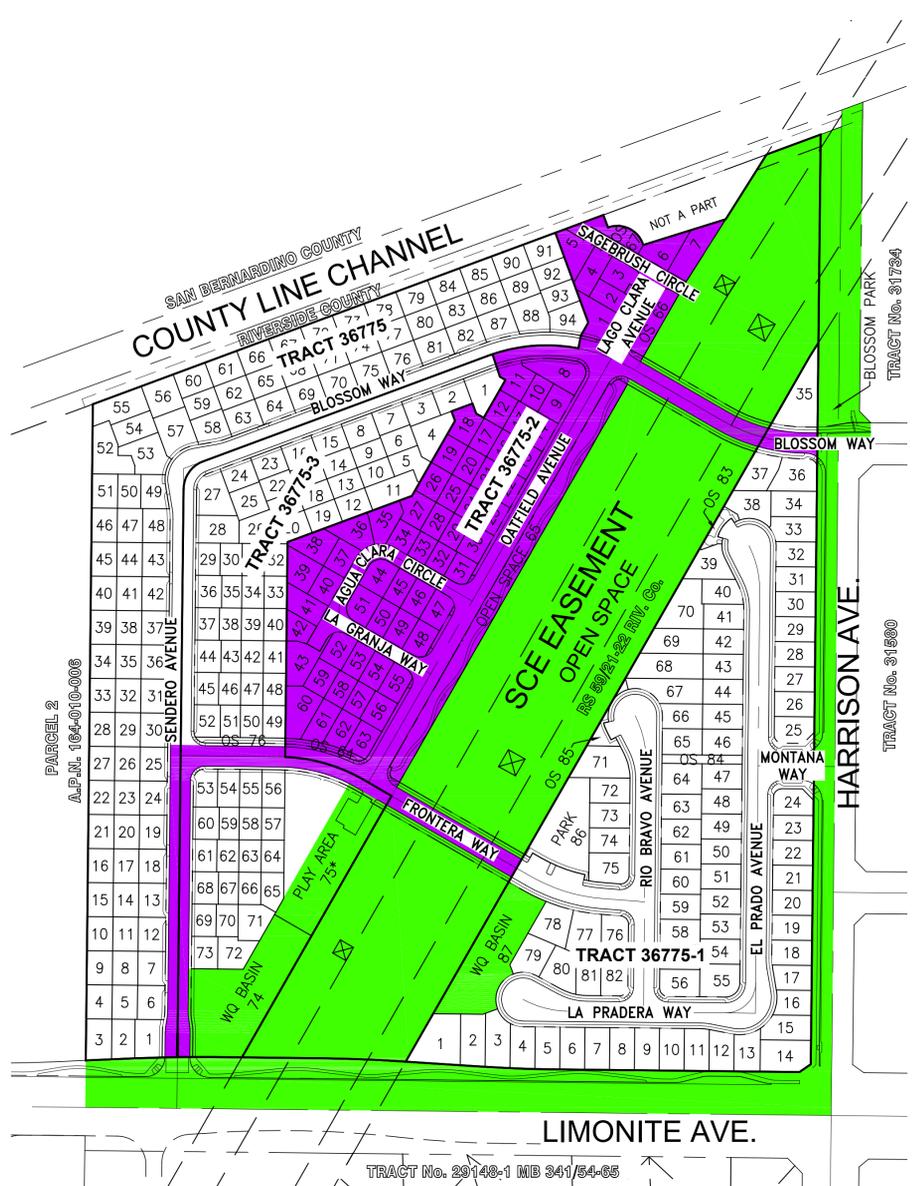
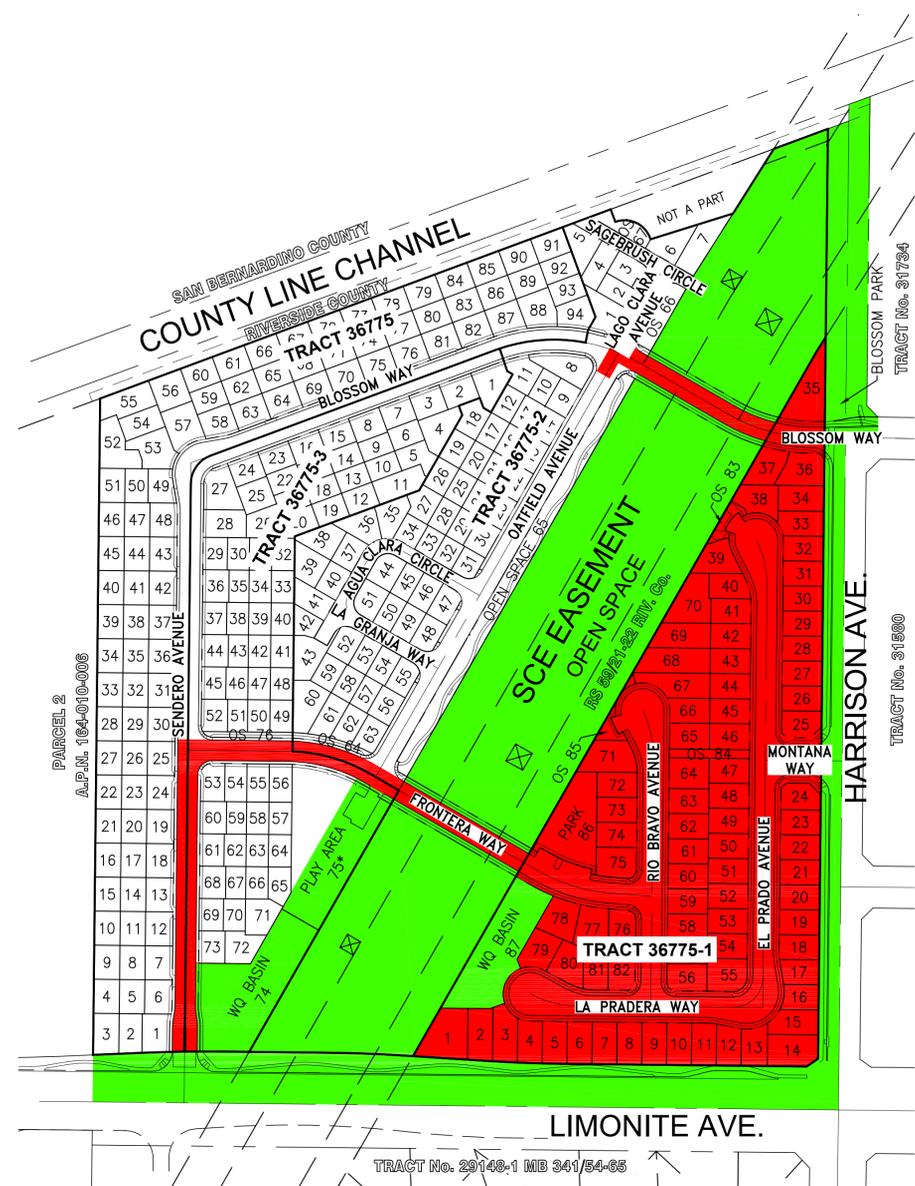
ALBERT A.  ASSOCIATES	ENGINEERING CONSULTANTS 3788 McCRAY STREET RIVERSIDE CA. 92506 PH. (951) 686-1070 FAX (951) 788-1256	W.O. 2014-0115 SHEET 1 OF 1 SHEETS

PHASING PLAN

TRACTS 36775-1, 36775-2, 36775-3, 36775

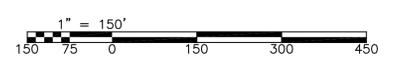


VICINITY MAP
NTS



- LEGEND**
- PHASE 1
 - PHASE 2
 - OFFSITE IMPROVEMENTS WITH FIRST OCCUPANCY
 - OS OPEN SPACE
 - WQ WATER QUALITY

* ALL IMPROVEMENTS WITHIN LOT 75, WITH THE EXCEPTION OF THE POOL AREA AND BUILDING, TO BE CONSTRUCTED



OWNER/DEVELOPER
SC LIMONITE, LLC
2201 DUPONT DRIVE, SUITE 300
IRVINE, CA 92612
ATTN: PATRICK E. POTTS
PH: (949) 833-1554
FAX: (949) 833-7853

SOILS ENGINEER
LEIGHTON AND ASSOCIATES, INC.
10532 ACACIA STREET, SUITE B-6
RANCHO CUCAMONGA, CA
91730-5455
ATTN: JASON D. HERTZBERG
PH: (909) 484-2205
FAX: (909) 484-2170

ENGINEER
ALBERT A. WEBB ASSOCIATES
3788 MCCRAY STREET
RIVERSIDE, CALIFORNIA 92506
ATTN: SARAH KOWALSKI
PH: (951) 686-1070
FAX: (951) 788-1256

TOPOGRAPHY SOURCE
INLAND AERIAL SURVEYS, INC
7117 ARLINGTON AVENUE, SUITE A
RIVERSIDE, CALIFORNIA 92503
ATTN: DEREK HOOD
PH: (951) 687-4252
FAX: (951) 687-4120

ASSESSOR'S PARCEL NO.
164-010-025

LAND USE AND ZONING
EXISTING LAND USE: DAIRY
EXISTING ZONING: MED. HIGH DENSITY (MDHR)
PROPOSED LAND USE: RI
PROPOSED ZONING: PRD

LEGAL DESCRIPTION
TAKEN FROM FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT ORDER NO. OSA-4581267(29), DATED FEB. 13, 2014.

REAL PROPERTY IN THE CITY OF EASTVALE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1 OF PARCEL MAP 33036, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON BY MAP FILED IN BOOK 217, PAGES 57 AND 58 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM THAT PORTION DESCRIBED IN THE DEED TO THE COUNTY OF RIVERSIDE RECORDED JULY 23, 2013 AS INSTRUMENT NO. 2013-0354932, OFFICIAL RECORDS.

BENCHMARK
RIV CO DESIGNATION M.L. 15-64 BRASS DISK AT THE NW CORNER OF ETIWANDA AVE AND LIMONITE AVE 210.0 FT NORTH OF LIMONITE AVE 36.0 FT WEST OF ETIWANDA AVE 2.0 NORTH END AND ON TOP OF 6 IN BY 9.0 FT CONCRETE HEADWALL, MARKED M.L. 15-64 ELEV = 674.773

BASIS OF BEARING
THE BASIS OF BEARING IS THE CENTERLINE OF HARRISON AVENUE TAKEN AS NORTH 00°07'26" WEST AS SHOWN BY PARCEL MAP NO. 33036, PER M.B. 217/57-58, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

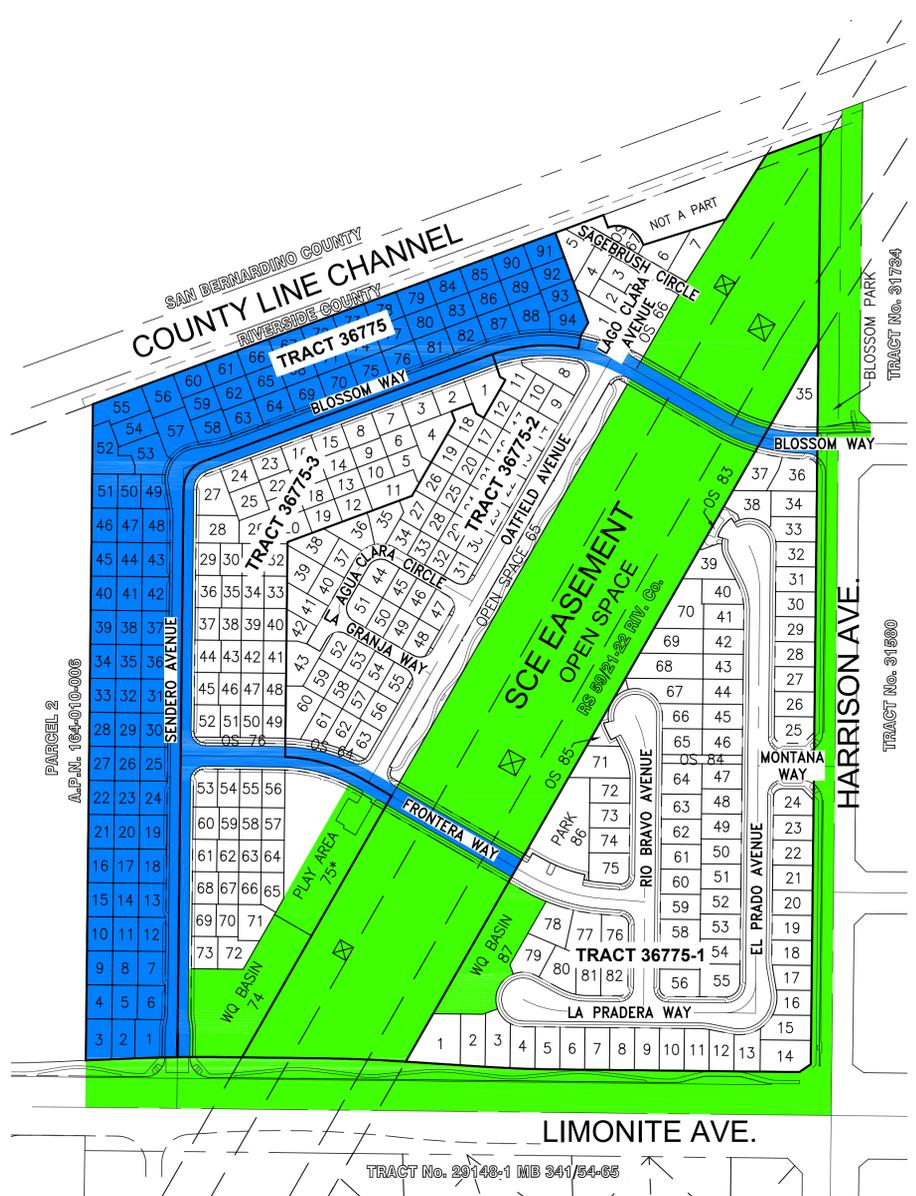
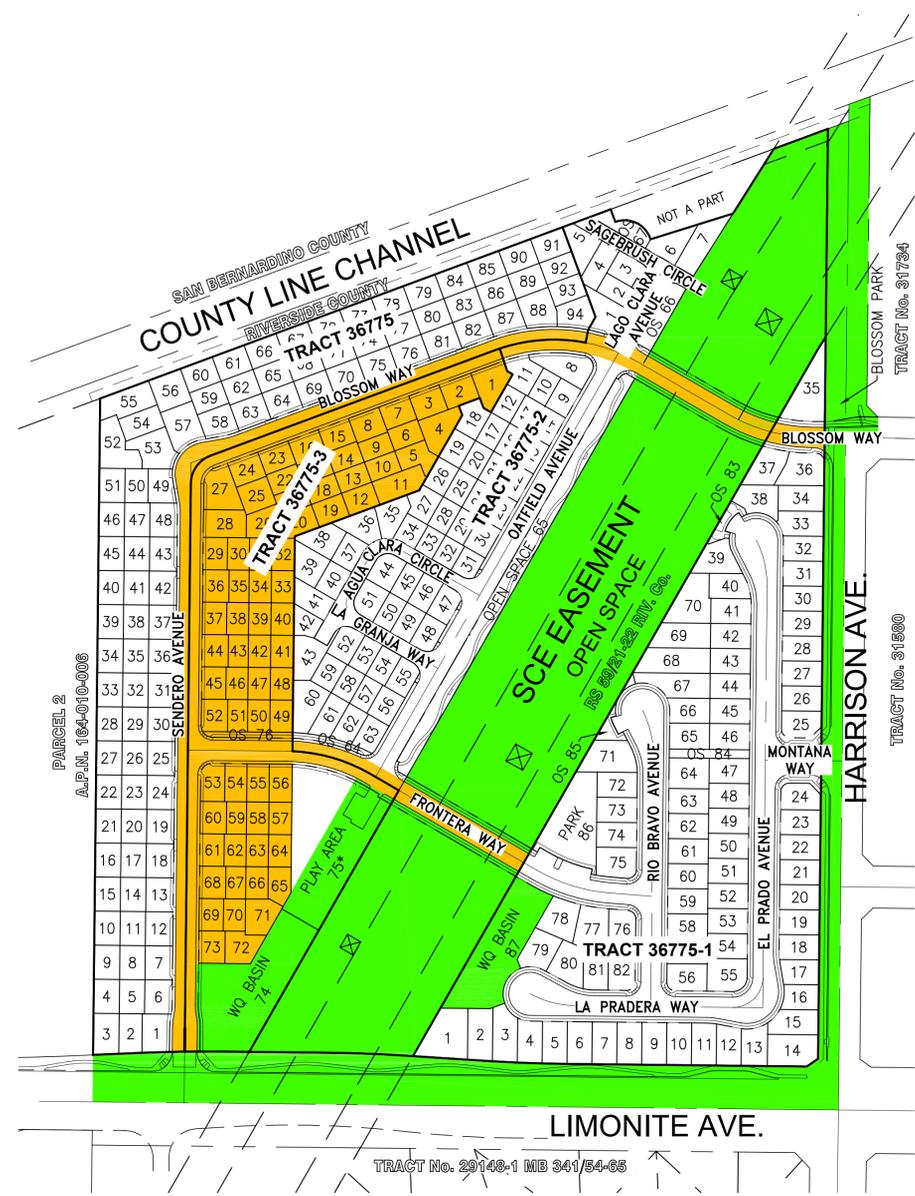
PHASING PLAN			
TRACTS 36775-1, 36775-2, 36775-3, & 36775			
SCALE: 1" = 150'	DATE: 7/22/2016	DESIGNED: ABE	CHECKED: SKK
WEBB ASSOCIATES		ENGINEERING CONSULTANTS 3788 MCCRAY STREET RIVERSIDE, CA 92506 PH: (951) 686-1070 FAX (951) 788-1256	W.O. 2014-0115 SHEET 1 OF 2 SHEETS DWG. NO.
PLN CK REF: F.B.			

PHASING PLAN

TRACTS 36775-1, 36775-2, 36775-3, 36775

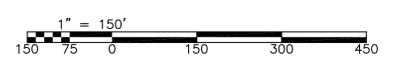


VICINITY MAP
NTS



- LEGEND**
- PHASE 3
 - PHASE 4
 - OFFSITE IMPROVEMENTS WITH FIRST OCCUPANCY
 - OS OPEN SPACE
 - WQ WATER QUALITY

* ALL IMPROVEMENTS WITHIN LOT 75, WITH THE EXCEPTION OF THE POOL AREA AND BUILDING, TO BE CONSTRUCTED



PHASING PLAN			
TRACTS 36775-1, 36775-2, 36775-3, & 36775			
SCALE: 1" = 150'	DATE: 7/22/2016	DESIGNED: ABE	CHECKED: SKK
WEBB ASSOCIATES		ENGINEERING CONSULTANTS 3785 McCRAY STREET RIVERSIDE CA, 92506 PH. (951) 686-1070 FAX (951) 788-1256	W.O. 2014-0115 SHEET 2 OF 2 SHEETS DWG. NO.

ALJ/SSE

C:\2014\14-0115\Drawings\Exhibits\14-0115-C-PH-30.dwg 7/22/2016 8:09:42 AM

WHEN RECORDED RETURN TO:

SONGSTAD RANDALL COFFEE & HUMPHREY LLP
3200 Park Center Drive, Suite 950
Costa Mesa, California 92626
Attn: Timothy L. Randall

**DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS
REGARDING BONDING FOR IMPROVEMENTS
FOR TENTATIVE TRACT MAP NO. 36775**

THIS DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS ("**Declaration**") is made this _____ day of July, 2016, by SC LIMONITE, LLC, a Delaware limited liability company ("**Declarant**"). Declarant shall include any of its successors and assigns.

R E C I T A L S

A. Declarant is the owner of the real property in the City of Eastvale ("**City**"), County of Riverside, State of California, described on **Exhibit "A"** attached hereto and by this reference made a part hereof, which shall be the "**Covered Property**" made subject to this Declaration.

B. The Covered Property is all of the property included within revised Tentative Tract Map No. 36775 (the "**TTM**") as approved by the City.

C. Declarant desires to provide for the recordation of phased final tract maps in substantial conformance with the TTM.

D. City is willing to allow for the phasing of the final tract maps within the TTM provided adequate assurances are made to the City regarding the bonding of all improvements as required under the conditions of approval for the TTM.

E. In light of the foregoing, Declarant desires to subject to the Covered Property to this Declaration setting forth certain obligations owing to the City from Declarant concerning the bonding of portions of the improvements as required under the conditions of approval of the TTM, which obligations shall be for the express benefit of the City and which will constitute a general scheme for the development of the Covered Property for the purpose of enhancing and protecting the value, desirability and attractiveness of the Covered Property.

NOW, THEREFORE, Declarant hereby covenants, agrees and declares that all of its interest as the same may from time to time appear in the Covered Property shall be held and conveyed subject to the following covenants, conditions and restrictions. These covenants, conditions and restrictions shall run with the Covered Property or any portion into which it may be divided until released as provided herein and shall be binding upon all parties having or

acquiring any interest or title in the Covered Property or any part thereof, and shall inure to the benefit of the City and are imposed upon the Covered Property and any part thereof as a servitude in favor of the City.

1. Final Maps. It is contemplated that the Covered Property shall be subdivided pursuant to four (4) final tract maps in substantial conformance with the TTM, including Tract Map Nos. 36775-0, 36775-1, 36775-2, and 36775-3, as shown on **Exhibit "B"** attached hereto (collectively, the "**Final Tract Maps**" and individually, a "**Final Map**").

2. Bonding. The City has agreed to permit the phasing of the Final Maps and certain of the bonds associated therewith conditioned upon the establishment of procedures for the initial posting and subsequent replacement of subdivision bonds for certain improvements in relation to each Final Map. Those portions of the bonds which may be posted in phases in conjunction with the recordation of the Final Maps are within each Bond Replacement Area, as more particularly described on **Exhibit "C"** attached hereto (the "**Bond Replacement Areas**") and as further depicted on each of **Exhibits "D-0"** through "**D-3**" attached hereto. Accordingly, as a condition to the recordation of each Final Map, and in addition to satisfaction of any other conditions of approval for the recording of such Final Map which have not been satisfied in conjunction with the recordation of a prior map including, without limitation, the posting of bonds for street and utility improvements within any intract streets other than the Bond Replacement Areas, Declarant or its successor shall post bonds for those street and utility improvements within each Bond Replacement Area associated with such Final Map as depicted on **Exhibit "D-0"** through "**D-3**" attached hereto. The posting of bonds for street and utility improvements within the right-of-ways for Harrison Avenue and Limonite Avenue shall occur in conjunction with the recordation of the first Final Map and not be subject to replacement nor be subject to the requirement to post any additional bonds for the same area. For example, in the event Final Map No. 36775-0 is the first Final Map to record, as condition for the recordation of such Final Map, Declarant shall post the bonds for Harrison Avenue, Limonite Avenue, and Bond Replacement Areas 1 through 8, as indicated on **Exhibit "D-0"** attached hereto.

3. Replacement of Bonds. Following the recordation of the first Final Map by Declarant, upon the recordation of each subsequent Final Map, Declarant shall cause the replacement solely of the entirety of those bonds as previously posted by Declarant within each Bond Replacement Area located either partially or wholly within such Final Map and post any additional bonds as required for each Bond Replacement Area associated with such Final Map, all as depicted on **Exhibits "D-0"** through "**D-3**" attached hereto. For example, if Final Map No. 36775-1 is recorded following Final Map No. 36775-0, Declarant or its successor as to Final Map No. 36775-1 shall cause the bonds for Bond Replacement Area No. 8 to be substituted and replaced for the bond previously posted in conjunction with the recordation of Final Map No. 36775-0, as indicated on **Exhibit "D-1"**. Another example would be if Final Map No. 36775-2 is recorded following Final Map No. 36675-0, Declarant or its successor as to Final Map No. 36775-2 shall cause the bonds for Bond Replacement Areas Nos. 1, 2, 6 and 7 to be substituted and replaced for the bonds previously posted in conjunction with the recordation of Final Map No. 36775-0.

4. Enforcement Rights of City. The City shall have the right, but not the obligation to enforce, by proceedings at law or in equity, any or all of the covenants imposed by this Declaration

including, without limitation, the right to prosecute a proceeding, at law or in equity, against the person or persons who have violated or are attempting to violate any of said covenants, to enjoin or prevent them from doing so, to cause said violation to be remedied and/or to recover damages for said violation. In furtherance thereof, this Declaration shall not be terminated, amended or property de-annexed therefrom absent the prior written consent of the City of Eastvale.

5. Release. Upon the satisfaction of all bonding requirements with respect to each Final Map as provided herein, City shall provide a release and termination of this Declaration with respect to each such Final Map in such recordable form as reasonably requested by Declarant and/or its title insurer within ten (10) business days from written request therefor by Declarant. Notwithstanding the foregoing, this Declaration shall be automatically terminated and of no further force or effect as to any lot conveyed to a member of the home buying public pursuant to a Final Subdivision Public Report issued by the California Bureau of Real Estate upon the recordation of the grant deed for the conveyance of such lot to the home buyer in the Official Records of the County of Riverside.

This Declaration is dated for identification purposes as of _____, 2016.

SC LIMONITE, LLC, a Delaware limited liability company

By: SC Harrison, LLC, a California limited liability company, Its Managing Member

By: Stratham Company, a California corporation, Its Managing Member

By: _____
Keyvan Razi, President

EXHIBIT "A"
COVERED PROPERTY

EXHIBIT "B"

FINAL MAP

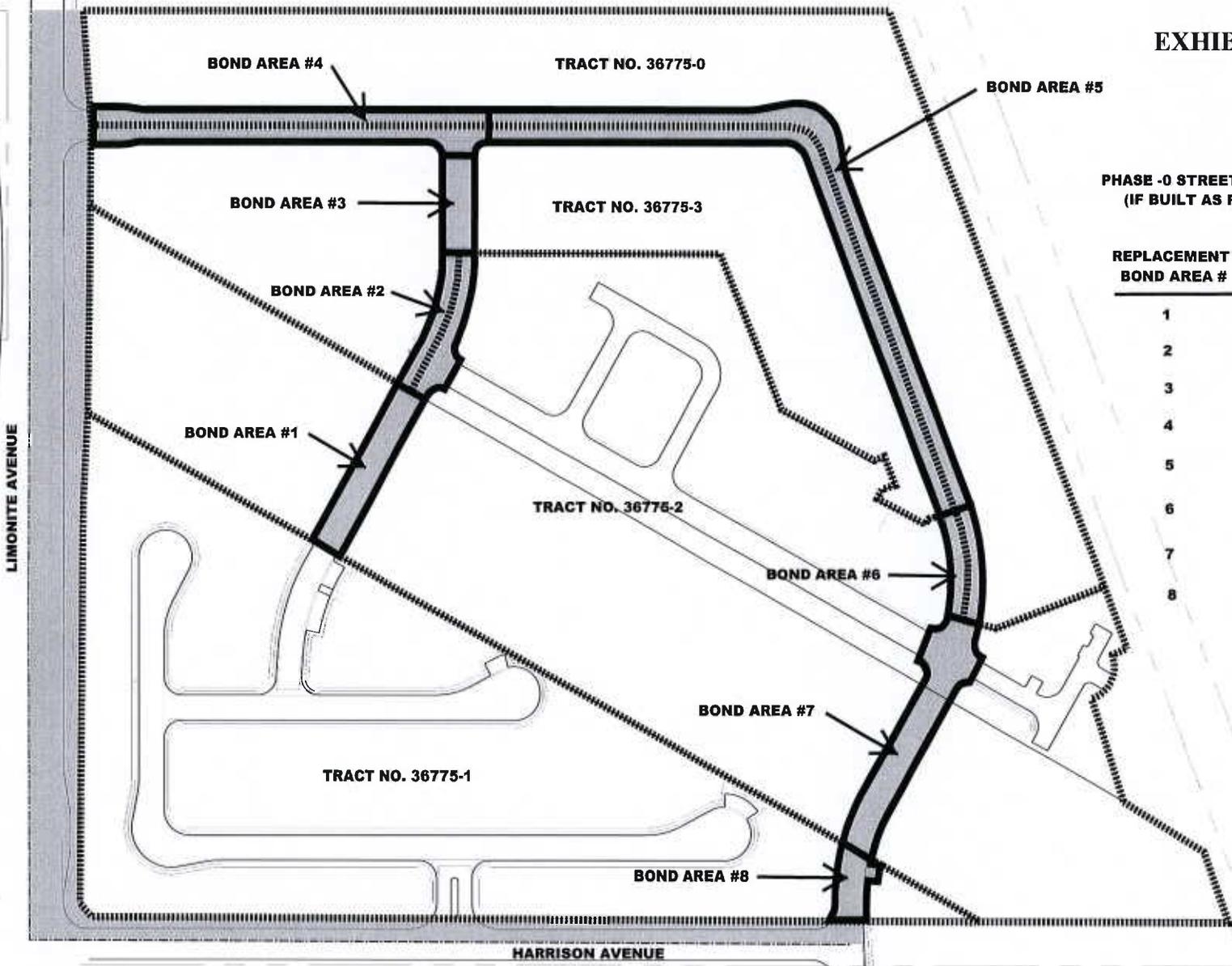
EXHIBIT "C"

BOND REPLACEMENT AREAS

EXHIBIT "D"

BOND REPLACEMENT REQUIREMENTS

EXHIBIT "D-0"



PHASE -0 STREET IMPROVEMENTS (IF BUILT AS FIRST PHASE)

REPLACEMENT BOND AREA #	AFFECTED PHASES
1	-2
2	-2 / -3
3	-3
4	-3
5	-3
6	-2
7	-2
8	-1

- : PHASE -0 STREET IMPROVEMENTS
- : PARCEL BOUNDARY
- : REPLACEMENT BOND BOUNDARY

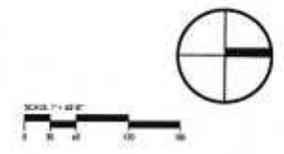
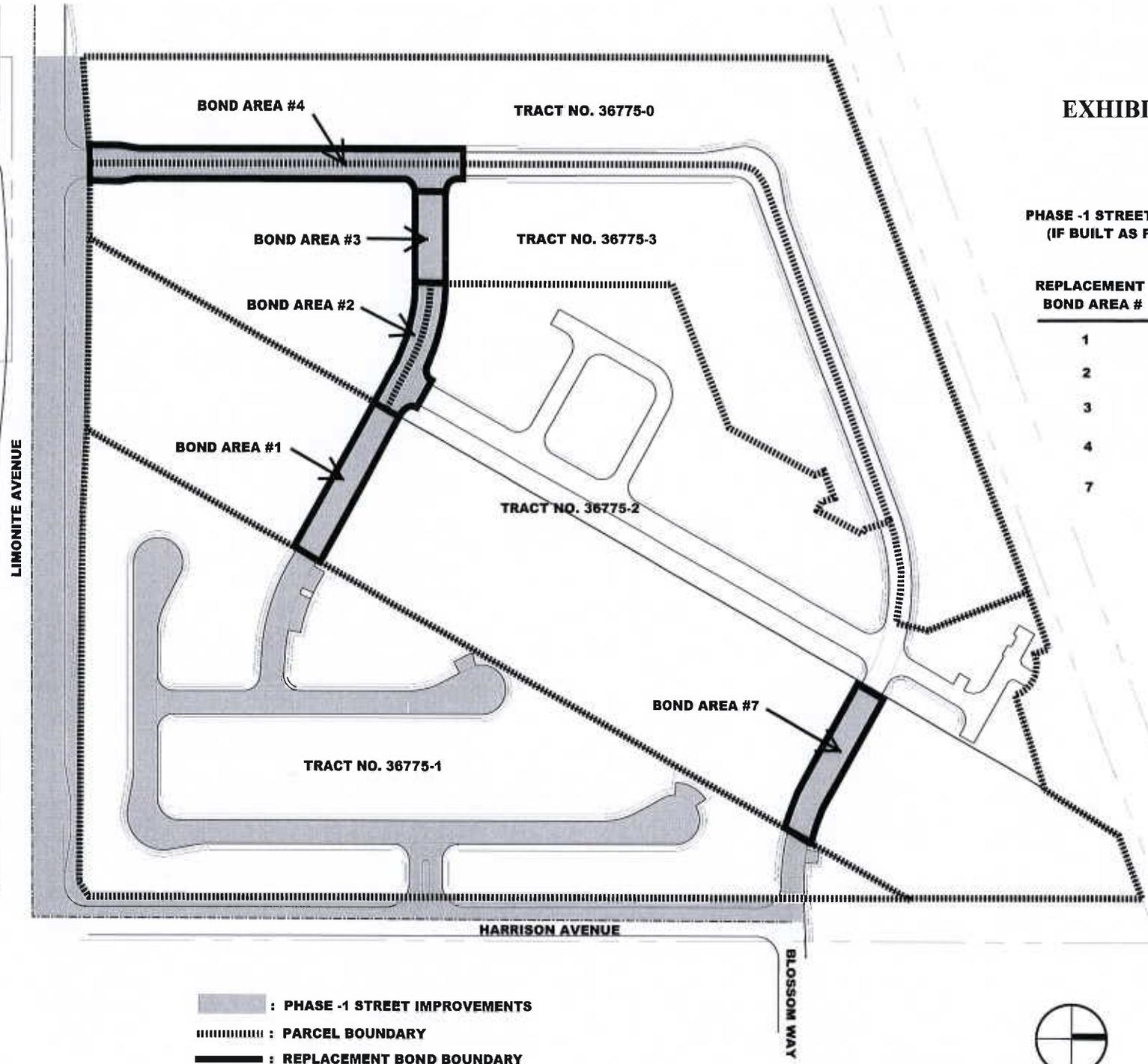


EXHIBIT "D-1"

PHASE -1 STREET IMPROVEMENTS (IF BUILT AS FIRST PHASE)

REPLACEMENT BOND AREA #	AFFECTED PHASES
1	-2
2	-2 / -3
3	-3
4	-0 / -3
7	-2



- : PHASE -1 STREET IMPROVEMENTS
- : PARCEL BOUNDARY
- : REPLACEMENT BOND BOUNDARY

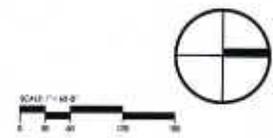
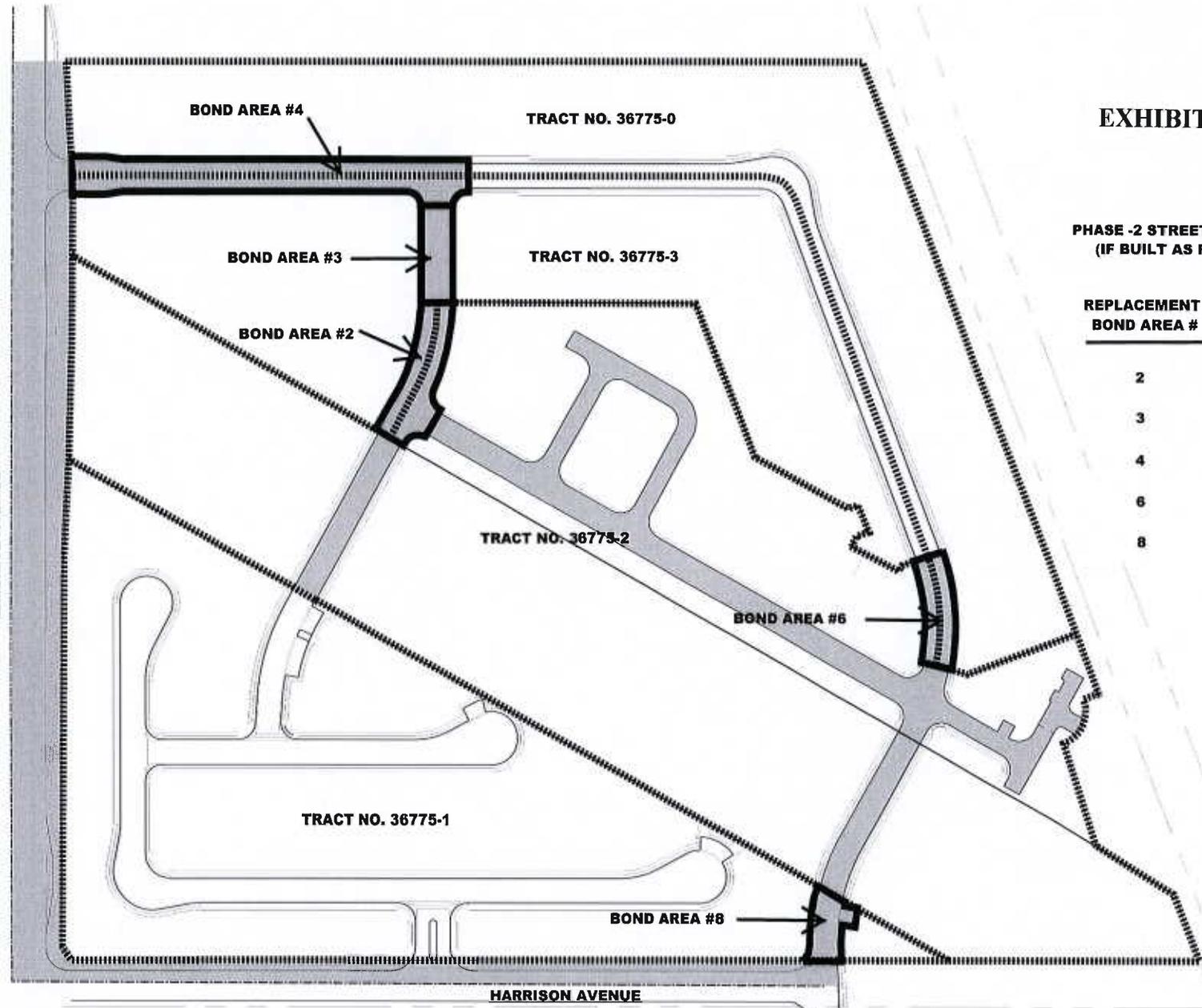


EXHIBIT "D-2"

PHASE -2 STREET IMPROVEMENTS (IF BUILT AS FIRST PHASE)

REPLACEMENT BOND AREA #	AFFECTED PHASES
2	-3
3	-3
4	-0 / -3
6	-0
8	-1



- : PHASE -2 STREET IMPROVEMENTS
- : PARCEL BOUNDARY
- : REPLACEMENT BOND BOUNDARY

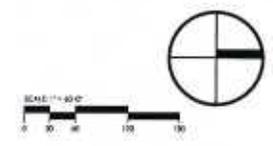
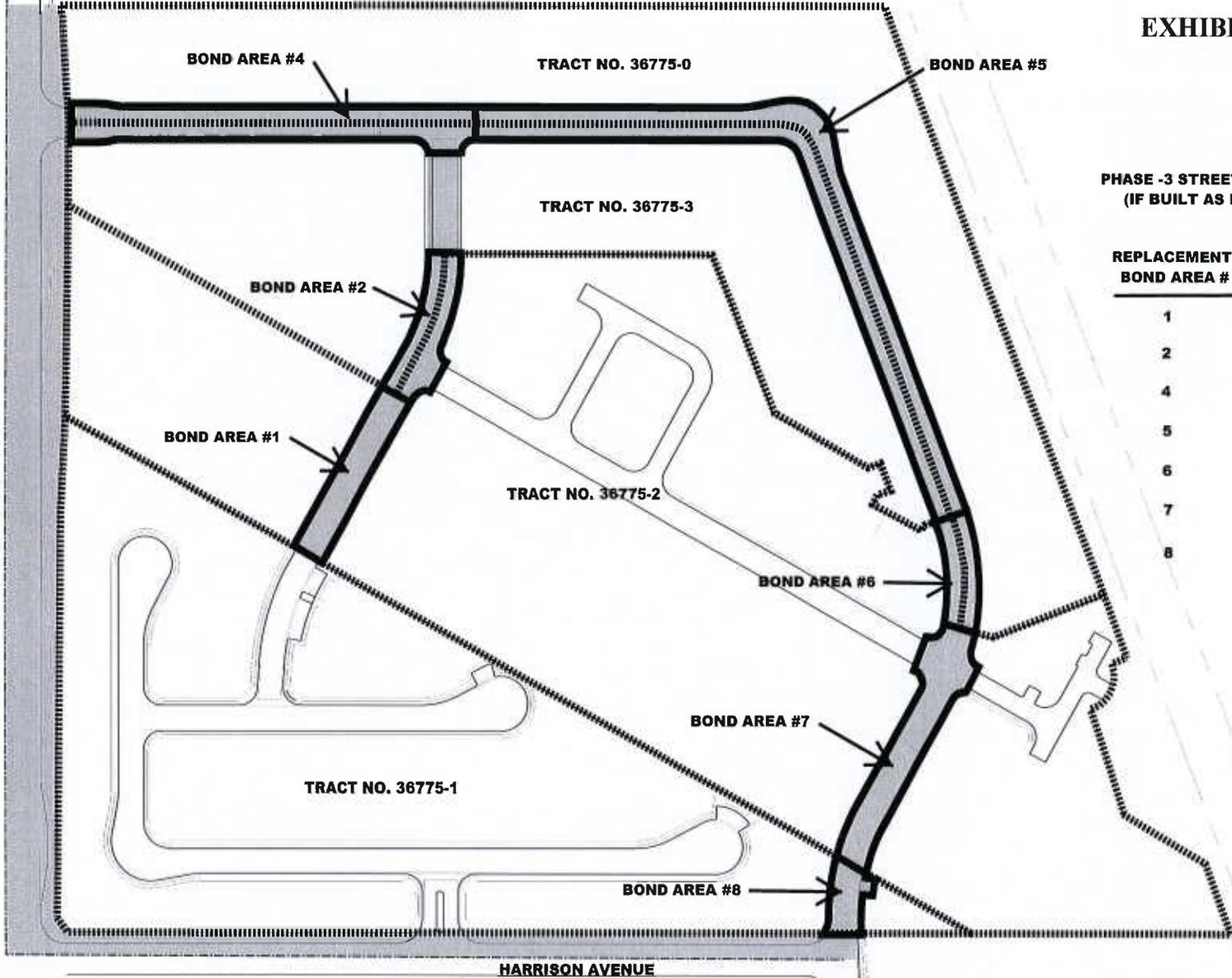


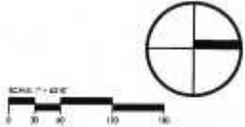
EXHIBIT "D-3"



**PHASE -3 STREET IMPROVEMENTS
(IF BUILT AS FIRST PHASE)**

REPLACEMENT BOND AREA #	AFFECTED PHASES
1	-2
2	-2
4	-0
5	-0
6	-0 / -2
7	-2
8	-1

- : PHASE -3 STREET IMPROVEMENTS
- : PARCEL BOUNDARY
- : REPLACEMENT BOND BOUNDARY





City of Eastvale

Planning Commission Meeting Agenda

Staff Report

MEETING DATE: AUGUST 17, 2016

TO: PLANNING COMMISSION

FROM: KANIKA KITH, SENIOR PLANNER

SUBJECT: **PROJECT NO. 16-00015 – Extension of Time for Tentative Tract Map No. 35751** – The proposed project would extend the lifetime of Tentative Tract Map 35751, which allows the subdivision of a 19.88-acre site into 22 residential lots and 2 open space lots for the future development of 243 residential units, one recreation center, and one water quality basin in three phases. TTM 35751 does not approve any particular layout or design for the residential units; a development plan review application would be required for the development of the site. The project site is located at the southeast corner of Schleisman Road and Cucamonga Creek (west of Archibald Avenue).

RECOMMENDATION

Staff recommends that the Planning Commission approve a motion recommending that the City Council approve a one-year Extension of Time for Tentative Tract Map No. 35751, subject to conditions of approval.

BACKGROUND

On October 20, 2009, the County of Riverside Board of Supervisors approved Tentative Tract Map No. 35751 for the subdivision of the 19.88-acre site into 22 residential lots and two open space lots. A final map has not been recorded and no development activities have occurred on this site.

Also at that time, the County approved a plan for the development of the site; that approval has since expired and is no longer in effect.

The project site is located at the southeast corner of Schleisman Road and Cucamonga Creek, west of Archibald Avenue, as shown in **Figure 1**.

Figure 1: Aerial Photograph of Project Site



PROJECT DESCRIPTION

The applicant, SC Eastvale Development Company dba Lewis Operation Company, is requesting a one-year time extension for Tentative Tract Map 35751 (TTM 35751) to allow more time to pursue development of the project. A letter of justification explaining why the applicant needs a one-year time extension is included as **Attachment 2**. The approved map is shown in Figure 2, below.

Extension of Time for TTM 35751 does not approve any particular layout or design for the residential units; a development plan review application would be required for the development of the site.

The approved TTM 35751 will expire on October 20, 2016. A brief summary of the extensions of time granted to date for the map follows Figure 2. Two “automatic” extensions of time (granted by the state legislature for all maps statewide) have already been applied to extend the lifetime of the map.

- October 20, 2009 to October 20, 2012 – Original approval on October 20, 2009, and valid for 36 months (3 years) per Subdivision Ordinance 460.
- October 20, 2012 to October 20, 2014 – Assembly Bill 208 allows an automatic 2-year extension (Subdivision Map Act Section 66452.23)
- October 20, 2014 to October 20, 2016 – Assembly Bill 116 allows an automatic 2-year extension (Subdivision Map Act Section 66452.24)

DISCUSSION

Extensions of time are provided for in state law and are frequently granted. Generally, because recordation of a final map requires the applicant to construct or bond for facilities, applicants delay this until a project is ready to develop.

Granting an extension of time is discretionary; the Planning Commission can decide whether or not to approve this request. However, as noted above extensions are commonly granted.

General Plan Consistency

The General Plan land use designation of the site is High Density Residential (HDR), which allows the development of single-family attached and detached residences, including townhomes, stacked flats, courtyard homes, patio homes, and zero lot line homes. The permitted density for HDR is 8 to 14 dwelling units per acre.

The approved TTM 35751 allows the development of 243 residential units, attached and detached units, which is consistent with the permitted density and type of homes allowed for the project site. The density for TTM 35751 is 12 dwelling units per acre, which is within the permitted density for this site.

Therefore, the proposed extension of time for TTM 35751 is consistent with the General Plan.

Zoning Code Compliance

The approval in October 2009 includes a change of zone from Heavy Agriculture (A-2) to General Residential (R-3), subject to final cancellation of the agriculture preserve contract for the site. The R-3 zoning has not yet been applied, because the proof of cancellation has not been provided to the City.

The approved TTM 35751 conforms to the development standards in the R-3 zone, in that the new parcels satisfy the minimum lot size of 7,200 square feet, lot width of 60 feet, and lot depth of 100 feet.

Proposed Addition to the Conditions of Approval

Staff is also recommending adding a condition that the final map not be recorded until the applicant provides documentation showing final cancellation of the agriculture preserve for the site. Cancellation of the agricultural preserve is needed for the zone change to take effect, which is required for the map to be consistent with the site's zoning.

Public Hearing Notification and Comment

The proposed project requires a 10-day public hearing notification period for property owners located within a 600-foot radius of the project site. The notification was sent on August 4, 2016, for the Planning Commission meeting on August 17, 2016. At the time of preparing this staff report, no comment was received.

Environmental Review

Section 15162 of the California Environmental Quality Act (CEQA) Statutes and Guidelines states that when an environmental impact report (EIR) has been certified for a project, no subsequent EIR shall be prepared unless the lead agency determines so on the basis of substantial change in the project which would require major revisions in the EIR. On August 19, 2009, the Riverside County Board of Supervisors certified EIR No. 511 (SCH#2008041097) for a rezoning, cancellation of agricultural contracts, and TTM No. 35751. The requested extension of time for TTM No. 35751 does not include changes to the map and therefore would not require any revisions to EIR No. 511.

Required Findings for Approval

Extension of Time

Finding: An extension of time shall not be granted unless the land division conforms to the comprehensive General Plan, is consistent with existing zoning, and does not adversely affect the general health, safety, and welfare of the public.

Evidence: The General Plan land use designation of the site is High Density Residential (HDR), which allows the development of single-family attached and detached residences, including townhomes, stacked flats, courtyard homes, patio homes, and zero lot line homes. The approved TTM 35751 allows the development of 243 residential units, attached and detached units, which is consistent with the permitted density and type of homes allowed for the project site. The density for TTM 35751 is 12 dwelling units per acre, which is within the permitted density of 8 to 14 dwelling units per acre for this site.

The approval in October 2009 includes a change of zone from Heavy Agriculture (A-2) to General Residential (R-3), subject to final cancellation of the agriculture preserve contract for the site. The approved TTM 35751 conforms to the development standards in the R-3 zone, in that the new parcels satisfy the minimum lot size of 7,200 square feet, lot width of 60 feet, and lot depth of 100 feet.

Therefore, the proposed extension of time for TTM 35751 is consistent with the General Plan and Zoning Code, and does not adversely affect the general health, safety, and welfare of the public.

Recommendation

Staff recommends that the Planning Commission recommend that the City Council approved a one-year time extension for TTM 35751, subject to the attached conditions of approval which include the recommended additional conditions.

Other Planning Commission Options

The following alternatives are available to the Planning Commission:

- Recommend approval of the extension of time with additional conditions beyond those recommended by staff.
- Continue the public hearing and direct the applicant and/or staff to provide more information or revisions.
- Recommend denial of the request for extension of time.

FISCAL IMPACT

Approval of the extension of time will not have a fiscal impact of the City, since the action does not of itself approve a plan of development. The costs of processing the application have been paid for by the applicant.

ATTACHMENTS

1. Conditions of Approval
2. Letter of Justification
3. TTM No. 35751
4. Site Plan

Prepared by: Kanika Kith, Senior Planner
Reviewed by: Eric Norris, Planning Director
Cathy Perring, Assistant Planning Director
John Cavanaugh, City Attorney

ATTACHMENT 1
CONDITIONS OF APPROVAL

CONDITIONS OF APPROVAL

Project No. 16-00015: Extension of Time for Tentative Tract Map No. 35751 allows the subdivision of a 19.88-acre site into 22 residential lots and 2 open space lots for the development of 243 residential units, one recreation center, and one water quality basin in three phases. Project site is located at the southeast corner of Schleisman Road and Cucamonga Creek.

Assessor's Parcel Numbers: 144-060-041

Planning Commission Review Date: August 17, 2016

City Council Action:

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
General Conditions			
1. In compliance with Section 15075 of the California Environmental Quality Act (CEQA) Guidelines, a Notice of Determination (NOD) shall be filed with the Riverside County Clerk within five (5) days of project approval. The NOD shall include the required California Department of Fish and Wildlife (CDFW) (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to the Riverside County Clerk in the amount of \$50.00 no later than _____. Failure to pay the required fee will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c)). The fee is broken down as follows: a. Riverside County Clerk administrative fee of \$50.00.		Planning Department	
2. The applicant shall review and sign below verifying the "Acceptance of the Conditions of Approval" and return the signed page to the Eastvale Planning Department no later than _____. <hr/> Applicant Signature Date		Planning Department	

Conditions of Approval	Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<p>3. The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively "Actions"), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions approved by the voters of the City), for or concerning the project, whether such Actions are brought under CEQA, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.</p>	Ongoing	Planning Department	
<p>4. All conditions of approval for TTM 35751, included as Exhibit 1, shall be complied with unless the condition(s) has been satisfied, the condition(s) is the responsibility of another party, or the condition(s) is determined not applicable by the Public Works Director.</p>	Ongoing	Public Works Department	

Conditions of Approval		Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
5.	Any approval shall not be final until and unless the applicant's deposit account to cover the costs of application processing is made current and a positive balance of at least \$5,000 is on hand to cover the costs of staff review and follow-up during the construction process. Make check payable to the City of Eastvale and include Project No. 16-00015 on the check.	Ongoing	Planning, Public Works, and Building Departments	
6.	This approval extends the expiration date of Tentative Tract Map No. 35751 to October 20, 2017.	Ongoing	Public Works Department	
Prior to Recordation of Final Map				
7.	A final cancellation of the agriculture preservation shall be obtained and recorded.	Prior to recordation of final map	Public Works and Planning Departments	

GENERAL COMPLIANCE ITEMS/REQUIREMENTS AND INFORMATION

The following items are noted for the applicant's information. These items are required by the City, other local agencies, or state and federal agencies, and are not conditions of approval of the project.

1. The applicant shall obtain City approval for any modifications or revisions to the approval of this project. Deviations not identified on the plans may not be approved by the City, potentially resulting in the need for the project to be redesigned. Amended entitlement approvals may be necessary as a result.
2. Applicants are responsible for all costs associated with off-site right-of-way acquisition, including any costs associated with the eminent domain process, if necessary.
3. Should this project lie within any assessment/benefit district, the project proponent shall, prior to acceptance of improvements, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district unless said fees are otherwise deferred.

ATTACHMENT 2
LETTER OF JUSTIFICATION

LEWIS MANAGEMENT CORP.

1156 N. Mountain Ave., P. O. Box 670, Upland, CA 91785-0670
(909) 985-0971 Fax (909) 949-6799

May 10, 2016

Ms. Malinda Lim
Assistant Planner
City of Eastvale
12363 Limonite Avenue, Suite 910
Eastvale, CA 91752

RE: EXTENSION OF TIME, TENTATIVE TRACT MAP 35751
LETTER OF JUSTIFICATION

Dear Ms. Lim:

The purpose of this letter is to request an extension to Tentative Tract Map 35751. Although the Tentative Map was approved by the County of Riverside on October 20, 2009; the prolonged market downturn severely impacted the economic viability of this project. In addition, the property was subject to the Williamson Act through January 2016. Then in March of this year, the property was again financially impacted when the Jurupa Community Services District imposed an increase in the water and sewer capacity charges in excess of \$5,600 per unit.

During this time, we have completed the engineering construction documents for the adjacent infrastructure. However, we request the additional time to develop product and work toward completion of the in-tract design and mapping.

Please do not hesitate to contact me at (909) 579-5193 should you have any questions or require additional information.

Thank you for your consideration.

My best regards.

Sincerely,

A handwritten signature in black ink, appearing to read 'Glen T. Crosby', with a large, stylized flourish extending from the end of the signature.

Glen T. Crosby
Vice President, Regional PM
Lewis Management Corp.

ATTACHMENT 3
TENTATIVE TRACT MAP NO. 35751

GENERAL NOTES

OWNERS:
 SC EASTVALE DEVELOPMENT CORP.
 156 N. MOUNTAIN AVE.
 UPLAND, CA. 91785
 PH: (909) 485-0711
 FAX: (909) 444-6794

LENNIS OPERATING CORP.
 156 N. MOUNTAIN AVE.
 UPLAND, CA. 91785
 PH: (909) 485-0711
 FAX: (909) 444-6794

ENGINEER:
 ALBERT A. WEBB ASSOCIATES
 3780 HUNTER STREET
 RIVERSIDE, CALIFORNIA 92506
 PH: (951) 686-1070 FAX: (951) 786-1256

A.P.N.
 144-060-041

ACREAGE
 14.80 ACRES TOTAL OWNERSHIP
 14.80 ACRES GROSS
 14.80 ACRES NET
 240 RESIDENTIAL UNITS
 1 OPEN SPACE/RECREATION CENTER
 1 BASIN

LAND USE
 EXISTING LAND USE: AGRICULTURAL - CALF FARM
 PROPOSED LAND USE: CONDOMINIUMS
 EXISTING ZONING: A-2-1
 PROPOSED ZONING: R-3
 EXISTING GENERAL PLAN: HD-2
 PROPOSED GENERAL PLAN: HD-2A

UTILITIES
 WATER - JURUPA COMMUNITY SERVICES DISTRICT
 SEWER - JURUPA COMMUNITY SERVICES DISTRICT
 GAS - SOUTHERN CALIFORNIA GAS COMPANY
 ELECTRIC - SOUTHERN CALIFORNIA EDISON
 TELEVISION - AT&T (INDIVIDUAL RECEPTION)
 TELEVISION - INDIVIDUAL RECEPTION

SCHOOL DISTRICT
 CORONA-NORCO UNIFIED SCHOOL DISTRICT

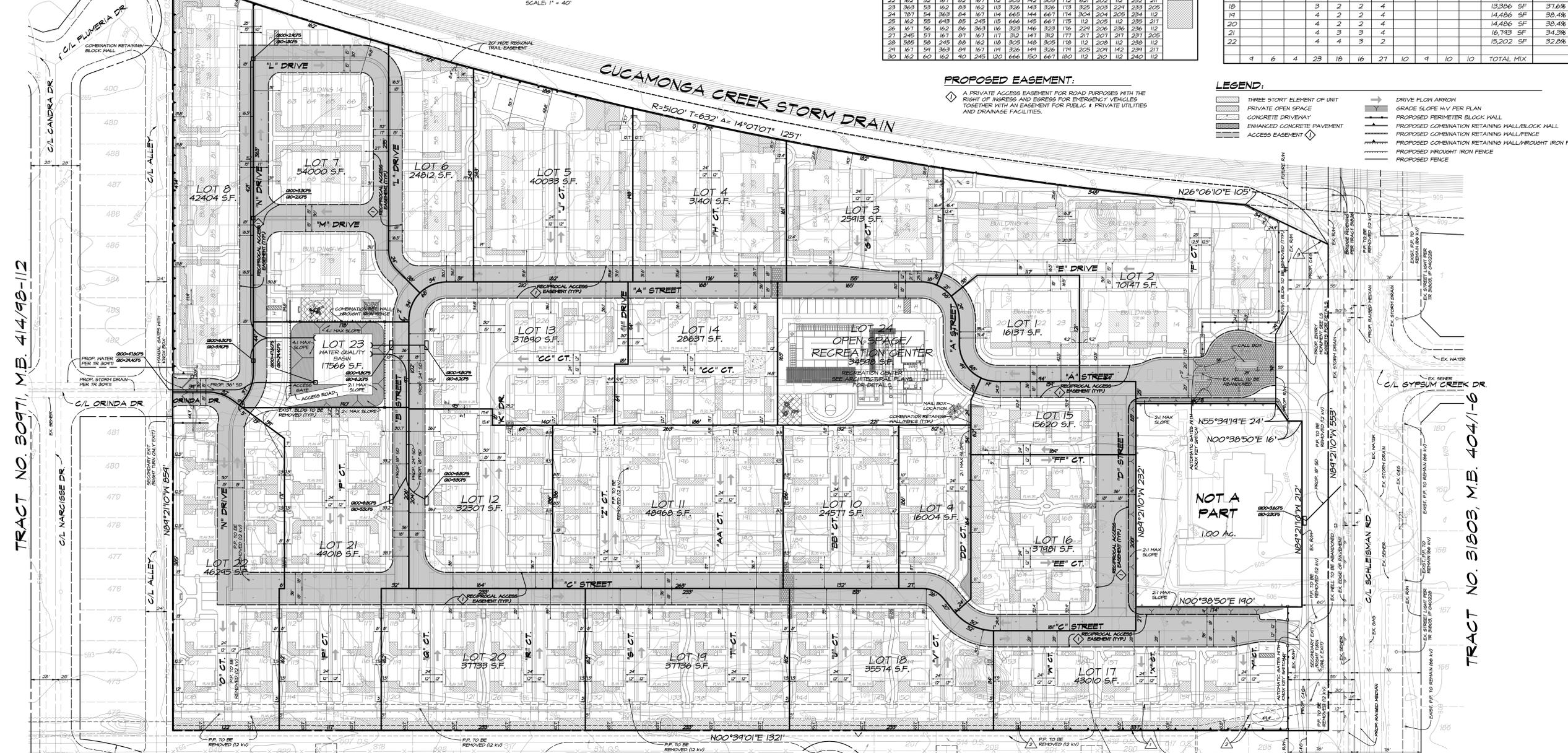
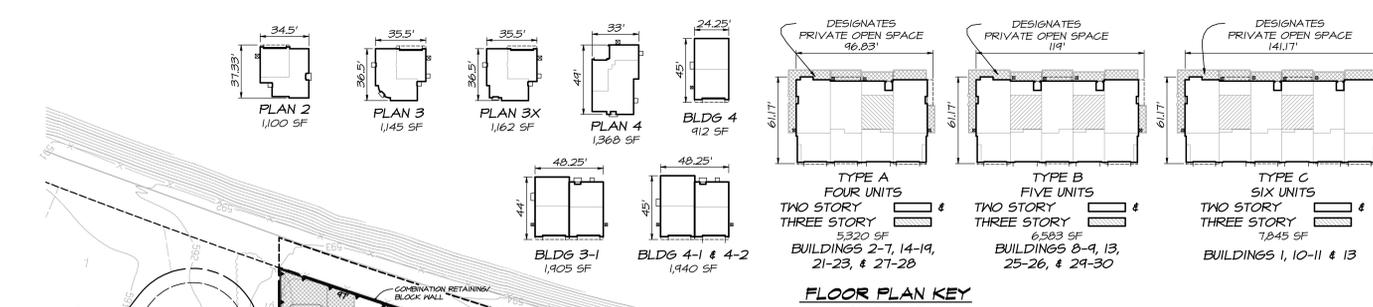
NOTES
 1. ALL IMPROVEMENTS SHALL BE PER SCHEDULE "A" SUBDIVISION ORDINANCE 460, UNLESS NOT OTHERWISE SPECIFIED.
 2. 2007 THOMAS BROS. MAP BOOK, PAGES 712, GRID J-1.
 3. THIS MAP DOES INCLUDE THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER.
 4. PROJECT IS NOT WITHIN A SPECIFIC PLAN.
 5. EASEMENTS OF RECORD ARE PLOTTED HEREON.
 6. PROJECT IS WITHIN JURUPA COMMUNITY SERVICES DISTRICT.
 7. THERE ARE TWO EXISTING WELLS TO BE ABANDONED ON THE PROPERTY.
 8. TOPOGRAPHY PLOTTED BY INLAND AERIAL SURVEYS ON 4/5/2000.
 9. SETBACKS OF SLOPES TO PROPERTY LINES SHALL CONFORM TO ORDINANCE 481 REQUIREMENTS.
 10. ALL SLOPES ARE 2:1 RATIO, UNLESS OTHERWISE NOTED.
 11. (20) INDICATES PRELIMINARY PAD ELEVATION.
 12. NO EXISTING OR PROPOSED SUBSURFACE SEPTIC SEWAGE DISPOSAL IS INTENDED ON SITE.
 13. LAND IS SUBJECT TO LIQUEFACTION AND OTHER GEOLOGICAL HAZARD AND IS NOT WITHIN A SPECIAL STUDIES ZONE.
 14. LAND IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD.
 15. THIS MAP IS IN FLOOD ZONE C FOR AREAS OF FLOODING PER FEMA PANEL 13-03024S ORANGE COUNTY.
 16. THERE ARE COMMON AREAS, AND RECREATIONAL AREAS WITHIN THIS PROJECT.
 17. THERE ARE EXISTING STRUCTURES OR DWELLINGS ON SITE.
 18. EXISTING UTILITIES ABUTTING PROPERTY FRONTAGE ARE SHOWN.
 19. PROJECT IS NOT ZONED R-2, RESTRICTED SINGLE-FAMILY RES.
 20. THE PROJECT WILL COMPLY WITH NEDES REQUIREMENTS AS REQUIRED BY NEDES SUPPLEMENT "A".
 21. ENTRY MONUMENTATION PER COUNTY/DEVELOPER DESIGN STANDARDS & GUIDELINES.
 22. THERE ARE NO OPEN CHANNELS PROPOSED WITHIN THIS PROJECT.
 23. THE PROPOSED BASIN INCLUDES ONE ACCESS GATE FOR MAINTENANCE PURPOSES AND NO TRAILS OR PEDESTRIAN ACCESS.

PRIVATE SPACE TABLE PER UNIT:

UNIT #	AREA (S.F.)																							
1	108	31	363	81	167	41	300	121	666	151	666	181	236	211	236	241	217							
2	163	32	423	82	243	82	284	122	328	152	341	182	221	212	242	212	243	212						
3	168	33	167	63	363	43	243	123	312	153	310	183	221	213	224	213	243	205						
4	234	34	162	64	162	44	604	124	305	154	666	184	205	214	205									
5	245	35	167	65	167	45	513	125	326	155	666	185	212	215	112									
6	167	36	245	66	245	46	246	126	666	156	316	186	224	216	217									
7	162	37	606	67	363	47	283	127	666	157	310	187	217	217	112									
8	167	38	163	68	162	48	300	128	323	158	666	188	212	218	217									
9	108	39	167	69	167	49	300	129	312	159	310	189	205	218	112									
10	363	40	162	70	245	100	287	130	305	160	310	190	212	220	263									
11	167	41	167	71	424	101	207	131	326	161	310	191	236	221	112									
12	162	42	245	72	162	102	448	132	666	162	324	192	212	222	217									
13	167	43	180	73	167	103	249	133	667	163	310	193	224	223	112									
14	245	44	163	74	245	104	285	134	323	164	325	194	205	224	205									
15	245	45	167	75	164	105	164	135	312	165	601	195	212	225	112									
16	167	46	162	76	167	106	195	136	325	166	684	196	224	226	217									
17	162	47	167	77	162	107	326	137	326	167	325	197	217	227	112									
18	167	48	245	78	167	108	720	138	667	168	302	198	212	228	205									
19	363	49	245	79	162	109	145	139	667	169	308	199	212	229	112									
20	245	50	167	80	363	110	323	140	323	170	325	200	212	230	217									
21	167	51	162	81	363	111	312	141	312	171	201	201	217	231	205									
22	162	52	167	82	112	112	305	142	305	172	621	202	212	232	217									
23	363	53	162	83	162	113	326	143	326	173	325	203	212	233	205									
24	787	54	363	84	167	114	665	144	667	174	304	204	205	234	112									
25	162	55	643	85	245	115	666	145	667	175	112	205	212	235	217									
26	167	56	162	86	363	116	323	146	323	176	221	206	236	212	112									
27	245	57	167	87	167	117	312	147	312	177	217	207	217	237	205									
28	585	58	245	88	162	118	305	148	305	178	112	208	212	238	112									
29	167	59	363	89	167	119	326	149	326	179	209	209	212	239	217									
30	162	60	162	90	245	120	666	150	667	180	112	210	212	240	112									

LOT COVERAGE TABLE:

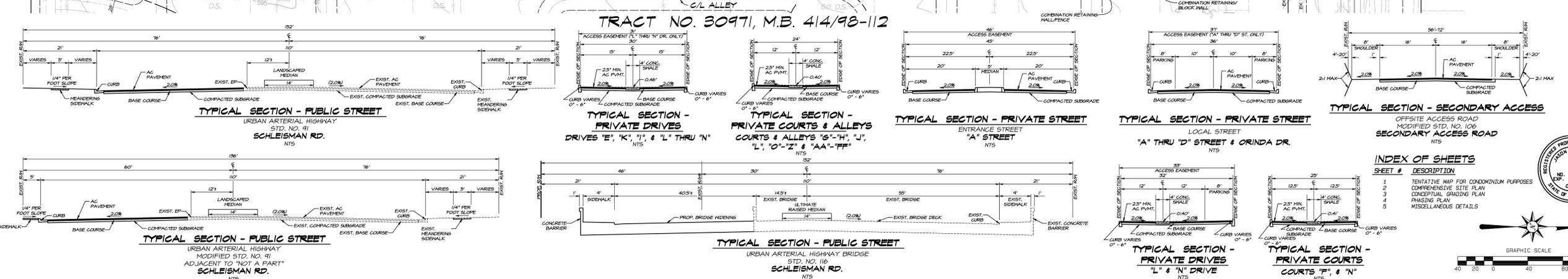
LOT #	ATTACHED PLANS				CLUSTERED PLANS				PAIRED PLANS				COMBINED BUILDING AREA	LOT COVERAGE PERCENTAGE	
	A	B	C	2	3	3X	4	3-1	4-1	4-2	4-3				
1													5,320 SF	33.0%	
2	1	3											25,064 SF	35.7%	
3	2												10,640 SF	41.8%	
4		1	1										14,428 SF	45.9%	
5				2									15,640 SF	34.2%	
6	2												10,640 SF	42.9%	
7	3												15,160 SF	23.6%	
8		2	1										21,011 SF	49.5%	
9								1	1	1			3,845 SF	24.0%	
10								1	2	2	1		1,725 SF	31.4%	
11								3	4	2	3		15,415 SF	31.5%	
12								3	1	1	1		9,545 SF	24.7%	
13										3	3		11,640 SF	31.0%	
14											1	2		4,630 SF	33.3%
15													3,830 SF	23.2%	
16								1	2	1	3		10,256 SF	28.6%	
17								3	3	2	5		12,599 SF	24.3%	
18								3	2	2	4		13,386 SF	31.6%	
19								4	2	2	4		14,486 SF	38.4%	
20								4	2	2	4		14,486 SF	38.4%	
21								4	3	3	4		16,743 SF	34.3%	
22								4	4	3	2		15,202 SF	32.8%	
9	6	4	23	18	16	27	10	9	10	10		TOTAL MIX			



PROPOSED EASEMENT:
 A PRIVATE ACCESS EASEMENT FOR ROAD PURPOSES WITH THE RIGHT OF INGRESS AND EGRESS FOR EMERGENCY VEHICLES TOGETHER WITH AN EASEMENT FOR PUBLIC & PRIVATE UTILITIES AND DRAINAGE FACILITIES.

LEGEND:

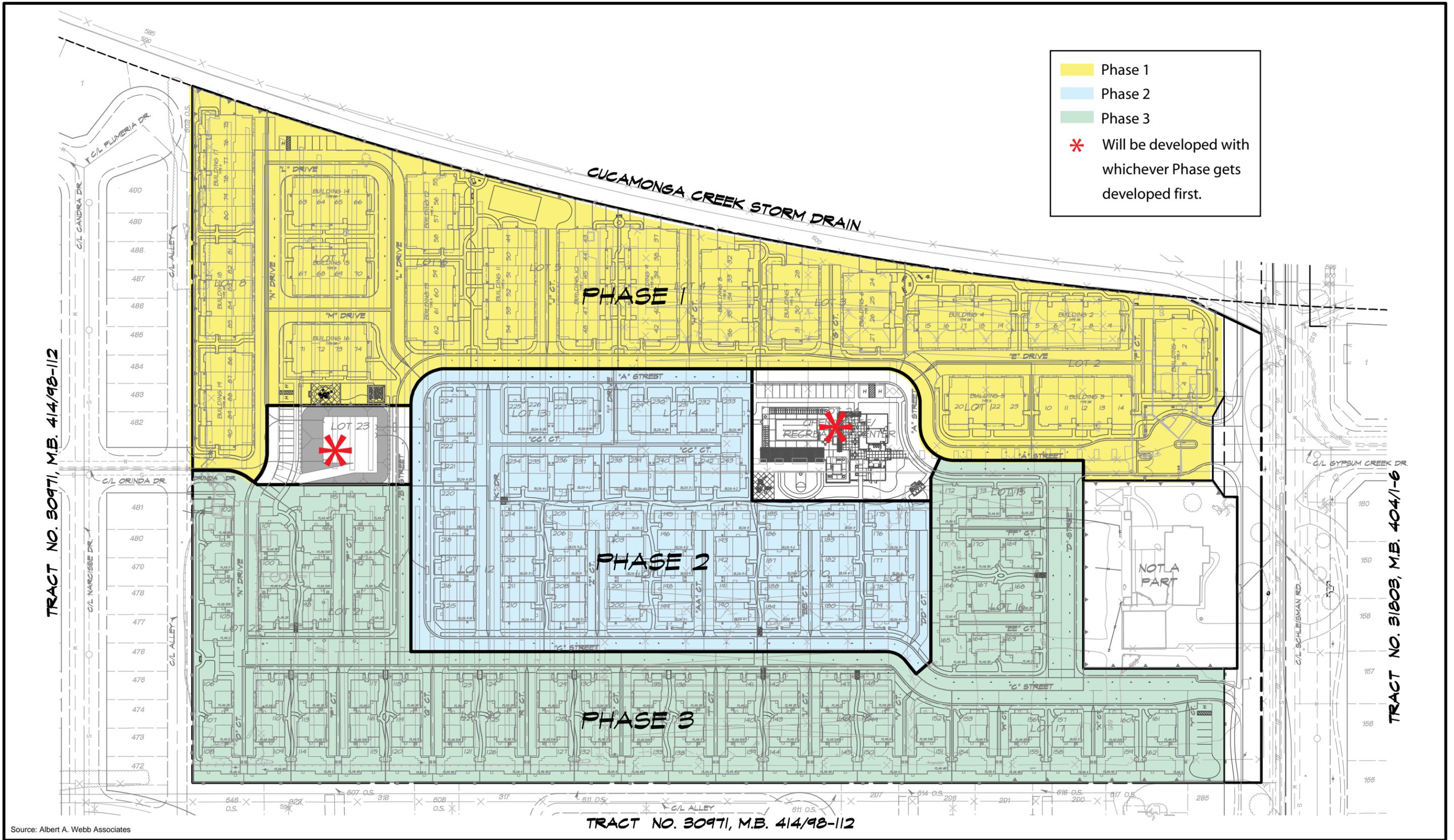
- THREE STORY ELEMENT OF UNIT
- PRIVATE OPEN SPACE
- CONCRETE DRIVEWAY
- ENHANCED CONCRETE PAVEMENT
- ACCESS EASEMENT
- DRIVE FLOW ARROW
- GRADE SLOPE H/W PER PLAN
- PROPOSED PERIMETER BLOCK WALL
- PROPOSED COMBINATION RETAINING WALL/BLOCK WALL
- PROPOSED COMBINATION RETAINING WALL/FENCE
- PROPOSED COMBINATION RETAINING WALL/ROUGHT IRON FENCE
- PROPOSED DRAUGHT IRON FENCE
- PROPOSED FENCE



TRACT NO. 30971, M.B. 414/98-112

TRACT NO. 31803, M.B. 404/1-6

- Phase 1
- Phase 2
- Phase 3
- ✱ Will be developed with whichever Phase gets developed first.



Source: Albert A. Webb Associates

TRACT NO. 30971, M.B. 414/98-112

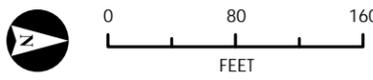


FIGURE
Phasing Option for TTM 35751



**CITY OF EASTVALE
CITY COUNCIL STAFF REPORT**

ITEM XX

DATE: JULY 27, 2016

TO: HONORABLE MAYOR AND COUNCILMEMBERS

FROM: ERIC NORRIS, PLANNING DIRECTOR

SUBJECT: PLANNING DEPARTMENT UPDATE

RECOMMENDATION: RECEIVE AND FILE

Planning projects are provided in the attached Planning Project Status list. The list provides a brief summary and status of each project. New information are highlighted in yellow. A map identifying the location of each project is also included.

FISCAL IMPACT

None.

STRATEGIC PLAN IMPACT

None.

ATTACHMENT

1. Planning Project Status List and Map

Prepared by: Kanika Kith, Senior Planner
Reviewed by: Eric Norris, Planning Director
Reviewed by: Michele Nissen, City Manager

Eastvale Planning: Major Projects Summary

July 21, 2016

Highlighted Text = Updated Information¹

Map ID	Project	Notes	Current Activity
1.	<p>KB Homes – The Lodge, Residential Development Project No. 10-0124</p> <p>Project Location: Northwest Corner of Limonite Avenue and Scholar Way</p> <p>205 detached single-family homes</p> <p>Planner: Kanika Kith</p>	<p>PC approval on March 18, 2015 to add tempered glass panels along Scholar Way</p> <p>Approved Phase II Master Home Plan on December 3, 2015.</p> <p>Received HOA Landscape Maintained Areas for the northern portion on March 15, 2016. Approved on March 17, 2016.</p> <p>Revised HOA Landscape Maintained Areas for Phase 2 received on April 21, 2016. Approved on April 28, 2016.</p>	<p>Under construction</p> <p>Symmetry model homes now open</p>
2.	<p>Goodman Commerce Center (formally Lewis Eastvale Commerce Center) Project No. 11-0271 **see also Project No. 15-0551 (No. 22 on this list)</p> <p>Project Location: 190 acres +/- fronting on Hamner Ave. north of Bellegrave Ave. and south of Cantu-Galleano Ranch Road</p> <p>General Plan Amendment, Change of Zone, and Specific Plan to provide for a mix of warehousing, light industrial, office, and retail uses.</p> <p>CEQA: Environmental Impact Report (certified)</p> <p>Planner: Eric Norris/Cathy Perring</p>	<p>Approved by City Council on November 12, 2014</p> <p>Groundbreaking held May 20, 2015.</p> <p>Landscape plans for Building 1 & 2 approved on November 11, 2015.</p> <p>Building permits issued for two industrial buildings.</p> <p>Off-site common area landscape plans approved on December 4, 2015.</p> <p>Basin and Bellegrave Ave. landscape plans approved on December 18, 2015.</p> <p>Received Hamner Ave. landscape plans on January 14, 2016.</p> <p>Applicant has requested revisions to the approved Development Plan and conditions of approval to accommodate a potential tenant for the building currently under construction. City Council approved the request on April 13, 2016.</p>	<p>Under construction</p>

¹ New projects are added at the bottom of the list as they are submitted.

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		<p>Received revised construction plans for Building #2. Provided comments to architect on April 18, 2016.</p> <p>Received basin fixture landscape plans on April 13, 2016 and under review.</p> <p>City Council on April 13 approved changes to the conditions of approval affecting Building B 0</p>	
3.	<p>D.R. Horton – The Trails, Planned Residential Development Residential Subdivision Project No. 11-0558</p> <p>Project Location: Northwest corner of Archibald and 65th</p> <p>General Plan Amendment, Change of Zone, Tentative Tract Map, and Planned Residential Development for 256 dwelling units with a 5-acre park.</p> <p>CEQA: Mitigated Negative Declaration</p> <p>Planner: Kanika Kith</p>	<p>Approved by City Council on May 22, 2013.</p> <p>Approved monument signs on March 10, 2016.</p>	Project is under construction.
4.	<p>Walmart – Eastvale Crossings Project No. 12-0051</p> <p>Project Location: Southeast corner of Limonite and Archibald Avenues (APNs 144-030-028, -012, -014)</p> <p>Proposal for the development of a 177,000 +/- sq. ft. retail store and several outparcels on 23.37 acres</p> <p>CEQA: EIR</p> <p>Planners: Eric Norris</p>	<p>Project was reviewed by the Riverside County Airport Land Use Commission and received a conditional finding of conformance with the Chino Airport Land Use Compatibility Plan.</p> <p>Release of the Draft EIR is on hold pending a determination on how to address the issue of greenhouse gas emissions.</p> <p>Updated administrative review draft of the EIR is expected in late July. No tentative date for the release of the Draft EIR for public review is available.</p> <p>Revised Sign Program received on July 7th and is under review.</p>	No tentative hearing date

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5.	<p>Lennar – Estancia, Planned Residential Development Subdivision Project No. 12-0275</p> <p>Project Location: South of Citrus Street, West of Scholar Way APN(s): 152-040-040,152-040-026 & 152-030-006</p> <p>Tentative Tract Map, Change of Zone, and Planned Residential Development that combine the two previously approved subdivisions (Gary Dou Residential subdivision and Proactive Engineering subdivision).</p> <p>Planner: Kanika Kith</p>	<p>Approved by City Council on April 24, 2013</p>	<p>Project is under construction.</p>
6.	<p>Lennar – Mill Creek Crossing, Planned Residential Development Subdivision Project No. 12-0297</p> <p>Project Location: Southeast corner of Chandler St. and Hellman Avenue</p> <p>Minor Development Plan Review for the development of a Master Home Plan for the "Mill Creek Crossing at Eastvale" residential development of 122 single family dwelling units for Tract 29997</p> <p>Planner: Kanika Kith</p>	<p>MDP and TUP approved November 17, 2014.</p> <p>Received revisions for precise grading plans Phase 5 and master home plan on September 23, 2015.</p> <p>Approved revisions for precise grading plans Phase 5 and master home plan on October 8, 2015.</p>	<p>Project is under construction.</p>
7.	<p>Providence Business Park Project No. 12-0750</p> <p>Project Location: West of Archibald and approximately 750 ft. south of Limonite Ave (144-010-002, -033, -037, & -038)</p>	<p>Approved by CC on April 9, 2014</p> <p>Project has been sold to new owners, who have met with staff to discuss implementing the approved development plans.</p> <p>Planning has been contacted by the new owner regarding potential changes to the office portion of the project, but no application for a change has been filed.</p>	<p>Road improvements under construction on Archibald Avenue.</p>

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	<p>MDR, ZC, TPM for the development of a business park consisting of 14 new industrial buildings ranging from 12,850 square feet to 129,000 square feet and associated improvements on 53.37 gross acres of vacant land (former Bircher's site).</p> <p>CEQA: EIR Addendum</p> <p>Planner: Kanika Kith</p>	<p>Final Map approved by City Council on June 8, 2016.</p>	
8.	<p>D.R. Horton – Copper Sky, Residential Subdivision Project No. 13-0395</p> <p>Project Location: Southeast Corner of Schleisman Road and Scholar Way</p> <p>Minor Development Plan Review for a Master Home Plan for "Copper Sky at Eastvale" residential development.</p> <p>Planner: Kanika Kith</p>	<p>Received revised construction plans on December 30, 2015 and approved revised construction plans on January 5, 2016.</p> <p>Received revised design package on January 5, 2016.</p> <p>Received revised model home complex plans on January 19, 2016.</p> <p>Received TUP model home complex plans on January 26, 2016.</p> <p>Received revised wall and fence plans on January 27, 2016.</p> <p>Received setback adjustment application on February 4, 2016.</p> <p>Received typical landscape plans for Copper Heights on February 15, 2016.</p> <p>Sent approval letter for TUP of model homes and sales office of lots 173-175, setback adjustments, and FSOD on February 25, 2016.</p> <p>On May 12, 2016, the applicant submitted proposed elevation changes to house Plans 7-9.</p> <p>Revised elevations for Plans 7-9 approved on June 28, 2016.</p>	<p>Under construction.</p> <p>Models at Copper Heights are now open.</p>

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9.	<p>Stratham Homes, GPA/CZ Project No. 13-0632</p> <p>Project Location: 10-acre site at Southeast corner of Schleisman Road and Sumner Avenue, north of Orange Street (APN 152-040-001)</p> <p>Proposed General Plan Amendment and Change of Zone change the land use designation of this parcel from commercial to residential</p> <p>CEQA: GP EIR Addendum</p> <p>Planner: Cathy Perring</p>	<p>CC denied project without prejudice on January 28, 2015.</p> <p>March 11, 2015—Met with the applicant to discuss a new residential proposal for the site. Staff provided initial feedback; applicant will revise and bring back a formal submittal.</p> <p>February 12, 2016 – Applicant met with City staff to discuss potential residential project for this site. No application is expected to be filed in the foreseeable future.</p>	Waiting for formal submittal
10.	<p>99 Cents Only Store Project No. 13-1601</p> <p>Project Location: Northwest Corner of Hamner Ave. and “new” Schleisman Road</p> <p>Major DP for new 19,104 SF standalone retail building on 2.67-acres.</p> <p>CEQA: Mitigated Negative Declaration</p> <p>Planner: Cathy Perring/Kanika Kith</p>	<p>Planning Commission approved on June 17, 2015.</p> <p>Provided comments to Building and Public Works departments on July 6, 2015 for review of grading plan and construction drawings.</p> <p>Received on-site improvements and precise grading plans from Public Works on September 10, 2015.</p> <p>Provided planning comments to Public Works and Building on September 22, 2015.</p> <p>Approved revised lighting plans on 11/17/15.</p> <p>Project is in the process of being purchased by a new owner, who intends to build the approved store.</p> <p>Planning has had initial discussions with the owner regarding plans for the northern portion of the property, but no application has been filed.</p>	Building Permit Review

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11.	<p>Panera Bread with Drive-Through Project No. 13-1748</p> <p>Project Location: 12376 Limonite Ave., Eastvale Gateway South (Shops 2)</p> <p>Major Development Plan and Conditional Use Permit modify an approved retail building (Shop 2) in the Eastvale Gateway South retail center to accommodate a drive-through facility for Panera Bread</p> <p>CEQA: Categorical Exemption</p> <p>Planner: Kanika Kith/Malinda Lim</p>	<p>Approved at Planning Commission on January 7, 2015</p> <p>Store opened in December 2015.</p> <p>Staff met with Lewis and Panera on January 14, 2015 to discuss directional signage for the drive-through operation to improve traffic flow.</p> <p>Lewis presented a conceptual revised drive-through and signage plan on February 3, 2016. Staff reviewed the conceptual plan, and directed the applicant to submit construction plans, which to date have not been submitted. Planning followed up with Lewis Retail regarding directional sign on June 13th and has not heard back.</p> <p>Planning followed up with Lewis Retail regarding directional sign on July 18th and the Lewis indicated some difficulties in implement the plan because they do not own all of the parcels.</p>	In operation
12.	<p>William Lyons Homes – Nexus Residential Development Project No. 14-0046</p> <p>Project Location: 10-acre site south of 24-hour Fitness Center in the Eastvale Gateway South retail center.</p> <p>Tentative Tract Map No. 36446 and Major Development Review for a residential development (Nexus) consisting of 220 townhomes and a recreation area</p> <p>Planner: Kanika Kith</p>	<p>Approved by PC October 15, 2014</p> <p>Model homes opened 9/19/15.</p>	<p>Project under construction.</p> <p>Model homes opened 9/19/15.</p>
13.	<p>LBA Realty Industrial Building Project No. 14-1077</p> <p>Project Location: North of Cantu-Galleano Ranch Road 1,000 feet east of Hamner Avenue. (APN 160-020-033 and 156-050-025)</p>	<p>Formal application submitted on October 20, 2014.</p> <p>6/4/15 Comment letter sent to applicant re: January 26, 2015 resubmittal package. Revised development plans received July 14, 2015. Traffic study and landscape plans received in August.</p> <p>Met on July 29, 2015 to discuss shared access with Grainger and applicant.</p>	<p>Planning Commission approval on April 20, 2016</p>

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	<p>Major Development Review for a 446,173 sq. ft. industrial building on APN 160-020-033 (approximately 24 acres) and overflow parking on APN 156-050-025.</p> <p>CEQA: EIR</p> <p>Planner: Cathy Perring/Kanika Kith</p>	<p>Comment letter sent to applicant regarding all July and August submittals on October 12, 2015.</p> <p>Draft EIR 45-day review period ends Monday, January 25.</p> <p>At-risk building plans submitted on January 6, 2016; civil plans submitted January 12.</p> <p>Comments for Draft EIR were received from six agencies. Response to Comments/FEIR being prepared.</p> <p>Received on-site improvement plans on February 4, 2016.</p> <p>Received revised improvement and landscape plans on March 10, 2016.</p> <p>Received 2nd submittal for construction building plans on March 17, 2016.</p> <p>Landscape plans have been submitted and are currently in for second plan check.</p> <p>The applicant has been submitting information verifying compliance with conditions of approval. Issue had arisen re: COA #28 with respect to guard shack location. Staff worked with the applicant over the last couple of months to find an acceptable design that will accommodate adequate truck stacking. Received acceptable solution to allow five trucks to stack on-site, 7/7/16.</p>	
14.	<p>Stratham Homes – Sendero Planned Residential Development Project No. 14-1398 **See Project No. PLN 15-06023 (No. 30 on the list) Project Location: Northwest corner of Limonite and Harrison; APN 164-010-017</p> <p>General Plan Amendment, Change of Zone, Planned Residential Development, and Tentative Tract Map for the subdivision of approximately 44 acres into 323 residential lots and 14 lots for open space and water basins</p>	<p>Planning Commission on May 20, 2015 voted to recommend approval of GPA, Change of Zone, and PRD, and denial of TTM due to too many units.</p> <p>City Council on June 10, 2015 voted 3-0 adopting the MND and approving GPA, Change of Zone, PRD, and TTM subject to not using SCE easement or the City right-of-way to satisfy ALUC open space requirement.</p> <p>Meeting on July 22, 2015 to discuss revised site plan with applicant.</p> <p>Revised site plan presented to City Council on September 9, 2015 and Council was supportive of the revised site layout.</p>	<p>Approved by CC on June 10, 2015</p> <p>In Review</p>

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	<p>CEQA: Mitigated Negative Declaration</p> <p>Planner: Kanika Kith</p>	<p>The applicant submitted a parcel map to divide the site into 4 parcels for financing purposes. See notes for Project No. PLN 15-06023 for more information regarding the review of the Parcel Map.</p> <p>Applicant submitted first Master Home Plan on April 6, 2016.</p> <p>A proposed phasing map (parcel map) for the project will be reviewed by the Planning Commission in August.</p>	
15.	<p>AT&T – River Road, New Disguised Wireless Facility Project No. 14-2832</p> <p>Project Location: Southeast Corner of Hall Avenue and River Road, west of Baron Drive</p> <p>Minor Development Plan application for a 70-foot tall disguised wireless facility and a 138 square-foot equipment shelter located at 14700 River Road</p> <p>Planner: Kanika Kith</p>	<p>Planning Director approval on July 15, 2015.</p> <p>Received construction plans on March 8, 2016. Provided comments to applicant on March 23, 2016.</p>	Under Construction
16.	<p>Verizon – Community Park, New Disguised Field Light Wireless Facility Project No. 14-3325</p> <p>Project Location: South of Citrus Street, and west of Hamner Avenue within the Eastvale Community Park – 12750 Citrus Street</p> <p>Minor Development Plan application for the construction of a 70-foot tall wireless facility disguised as a field light and an approximate 469 square-foot equipment shelter within the Eastvale Community Park at 12750 Citrus Street</p> <p>Planner: Kanika Kith/Malinda Lim</p>	<p>Submitted on November 25, 2014; comment letter sent December 24, 2014</p> <p>Last correspondence with applicant on March 2, 2015, change of location for tower and enclosure</p> <p>Revised plans received on July 30, 2015. Comments to be provided to applicant by August 29, 2015.</p> <p>Comments provided to applicant on August 27, 2015.</p> <p>Additional landscape comments provided to applicant on September 8, 2015.</p> <p>Staff met with applicant on September 17, 2015 to discuss items addressed in comment letter.</p>	In review

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		<p>Applicant submitted revised plans on 11/9/15 and was informed to provided additional information requested in the comment letter.</p> <p>Letter sent to the applicant on July 13, 2016 to add streets and street names on the coverage map.</p>	
17.	<p>Verizon – Providence Park, New Disguised Field Light Wireless Facility Project No. 14-3326</p> <p>Project Location: South of Hollowbrook Wy., west of Woodpigeon Rd, north of Aspen Leaf Lane, and east of Cobble Creek Dr. within Providence Ranch Park – 7250 Cobble Creek Dr.</p> <p>Minor Development Plan application for a 25-foot long wireless antenna to be installed on an existing 70-foot tall field light and for the construction of an approximate 469 square-foot equipment shelter within Providence Ranch Park at 7250 Cobble Creek Drive</p> <p>Planner: Kanika Kith/Malinda Lim</p>	<p>Submitted on November 25, 2014; comment letter sent December 24, 2014</p> <p>Last correspondence with applicant on March 2, 2015, change of location for tower and enclosure</p> <p>Comments on revised plans provided to applicant on August 11, 2015.</p> <p>Applicant provided updates photo simulation photos on December 1, 2015.</p> <p>Awaiting for other submittal materials.</p> <p>Sent comment letter for missing items and revisions to submitted plan on June 15, 2016.</p> <p>Letter sent to the applicant on July 13, 2016 to add streets and street names on the coverage map.</p>	Waiting submittal of incomplete items.
18.	<p>Chandler Catholic Church Project No. 15-0175</p> <p>Project Location: 14325-14395 Chandler Street</p>	Applicant working with ALUC on required approval of proposed occupant density in the sanctuary.	Pre-Application Complete

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	<p>APNs: 144-121-005, 144-130-008, 144-130-009, and 144-130-010</p> <p>Pre-Application Review to be located at 14395 Chandler Street (4 individual parcels owned by 3 separate owners) within the C-1/C-P and A-1 zoning districts.</p> <p>Project Planner: Cathy Perring</p>	<p>City staff met with the church/applicant on June 16 to discuss the project processing approach. Revised plans and formal application expected within one to two months.</p>	
19.	<p>Goodman Commerce Center Business Park NEC of Bellegrave/Hamner Project No. 15-0551</p> <p>**see Project No. 11-0271 (No. 2 on this list)</p> <p>Project Location: Northeast corner of Bellegrave and Hamner Avenues.</p> <p>Proposal for the development of the Business Park. The development will include 8 buildings and approximately 191,356 SF. The development will accommodate professional offices, light industrial and light assembly uses.</p> <p>Project Planner: Eric Norris/Kanika Kith</p>	<p>Planning Commission approval on August 5, 2015.</p> <p>Project Approval letter send on August 11, 2015</p> <p>Applicant submitted first set of construction drawings for all eight buildings on October 8. Planning review of six buildings complete on October 13, 2015. Additional sets of construction drawings received and distributed for internal review on October 12, 2015.</p> <p>Applicant submitted second set of construction drawings for all eight buildings on December 1, 2015. Provided comments on December 15, 2015; awaiting corrections.</p> <p>Received revised construction plans for Buildings 1-8 on January 20, 2016. Approved by Planning on January 30, 2016.</p> <p>Received CDA well site construction and landscape plans.</p> <p>Received revised elevations for Building 3 and Building 4 and provided comments to applicant on April 18th.</p> <p>On April 24th, applicant provided revised elevation for Buildings 3 and 4. Planning approved revised elevation on April 24th. Revised elevations will be included in the construction drawings.</p>	<p>Building Permit Review</p>
20.	<p>The Ranch (Commercial Portion) Project No. 15-0783</p>	<p>Planning Commission reviewed and recommended approval to City Council on November 4, 2015.</p>	<p>Approved by City Council on December 9, 2015.</p>

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	<p>**See Project No. PLN 16-00011 for The Ranch-Industrial Portion (No. 32 on the list)</p> <p>Project Location: Northeast and Southest corners of Hellmand and Limonite (Kimball) Avenues.</p> <p>Moons Site (APNs: 144-010-008-0, 144-101-013-4) and Rodriguez Site (APN: 144-010-009-1)</p> <p>Specific Plan Amendment (SPA) to modify existing boundaries for The Ranch SP No. 358 for Planning Areas 1 through 6, land use designation for Planning Area 5, and revisions to allowable uses. No revisions to Planning Areas 7 through 9 are being proposed. This request also included review for: Major Development Review (DP) for six (6) industrial buildings totaling 985,000 SF on six (6) parcels, Tentative Parcel Map (TPM) 36787 to divide approximately 97 gross acres into 14 legal parcels, Sign Program, and Environmental Review.</p> <p>Planners: Cathy Perring</p>	<p>Approval letter will be sent following CEQA 30-day statute of limitation ending on January 12, 2016. No challenge was filed.</p> <p>Received median and parkway landscape plans on January 27, 2016. Comments provided on February 3, 2016. Revisions for landscape plans came in on March 23, 2016.</p> <p>See notes for Project No. PLN 16-00011 (No. 32 on the list) for information on development of the project.</p> <p>On February 19, 2016, a new owner purchased the six (6) light industrial business park lots that were approved on November 4, 2015 (project #32 on this list). The commercial sites will be developed by the original applicant.</p>	<p>Second reading by City Council on January 13, 2016.</p> <p>Project complete</p>
21.	<p>Leal Master Plan Special Project</p> <p>Project Location: 160 acres ± at the northwest corner of Hamner and Limonite Avenues, east of Scholar Way and south of 58th Street.</p> <p>This Master Plan describes the community's vision for the project area, identifies appropriate land uses, and includes the development standards that are necessary to achieve the vision, defines the character of the project's development, lists the steps involved with the</p>	<p>Public Review Draft of the Leal Master Plan distributed February 2015 and currently available online (www.LealSpecificPlan.com).</p> <p>On September 16, 2106, the Planning Commission reviewed and recommended approval to City Council.</p> <p>No date for Council consideration of the project has been established.</p> <p>Staff continues to meet as needed with potential developers for the site.</p>	<p>Taken off City Council 12/9/15 agenda.</p>

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	<p>development process, and provides the project's implementation plan.</p> <p>Planner: Eric Norris</p>		
22.	<p>Eastvale Marketplace Project No. 15-0958</p> <p>Project Location: Northeast Corner of Limonite and Sumner Avenues</p> <p>Proposal construction of a new neighborhood retail center with multi-tenant and single tenant buildings and associated parking facilities to be located at the northeast corner of Limonite Avenue and Sumner Avenue. Potential uses include grocery, banking, drug store, restaurants, general retail, service, and a tire store.</p> <p>Planners: Kanika Kith/Eric Norris</p>	<p>PC approval on November 18, 2015. Appeal period end on November 30th. No appeal has been received. NOD recorded at Riverside County Recorder on November 24, 2015.</p> <p>Applicant is currently working with a new grocery store and other tenants. Planning has been contacted by the prospective tenant to confirm conditions of approval and other information about the project approval. Due to confidentiality, no information on the prospective tenant can be released.</p> <p>Waiting to hear back from the applicant regarding a meeting to discuss minor modifications to elevations and drive-through lanes.</p>	<p>PC approval on November 18, 2015</p>
23.	<p>Vantage Point Church Project No. 15-1174</p> <p>**see also Project No. 14-2322</p> <p>Project Location: 8500 Archibald Ave. (APN: 130-080-005-3 and 130-080-008-6)</p> <p>Proposal to construct a sanctuary, church, community buildings, and associated site improvements.</p> <p>Planner: Kanika Kith</p>	<p>Formal application for Major Development Review and Conditional Use Permit submitted on May 1, 2015</p> <p>Incompleteness letter sent June 1, 2015.</p> <p>Comment letter regarding site design sent June 24, 2015.</p> <p>Met with the applicant during the week of December 7th.</p> <p>Waiting for Public Works to get proposal for traffic study.</p> <p>Traffic study scope shared with applicant on January 22, 2016. Planning needs to get info to applicant regarding technical studies for CEQA.</p> <p>Conference call on March 10, 2016 to discuss technical studies needed for CEQA. Applicant will provide written project description to be used on all technical studies to City for review.</p>	<p>Waiting for additional materials</p>

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		<p>Received payment for Traffic Consultant on April 6, 2016 and Public Works approved the Traffic Consultant to perform the work on April 19, 2016.</p> <p>Draft traffic study received on April 29th. Comments provided on May 9th to include the project description in the traffic study.</p> <p>Applicant provided revised project description on May 18th and was forwarded to the traffic consultant to include in the traffic study.</p> <p>Waiting for technical studies from the applicant.</p>	
24.	<p>JCSD Community Park – Phase II Project No. 15-1273</p> <p>Project Location: Southwest Corner of Hamner Avenue and Citrus Street</p> <p>Building permit review for development of Phase II.</p> <p>Planner: Kanika Kith/Yvette Noir</p>	<p>Construction drawings set received for review on 6/22.</p> <p>Reviewing construction set for compliance with COAs and MMRP.</p> <p>Landscape comments provided to applicant on July 17, 2015. Comments of missing items per COAs and MMRP provided to Building Department on July 28, 2015</p> <p>Received construction landscape plans on March 9, 2016. Provided comments and redlines to applicant on March 25, 2016.</p> <p>Received grading plan and revised construction drawings on March 22, 2016 and comments provided on April 14, 2016.</p> <p>Planning and Public Works have been meeting with JCSD and the property owner across whose land a portion of the park's entry road would be constructed to resolve issues related to an easement for the roadway.</p> <p>Provided applicant comments for construction landscape plans on June 16, 2016.</p>	<p>In building permit process.</p> <p>Awaiting for revised plans.</p>
25.	<p>Two industrial buildings on Hamner and Riverside Project No. 15-1508</p> <p>Project Location: Southeast Corner of Hamner Avenue and Riverside Drive (APN 156-040-087 and -088)</p>	<p>No appeal and approval letter sent to applicant on March 31, 2016.</p> <p>Construction drawings for both buildings were received on April 27th. Comments provided on May 19, 2016.</p> <p>Awaiting for revised landscape plans and construction drawings from applicant.</p> <p>Revised landscape plan submitted on July 11, 2016 and under review.</p>	<p>PC approval on March 16, 2016.</p> <p>In building permit process</p>

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	<p>Major Development Review for two new industrial buildings (40,000 sq ft. and 115,000 sq. ft.) to be located on two parcels behind the vacant lot (Chevron Site)</p> <p>Planner: Kanika Kith</p>		
26.	<p>Verizon on Grapewin Project No. 15-1662</p> <p>Project Location: Vacant lot located at 8306 Grapewin Street</p> <p>Minor Development Review for the development of a new wireless telecommunication facility disguised as a 50 feet tall monopalm consisting of 12 antennas, one parabolic antenna, and associated equipment.</p> <p>Planner: Kanika Kith/Morgan Weintraub</p>	<p>Application received on July 7, 2015.</p> <p>Project was deemed incomplete and requested additional information on August 6, 2015.</p> <p>Resubmittal received on September 3, 2015. Comments to be provided to applicant by October 3, 2105.</p> <p>Re-submittal and FAA clearance letter received on October 22, 2015.</p> <p>Comment letter sent to applicant on November 2, 2015. Awaiting for additional submittal materials.</p> <p>Biological study provided on February 29, 2016 and has been determined acceptable by the City.</p> <p>Staff is working on finalizing the development plans for consideration by the Planning Director.</p> <p>Notice sent to nearby property owners on April 6, 2016 and received two requests for a public hearing. Project is schedule for Planning Commission consideration on May 18, 2016. Staff is preparing the staff report.</p> <p>The project was presented to the Planning Commission on May 18, 2016. A number of residents in the area came to the meeting to express their concerns about the potential health impacts of the tower. The applicant provided information about federal safety standards.</p>	<p>Planning Commission denied project on June 15, 2016.</p> <p>City Council meeting on July 13, 2016 and continued to August 24, 2016.</p>

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		<p>The Commission voted 3-0 to continue the public hearing to the June 15 PC meeting to have the entire commission (members Oblea and Patel were absent) to hear the testimony and take part in the decision-making process.</p> <p>On June 15, 2016, the Planning Commission voted 3-1 denying the project.</p> <p>On July 13, 2016, City Council voted 4-1 to continue the project to August 24, 2016 to allow time for the applicant to provide coverage maps for alternative sites in the vicinity of the project site.</p> <p>A letter summarizing the City Council meeting was sent to the applicant on July 18, 2016.</p>	
27.	<p>Sendero Tentative Parcel Map Project No. PLN 15-06023</p> <p>**See Project No. 14-1398 (No. 14 on the list)</p> <p>Project Location: Northwest corner of Limonite Ave. and Harrison Ave. APN: 164-010-025</p> <p>Planner: Kanika Kith</p>	<p>Submitted application on December 16, 2015, but missing tentative map. Applicant provided tentative map on December 23, 2015. Project distributed to other departments for review.</p> <p>Meeting with applicant to discuss project on February 11, 2016.</p> <p>Feb 12, 2016 – Staff meet with the applicant to discuss the proposed parcel map and related issues of phasing and the construction of infrastructure (roads, trails, water/sewer lines, etc.)</p> <p>Provided comments to applicant about proposing phasing on March 4, 2016.</p> <p>Met with applicant on April 6, 2016 to discuss comments provided.</p> <p>Met with Public Works to discuss proposed Parcel Map and Phased TTM on April 13, 2016. Will meet with applicant during the week of April 25th to discuss outcome of internal staff meeting.</p> <p>Met with applicant on April 25, 2016 to discuss missing information for processing of the Parcel Map and Phased TTM. Informed the applicant to provide an exhibit or a table identify which infrastructure will be improved for each phase. The applicant will also provide a language informing potential developers of bonding transfer for this development.</p>	In Review

Map ID	Project	Notes	Current Activity
		<p>On May 9, 2016, staff follow up with the applicant regarding the missing information requested at the April 25th meeting. Applicant is working on the missing information. This information is needed to process the application.</p> <p>Staff is working on the staff report and conditions of approval to present this project to the Planning Commission.</p>	
28.	<p>The Ranch – Industrial Portion Project No. PLN 16-00011</p> <p>**See Project No. 15-0783 for The Ranch Commercial Portion (No. 21 on the list)</p> <p>Project Location: <u>60+ north</u> of Limonite (Kimball) Ave. and east of Hellman Ave. APN: 144-010-008, 144-101-013, and 144-010-009</p> <p>Planner: Cathy Perring</p>	<p>Submitted pre-application review and plans on March 31, 2016. Routed plans to reviewing agencies.</p> <p>Received construction plans for Building 1-6 on April 18, 2016.</p> <p>Comments for review of the construction plans for Buildings 1 to 6 were provided to the applicant on May 9th.</p> <p>Meeting set to meet with applicant Planning and Public Works staff on June 22nd.</p> <p>Applicant submitted Phase 1 landscape plans for buildings 1-6 on July 5, 2016.</p> <p>Grading permit issued week of 7/4/16. Pending preconstruction meeting with all CEQA-related monitors.</p> <p>Pre-grading meeting on July 20, 2016.</p>	In Review

Map ID	Project	Notes	Current Activity
29.	<p>Stratham Mixed-Use –Pre-App Review Project No. PLN 16-00013</p> <p>Project Location: Northeast corner of Limonite and Archibald Avenues</p> <p>Pre-application review for commercial and residential development consisting of approximately 68,800 sq. ft. of commercial retail on 8.7 acres, a 250-unit apartment complex on 10 acres (25 du/ac) and 82 cluster homes (detached single-family homes) on 7.3 acres (11.2 du/ac).</p> <p>Planner: Kanika Kith</p>	<p>Pre-Application received on May 2, 2016. Project was distributed to other departments and agencies for review on May 4th and comments are due on May 18th.</p> <p>Planning and Public Works had an internal meeting on May 18th to discuss access to the site.</p> <p>Comments provided to the applicant on June 10, 2016.</p>	Complete
30.	<p>Extension of Time for TTM 35751 Project No. PLN 16-00015</p> <p>Project Location: Southeast corner of Schleisman and Cucamonga Creek (behind Mayor Ike's home)</p> <p>Request to extend Tentative Tract Map 35751.</p> <p>Planner: Kanika Kith</p>	<p>Extension of time application received on May 16, 2016. Project was distributed to other department agencies for review on May 19th and comment are due on June 2nd.</p> <p>Additional materials received from the applicant on June 15th.</p> <p>Staff is working on the staff report to present the project to the Planning Commission.</p>	Tentative Hearing Date is August 17, 2016

Map ID	Project	Notes	Current Activity
31.	<p>Verizon at Chandler Fire Station Project No. PLN 16-00017</p> <p>Project Location: Northeast corner of Chandler and Selby</p> <p>Minor Development review for the installation of a new wireless telecommunications facility disguised as an 85-foot high water tank operated by Verizon within an approximately 529 sq. ft. lease area at the Chandler Fire Station</p> <p>Planner: Kanika Kith</p>	<p>Received application and submittal materials on July 7, 2016.</p> <p>Incompleteness letter sent to the applicant on July 20, 2016.</p>	Under Review
32.	<p>Pre-Application Review for Two Story Medical Office Building and Dialysis Center at The Enclave Marketplace Project No. PLN 16-00018</p> <p>Project location: 14252/14260 Schleisman Rd. at The Enclave shopping center.</p> <p>Pre-Application Review application for the construction of a 30,000 sq. ft. two story medical office building and a 10,000 sq. ft. dialysis center at the address referenced above. The buildings will cover the empty lot at the south end of the shopping center.</p> <p>Planner: Kanika Kith</p>	<p>Received application and submittal materials on July 7, 2016.</p>	Under Review
33.	<p>Landscape Plans – Bellegrave Avenue Parkway</p> <p>Project location: West of Hamner Avenue and East of Jamestown.</p>	<p>Landscape plans submitted for review July 14, 2016.</p>	Under review

