



# AGENDA PLANNING COMMISSION CITY OF EASTVALE

**Regular Meeting  
Wednesday, March 16, 2016  
6:00 p.m.**

**Rosa Parks Elementary School  
13830 Whispering Hills Drive  
Eastvale, CA 92880**

- 1. CALL TO ORDER**
- 2. ROLL CALL/PLEDGE OF ALLEGIANCE**

Commissioners: Daryl Charlson, Bill Van Leeuwen, Karen Patel  
Vice-Chair: Howard Feng  
Chair: Larry Oblea

- 3. PUBLIC COMMENT**

This is the time when any member of the public may bring a matter to the attention of the Planning Commission that is within the jurisdiction of the Commission. The Ralph M. Brown act limits the Commission's and staff's ability to respond to comments on non-agendized matters at the time such comments are made. Thus, your comments may be agendized for a future meeting or referred to staff. The Commission may discuss or ask questions for clarification, if desired, at this time. Although voluntary, we ask that you fill out a "Speaker Request Form," available at the side table. The completed form is to be submitted to the Recording Secretary prior to being heard. Public comment is limited to two (2) minutes each with a maximum of six (6) minutes.

- 4. PRESENTATIONS**  
  
None
- 5. ADDITIONS/DELETIONS TO THE AGENDA**
- 6. CONSENT CALENDAR**

#### **6.1 Planning Commission Minutes**

RECOMMENDATION: Approve the minutes from the February 17, 2016, regular meeting.

## 7. PUBLIC HEARING

**7.1 PROJECT NO. 15-1508** – Major Development Review for the development of two industrial buildings totaling 156,478 square feet. The project is located at the southeast corner of Hamner Avenue and Riverside Drive. An Addendum to an adopted MND has been prepared for the project.

**RECOMMENDATION:** Staff recommends that the Planning Commission take the following actions:

1. Adopt a Resolution adopting an Addendum to a Mitigated Negative Declaration for Environmental Assessment No. 39498; and
2. Adopt a Resolution approving Major Development Review for the development of two industrial buildings totaling approximately 156,478 square feet, subject to the conditions of approval.

## 8. CITY STAFF REPORT

## 9. COMMISSION COMMUNICATIONS

## 10. ADJOURNMENT

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The next regular meeting of the Eastvale Planning Commission will be held on **April 20, 2016**, at 6:00 p.m. at Rosa Parks Elementary School.



In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the City of Eastvale. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting.

I, Marc Donohue, City Clerk, or my designee, hereby certify that a true and correct, accurate copy of the foregoing agenda was posted seventy-two (72) hours prior to the meeting, per Government Code Section 54954.2, at the following locations: City Hall, 12363 Limonite Avenue, Suite 910; Rosa Parks Elementary School, 13830 Whispering Hills Drive; Eastvale Library, 7447 Scholar Way; and on the City's website ([www.eastvaleca.gov](http://www.eastvaleca.gov)).

**MINUTES**  
**MEETING OF THE PLANNING COMMISSION**  
**OF THE CITY OF EASTVALE**  
**Wednesday, February 17, 2015**  
**6:00 P.M.**

**Rosa Parks Elementary, 13830 Whispering Hills Drive, Eastvale, CA 92880**

**1. CALL TO ORDER:** 6:02 p.m.

**2. ROLL CALL/PLEDGE OF ALLEGIANCE:**

Commissioners Present – Commissioners Charlson, Van Leeuwen, Patel, Vice-Chair Feng, and Chair Oblea.

Staff Members Present – Planning Director Norris, Manager of Public Works Alvarez, and Recording Secretary Urtado.

The pledge of allegiance was presented by Chair Oblea.

**3. PUBLIC COMMENT:**

There was no Public Comment.

**4. PRESENTATIONS:**

There were no Presentations.

**5. ADDITIONS/DELETIONS TO THE AGENDA:**

There were no additions/deletions to the agenda.

**6. CONSENT CALENDAR:**

**6.1 Planning Commission Minutes –**

RECOMMENDATION: Approve the minutes from the January 20, 2016, regular meeting.

Motion: Moved by Commissioner Charlson, seconded by Commissioner Patel to approve the minutes from the January 20, 2016, regular meeting.

Motion carried 5-0 with Charlson, Van Leeuwen, Patel, Vice-Chair Feng, and Chair Oblea voting aye.

**7. PUBLIC HEARING:**

**7.1 Bicycle Master Plan:** Proposed City of Eastvale Bicycle Master Plan to implement Policy C-30 of the General Plan.

RECOMMENDATION: Staff recommends that the Planning Commission recommend that City Council adopt the City of Eastvale Bicycle Master Plan.

Manager of Public Works Alvarez presented the consultant, John Holloway, whom provided a PowerPoint presentation for the item.

Mr. Holloway provided background for the item, including information on facility types and recommended facilities, programs, and policies.

Commissioner Van Leeuwen inquired about the number of bicycle path users that use bicycle paths for work as opposed to cars, also if small scooters and disabled people riding carts are allowed to use the bicycle routes. Mr. Holloway noted that it is difficult to determine whether bicycle path users are using the paths to get to work or not, but from his experience it depends on the time of the day and where the bicycle path is leading to. He also noted that small electric powered scooter and carts used by the disabled are in fact able to ride on bicycle paths.

Vice-Chair Feng inquired if bicycle paths are more prevalent in larger cities or not. Mr. Holloway noted that it doesn't depend much on city size, but more so if there is a bicycle path present, then resident are more likely to utilize the paths and ride bicycles.

There was discussion initiated by Commissioner Charlson on whether what type of recommendation the Commission needs to recommend to the City Council, also if lane space would have to be sacrificed for bicycle paths.

Commissioner Patel expressed that there was a lack of focus on paths to work centers, as well as a lack of priority focus on bicycle paths to school. There was discussion on the priority to address bicycle paths near schools, and it was noted that the Bicycle Master Plan would encourage alternate routes to schools.

There was discussion about what the mission of recommendation of the plan to City Council is. It was noted that in order for the City of Eastvale to receive grant funding from the Southern California Association of Governments, the city needs to have a bicycle plan in place.

Chair Oblea inquired if once a Bicycle Master Plan is approved by the City Council, would any construction be initiated. Planning Director Norris explained that construction would not be initiated until funding for the project would be approved. Approval of the plan would merely provide options for the City Council.

Motion: Moved by Charlson, seconded by Patel, to recommend that City Council adopt the City of Eastvale Bicycle Master Plan.

Motion carried 5-0 with Charlson, Van Leeuwen, Patel, Vice-Chair Feng, and Chair Oblea voting aye.

## **8. CITY STAFF REPORT:**

### **8.1 Planning Department Updates –**

Planning Director Norris noted that the next City Council Agenda would have the monthly update of the City of Eastvale's Planning status report.

## **9. COMMISSION COMMUNICATIONS:**

Commissioner Patel inquired about the staff report regarding Bank of America's approval requirements to not have a plain wall without windows, whether they would be fake or not. She also inquired about the City of Eastvale's ability to regulate the height of speed bumps regarding speed bumps, particularly in the same shopping center of Bank of America. Manager of Public Works Alvarez noted that the City of Eastvale does not install speed bumps, it is up to the property owner, but noted that there is a standard.

Commissioner Patel inquired there is any update on if the City of Eastvale is doing anything to address the Walmart mailings that were sent out. Planning Director Norris noted that City Manager Nissen and City Attorney Cavanaugh are aware of concerns and are considering how to address the issue.

Commissioner Charlson inquired about the status of the construction on Riverboat. Manager of Public Works Alvarez noted that he would get an update and report back with an answer.

Vice-Chair Feng inquired about the Goodman project regarding the industrial buildings as well as the hospital. There was discussion about an industrial building being next to the future hospital.

Commissioner Charlson expressed his concerns with the Goodman project regarding their relationship with the City of Eastvale.

## **10. ADJOURNMENT**

There being no further business, the meeting was adjourned at 7:33 p.m.



**City of Eastvale**  
**Planning Commission Meeting Agenda**  
**Staff Report**

**ITEM 7.1**

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**MEETING DATE: MARCH 16, 2016**

**TO: PLANNING COMMISSION**

**FROM: KANIKA KITH, SENIOR PLANNER**

**SUBJECT: PROJECT NO. 15-1508** – Major Development Review for the development of two industrial buildings totaling 156,478 square feet. The project is located at the southeast corner of Hamner Avenue and Riverside Drive.

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**RECOMMENDATION**

Staff recommends that the Planning Commission take the following actions:

1. Adopt a Resolution adopting an Addendum to a Mitigated Negative Declaration for Environmental Assessment No. 39498; and
2. Adopt a Resolution approving Major Development Review for the development of two industrial buildings totaling approximately 156,478 square feet, subject to the conditions of approval.

**BACKGROUND**

The project site has been approved in the past (prior to the city’s incorporation) for development of industrial buildings.<sup>1</sup> The building that houses the Snapware business on Hamner Avenue (west of and adjacent to the proposed new buildings) was approved as part of a County approval which also included development on the project site now in question; after the Snapware building was constructed, development of the project stopped. A review of County files confirmed that all prior approvals for the vacant land proposed for development at this time have expired.

An aerial photo showing the project site and the existing Snapware building is included as **Figure 1**.

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<sup>1</sup> On February 22, 2006, the County of Riverside approved Plot Plan No. 14886R2 for the expansion of an existing warehouse building (which currently houses the Snapware business) and for the development of two warehouse buildings at a smaller footprint than previously approved with Plot Plan No. 14886R1.

Figure 1: Aerial Photograph of Project Site

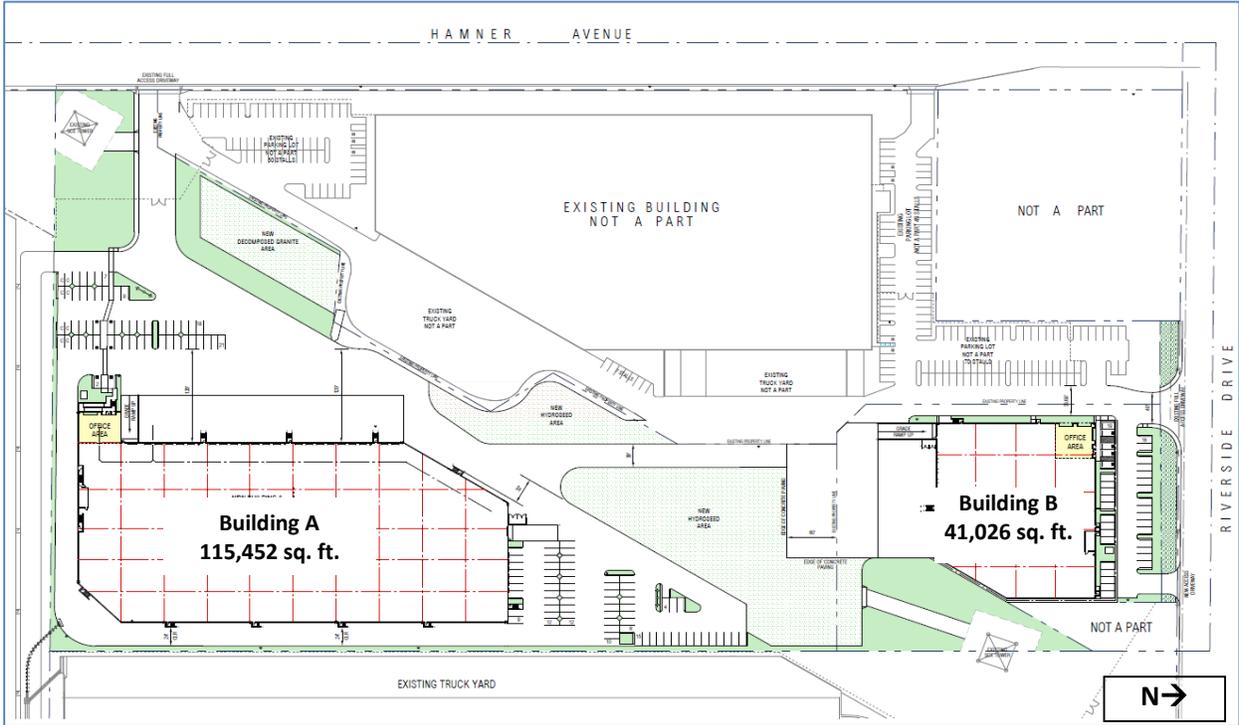


**Discussion**

The applicant is requesting approval of a Major Development Review to develop two warehouse buildings totaling approximately 156,478 square feet. The largest building is 115,452 square feet with 5,000 square feet of office space to be built on the back parcel, behind the existing industrial building on Hamner Avenue. The smaller building is 41,026 square feet (including 3,500 square feet of office space) to be built on the parcel fronting Riverside Drive. The overall site gross area is approximately 12 acres and net is 7.32 acres.

Figure 2 shows the proposed development.

Figure 2: Proposed Site Plan



**Project Analysis**

General Plan and Zoning Consistency

The General Plan land use designation for the site is Business Park (BP). The Business Park land use designation allows for employee-intensive uses, including research and development, technology centers, corporate and support office uses, “clean” industry, and supporting retail uses. Accessory uses in the BP land use designation also include day care, public meeting rooms, and other community-oriented facilities. The proposed project includes the development of two light industrial/warehouse buildings. Therefore, the project does not conflict with the General Plan land use designation.

The zoning of the site is Industrial Park (I-P). The Industrial Park zone allows for light industrial/warehouse buildings. Therefore, the proposed project is consistent with the Zoning Code.

Major Development Review

The proposed project is designed to meet or exceed the minimum development criteria of the Zoning Code, including setbacks, building heights, landscaping, and parking.

Furthermore, staff has prepared recommended conditions of approval that will ensure the project provides all necessary dedications and improvements to provide adequate automobile and truck circulation associated with the proposed project to and from the site. More detailed discussions of the required improvements and access are provided below.

*Architectural Design*

The proposed architectural design is well suited for the two industrial/warehouse buildings and is consistent with the materials, colors, and details of nearby buildings and the standards in the Eastvale Design Standards and Guidelines. The design guidelines encourage the use of various paint colors, building materials, recesses, offsets and decorative fixtures, landscaping, and other methods to reduce visual impact of long building facades.

The proposed building facades are given interest and variety (both vertically and horizontally) by using reveal lines and colors. Office entrances are highlighted with a variety of architectural elements such as windows, projecting awnings, and colors. Both buildings use the same colors and design elements.

The proposed architectural elevations are provided in Figure 3 and Figure 4.

**Figure 3: Proposed Elevations for Building A**

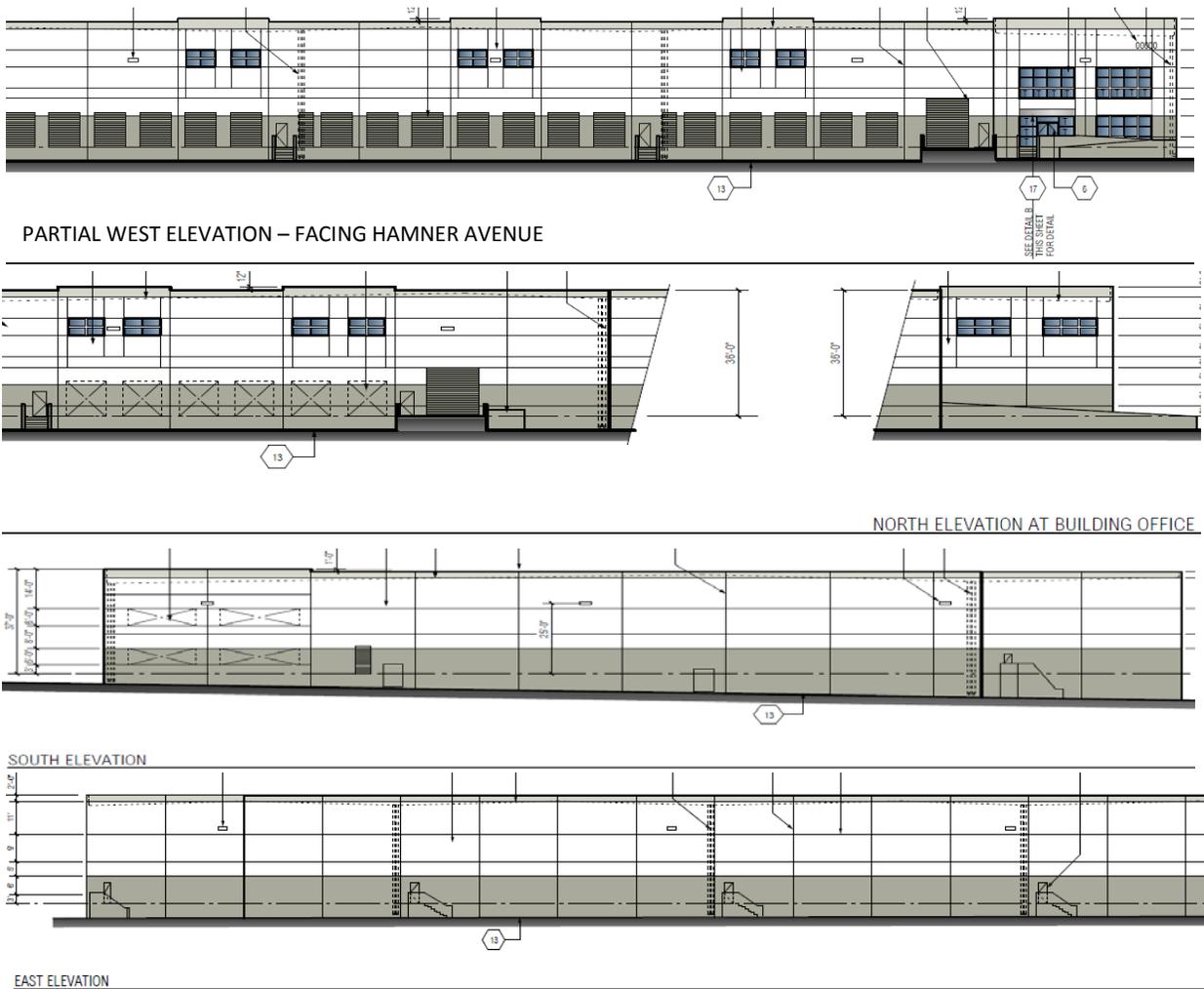
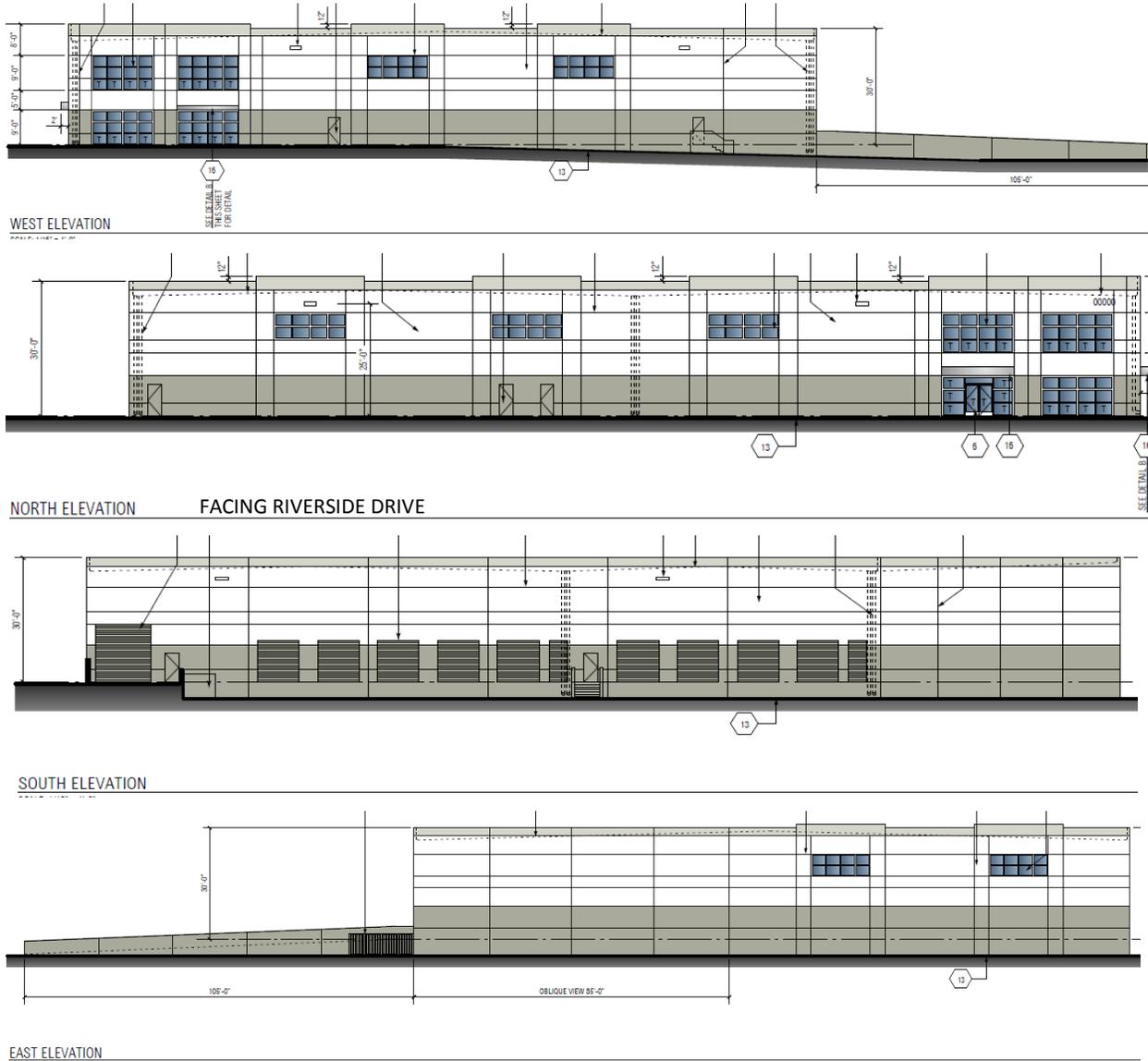


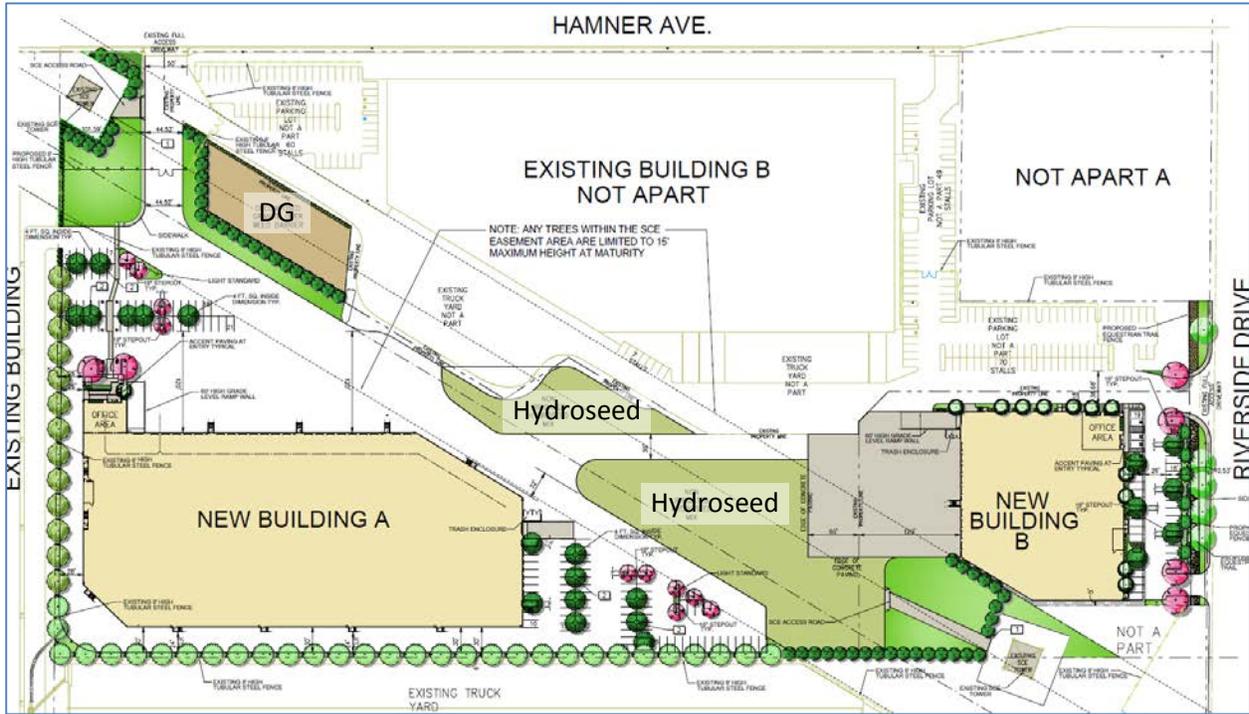
Figure 4: Proposed Elevations for Building B



*Landscaping and Screening*

The conceptual landscape plans have been reviewed by staff and are in compliance with the requirements of the City’s Zoning Code and the Eastvale Design Standards and Guidelines. The proposed landscape plan is shown in **Figure 5**.

Figure 5: Landscape Plan



The proposed project requires 15 percent landscape coverage. The total overall site area is 520,355 square feet. The project will provide 59,593 square feet of landscape coverage (18.66 percent).

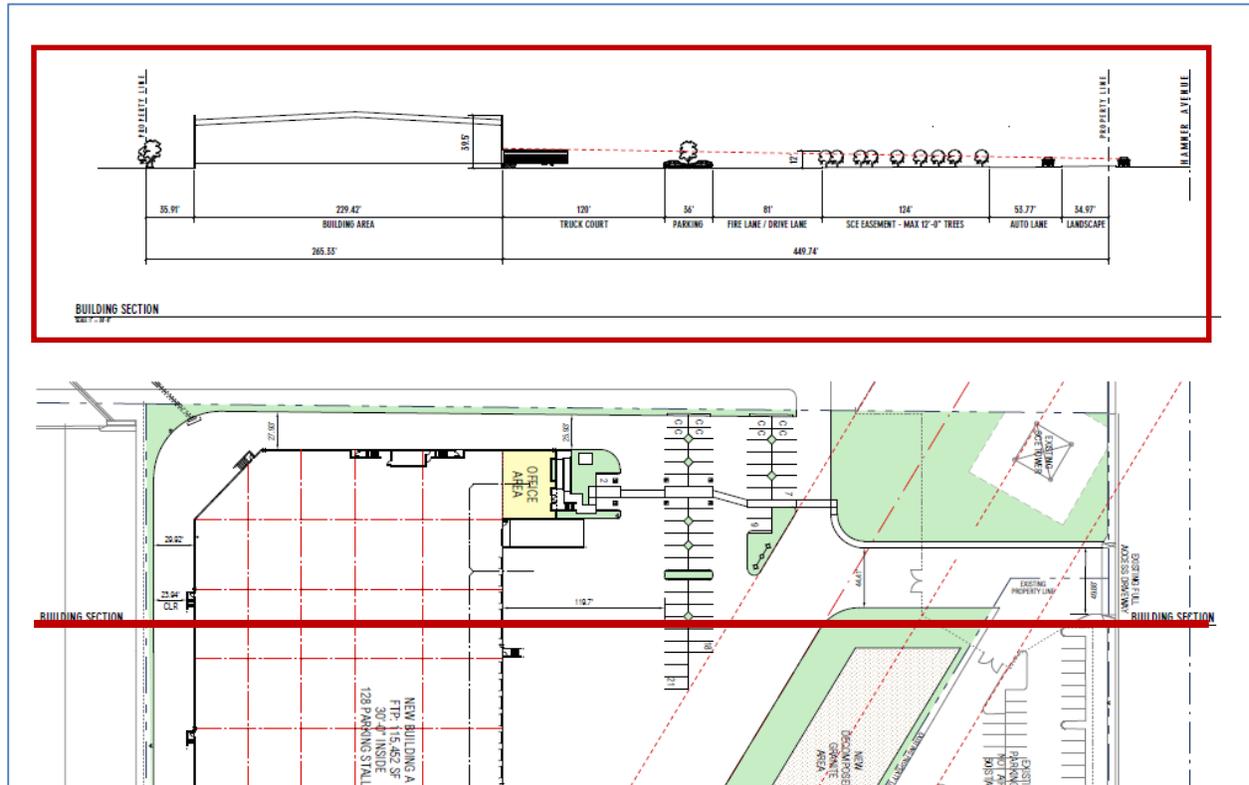
The project is required to provide a minimum of 50 percent shade coverage in the parking area. The total parking area is 25,440 square feet, of which 14,082 square feet (55 percent) will be shaded.

Two remaining unpaved areas in the truck loading areas that would not be visible to the public (behind Building B) will be covered with wildflower hydroseed. The one remaining unpaved area visible along Hamner Avenue will be planted with shrubs along the perimeter, and the center will be covered with decomposed granite. The shrubs along the perimeter will screen the decomposed granite.

The Zoning Code requires screening of parking that is visible from the street. Screening of the proposed parking in front of Building B will be accomplished by planting bushes between the parking lot and Riverside Drive.

Eastvale Design Standards NRDS-23 and NRDS-25 require screening of loading facilities from public view along the street. The loading docks for Building A will be visible from Hamner Avenue. Trees are proposed around the driveway off Hamner Avenue, in front of Building A, and in the Southern California Edison (SCE) easement to screen the loading docks along Hamner Avenue. A sight analysis of the proposed screening is shown in **Figure 6**.

Figure 6: Sight Analysis for Screening of Loading Facilities



The applicant has contacted SCE regarding landscaping within the easement and has received a preliminary approval. A letter from SCE is included as **Attachment 4**. A proposed condition of approval is also included to require the applicant to obtain formal approval from SCE prior to the issuance of any building permit for Building A.

### Parking

The parking standards for warehouse use are:

- Automobile: One parking per 2,000 square feet of gross floor area.
- Bicycle:
  - Employees: One bicycle parking space for every 25 automobile parking spaces required. Minimum of 2 bicycle spaces required. Spaces shall be provided with a bike locker or a bike rack in an enclosed lockable area.
  - Visitors: None required.

Building A requires 58 parking spaces for all users and 3 bicycle spaces for employees. The proposed project will provide 127 parking spaces for cars; no bicycle parking spaces for employees are proposed.

Building B requires 21 parking spaces and 2 bicycle spaces for employees. The project will provide 35 parking spaces for cars and no bicycle parking for employees.

A proposed condition of approval has been included to require the applicant to show how bicycle parking for employees will be provided prior to the issuance of a building permit for either building.

#### *Right-of-Way Improvements*

An equestrian trail along Riverside Drive (along the frontage of Building B) is proposed per the requirement of the Jurupa Area Recreation and Parks District (JARPD).<sup>2</sup> A sidewalk will also be provided along Riverside Drive. Both the trail and the sidewalk will be connected to the future sidewalk and trail along the frontage of the commercial site on the corner (former Arco site). However, they will not connect to the existing sidewalk and trail to the east of the project site because the vacant land between the project site and the developed site to the east is currently owned by the California Department of Transportation (Caltrans). Therefore, this project is not required to improve the front of the adjacent vacant lot.

#### *Vehicles Access and Circulation*

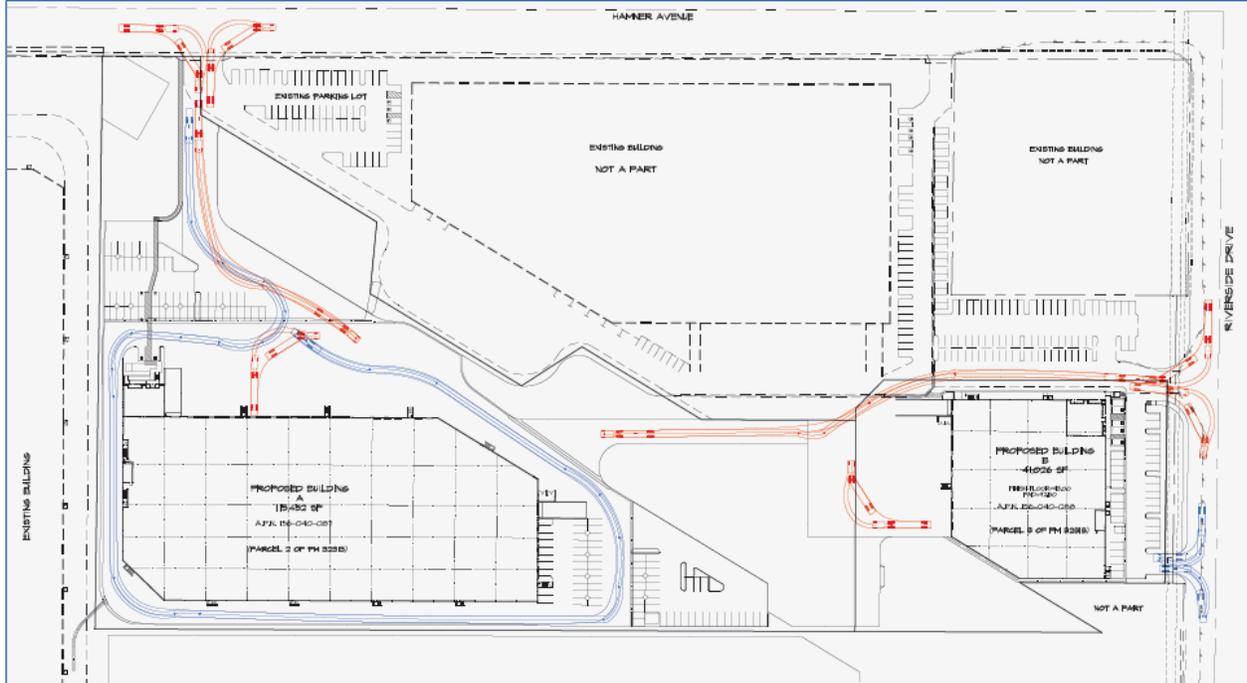
Delivery trucks and passenger cars can access Building A via the driveway off Hamner Avenue and Building B via the driveway off Riverside Drive.

As shown in the truck circulation plan in **Figure 7**, emergency vehicles (blue lines) will have access around Building A and to Building B off Hamner Avenue and Riverside Drive.

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<sup>2</sup> This is part of the same trail that the adjacent gas station/commercial project at the corner of Riverside Drive and Hamner Avenue is required to construct.

Figure 7: Truck Circulation Plan



### Site Lighting

The Eastvale Police Department is concerned about lighting. The applicant has requested that this issue be addressed during building permit review. Therefore, a proposed condition of approval has been included to require the applicant to provide a photometric lighting plan for review and approval by the Eastvale Police Department prior to the issuance of a building permit for either building.

### Public Hearing Notification and Comment

The proposed project requires a 10-day public hearing notification period for property owners within a 600-foot radius of the project site. The notification was published on March 6, 2016, for the Planning Commission meeting on March 16, 2016. The notice of public hearing was sent to property owners on March 3, 2016.

A map of the area to which notices were sent is included as an attachment to this report (**Attachment 7**).

### Comments from Neighbor

During the review of this project, the tenant in the adjacent Snapware building on Hamner Avenue provided a letter detailing concerns about access and circulation. The proposed project will be sharing the driveways on Hamner and Riverside with this tenant. A summary of the concerns provided below. A copy of the letter is included as **Attachment 3**.

Concerns from Snapware:

1. Width of the shared driveway on Riverside Drive.
2. Cars going into the proposed parking lot in front of the building facing Riverside Drive would be blocked by trucks coming from the development.
3. Safety of employees backing out from the easternmost parking stalls near the driveway entrance off Riverside Drive.
4. Need for additional traffic control elements into the access points.

The City Engineer has reviewed the letter and requested the applicant to do the following:

1. Widen the width of the driveway entrance on Riverside Drive to ensure adequate turning radius.
2. Create a secondary driveway for automobiles at the eastern end of the proposed parking lot on Riverside Drive to provide better circulation.

The requested revisions have been incorporated into the proposed plans and have been reviewed and approved by the City Engineer.

## **Environmental Review**

### *California Environmental Quality Act*

The potential environmental impacts for Plot Plan No. 14886, Revision No. 2, and Tentative Parcel Map No. 32313 were evaluated in an adopted Mitigated Negative Declaration (MND) for Environmental Assessment No. 39498. The MND was adopted by the Riverside County Board of Supervisors on March 28, 2006.

However, since the last approval in 2006, the California Environmental Quality Act (CEQA) guidelines have changed to require local agencies to analyze greenhouse gas emissions for air quality impacts. This additional requirement was not part of the MND adopted in 2006; therefore, an addendum was prepared to determine whether the proposed project will trigger any new or more severe significant environmental impacts as compared to those impacts analyzed in the original environmental document. The analysis included in the addendum indicates that the proposed project would not create any form of significant environmental impacts that were not previously analyzed in the adopted MND in 2006. Because of this determination, CEQA allows the preparation of an Addendum to the adopted MND as the proper form of environmental review for the proposed project, which has been prepared and provided for review and adoption. The Addendum is included as **Attachment 6** to this report.

The project site lies within a Criteria Cell (Cell 68, Cell Group A, Subunit 3) of the Western Riverside Multiple Species Habitat Conservation Plan (MSHCP) and as such, the project is required to comply with all provisions of the MSHCP. A habitat assessment performed on the project site concluded that the project site does not contain habitat suitable to support or sustain a

viable Delhi sands flower-loving fly population, Brand's phacelia, and burrowing owls. However, per the requirements of the MSHCP, the project has been conditioned to require a burrowing owl survey 30 days prior to issuance of grading permits. City of Eastvale Municipal Code Section 4.62.090 requires payment of the MSHCP Mitigation Fee. Conducting the preconstruction survey and payment of the required fee, ensures that this project is fully consistent with the MSHCP.

As part of the attached Addendum, all mitigation measures have be modified to reflect the City as the lead agency, responsible for the implementation of the mitigation measures, and have been incorporated in the conditions of approval for the project. Except as modified in the attached Addendum, all mitigation measures will apply to the proposed project. The updated Mitigation Monitoring and Reporting Program is included as attachment B to the Addendum.

A Notice of Determination will be filed following any action taken on the project.

### *Assembly Bill 52*

Pursuant to Assembly Bill 52 (AB 52) and CEQA Sections 21080.3.1 and 21080.3.2, all surrounding Native American tribes were notified of the proposed project. One Native American tribe, the Gabrieleno Tribe, requested one of their monitors to be present on-site during all ground-disturbing activities, including but not limited to grading, trenching, etc. This request is included in the conditions of approval. A copy of this request is included as **Attachment 5**.

## **REQUIRED PROJECT FINDINGS**

### **California Environmental Quality Act**

The Planning Commission, in light of the whole record before it including but not limited to the City's local CEQA Guidelines and Thresholds of Significance, the proposed Addendum to Mitigated Negative Declaration (MND) for Environmental Assessment No. 39498 (EA39498), and documents incorporated therein by reference, any written comments received and responses provided, and other substantial evidence (within the meaning of Public Resources Code Sections 21080(e) and 21082.2) within the record and/or provided at the public hearing, hereby finds and determines as follows:

1. Adoption of Addendum: The proposed Major Development Review for the development of two warehouse/industrial buildings requires the adoption of an Addendum to the adopted Mitigated Negative Declaration (MND) for Environmental Assessment No. 39498 (EA39498). The MND was adopted by the Riverside County Board of Supervisors on March 28, 2006, pursuant to the California Environmental Quality Act (CEQA).
2. Review Period: In accordance with CEQA Section 15164(c), an Addendum to the adopted MND for EA39498 does not require circulation of the document for public review.
3. Compliance with Law: The Addendum to the adopted MND was prepared, processed, and noticed in accordance with the California Environmental Quality Act (Public Resources Code Section 21000 et seq.), the CEQA Guidelines (14 California Code of Regulations Section 15000 et seq.) and the local CEQA Guidelines and Thresholds of Significance adopted by the City of Eastvale.

4. Independent Judgment: The Addendum to the adopted MND for EA39498 reflects the independent judgment and analysis of the City of Eastvale.
5. Mitigation Monitoring Program: The original Mitigation Monitoring Program adopted for Plot Plan 14886R2 and the proposed project are designed to ensure compliance during project implementation in that changes to the project and/or mitigation measures have been incorporated into the project and are fully enforceable through permit conditions, agreements, or other measures as required by Public Resources Code Section 21081.6. As part of the attached Addendum, all mitigation measures have be modified to reflect the City as the lead agency, responsible for the implementation of the mitigation measures, and have been incorporated in the conditions of approval for the project. Except as modified in the attached Addendum, all mitigation measures will apply to the proposed project.
6. No Significant Effect: Revisions made to the project plans agreed to by the applicant and mitigation measures imposed as conditions of approval on the project avoid or mitigate any potential significant effects on the environment identified in the Initial Study to a point below the threshold of significance. Furthermore, after taking into consideration the revisions to the project and the mitigation measures imposed, the Planning Commission finds that there is no substantial evidence, in light of the whole record, from which it could be fairly argued that the project may have a significant effect on the environment. Therefore, the Planning Commission determines that the project will not have a significant effect on the environment.

### **Major Development Review**

The Zoning Code requires that the Commission make the following findings in order to approve the proposed project:

Finding 1: The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, design guidelines, and improvement standards adopted by the City.

Evidence: The General Plan land use designation for the site is Business Park. The proposed project is for the development of two warehouse/industrial buildings that are consistent with the type of uses allowed by the Business Park land use designation. Therefore, the proposed project is consistent with the General Plan.

Finding 2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence: The proposed project has been designed to conform to the logical pattern of development as envisioned by the Eastvale General Plan. Landscaping around the industrial buildings and along the Hamner Avenue and Riverside Drive frontage will meet Eastvale design standards, while the buildings' architectural design is consistent with nearby industrial/warehouse developments.

Finding 3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting, and similar elements, establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The architecture of the proposed warehouse/industrial buildings has been designed to satisfy the design goals and policies of the General Plan and the design standards in the Eastvale Design Standards and Guidelines. The elevations of the buildings that are visible to the public have been designed to create variation and interest.

Finding 4: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian modes of circulation.

Evidence: The proposed project will provide an equestrian trail and a sidewalk along Riverside Drive. The proposed project, as conditioned, will not create any conflicts with the adjacent and surrounding businesses.

### **Recommendation**

Staff recommends that the Planning Commission take the following actions:

1. Adopt an Addendum pursuant to the California Environmental Quality Act; and
2. Approve the Major Development Review, subject to conditions of approval.

Alternatively, if the Planning Commission finds that the proposed design is not appropriate, the Commission has the following options:

1. Continue the project and provide directions to the applicant and staff for changes to the project; or
2. Deny the project.

### **FISCAL IMPACT**

Conditions of approval on the project require the payment of development impact fees to offset the incremental increase in the cost of providing services as a result of this project. The developer of the project will be responsible for the construction of all infrastructure and street improvements needed for the project. Maintenance costs for public improvements will be provided through a variety of mechanisms acceptable to the City.

**ATTACHMENTS**

1. Resolution for CEQA
2. Resolution and Conditions of Approval for Major Development Review
3. Letter from Neighbor
4. Letter from SCE
5. Letter from Gabrieleno Tribe
6. Addendum to MND
7. Notification Map
8. Development Plans

Prepared by: Morgan Weintraub, Assistant Planner  
Kanika Kith, Senior Planner

Reviewed by: Eric Norris, Planning Director  
Cathy Perring, Assistant Planning Director  
John Cavanaugh, City Attorney

**ATTACHMENT 1**  
**RESOLUTION FOR CEQA**

**RESOLUTION NO. 16-\_\_\_\_\_**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF EASTVALE, CALIFORNIA, ADOPTING AN ADDENDUM TO THE MITIGATED NEGATIVE DECLARATION FOR ENVIRONMENTAL ASSESSMENT NO. 39498 FOR THE DEVELOPMENT OF TWO INDUSTRIAL BUILDINGS TOTALING 156,478 SQUARE FEET LOCATED AT THE SOUTHEAST CORNER OF HAMNER AVENUE AND RIVERSIDE DRIVE; ASSESSOR'S PARCEL NUMBERS 156-040-087 AND -088.

**WHEREAS**, Project No. 15-1508 consisting of an application for a Major Development Review for the development of two industrial buildings totaling 156,478 square feet (Building A is 115,452 square feet and Building B is 41,026 square feet) has been filed by CIT Acquisition Corporation for real property generally located at the southeast corner of Hamner Avenue and Riverside Drive, Assessor's Parcel Numbers 156-040-087 and -088; and

**WHEREAS**, the proposed Major Development Review is considered a "project" as defined by the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq.; and

**WHEREAS**, on March 28, 2006, the County of Riverside certified a Mitigated Negative Declaration (MND) for Environmental Assessment No. 39498 and approved Plot Plan No. 14886R2, which included the land where the project (Project No. 15-1508) is proposed and warehouse buildings that are the same size as the project; and

**WHEREAS**, the City of Eastvale subsequently incorporated on October 1, 2010. The City is now the lead agency for the purposes of the California Environmental Quality Act (CEQA) and has jurisdiction over the entitlements and development of the property; and

**WHEREAS**, after review of the County of Riverside-adopted MND for Plot Plan No. 14886R2 and the proposed Major Development Review for Project No. 15-1508, the Planning Director determined that the project required preparation of an Addendum to the MND, as defined by CEQA Section 15164; and

**WHEREAS**, an Addendum to the Mitigated Negative Declaration has been prepared for the proposed project and all mitigation measures have been modified to reflect the City as the lead agency and responsible for the implementation of the mitigation measures. Except as modified in the Addendum, all previous mitigation measures will apply to the proposed project; and

**WHEREAS**, in accordance with state law, on March 6, 2016, the City of Eastvale City Clerk's Department published a legal notice in compliance with state law concerning Project No. 15-1508 in the *Press Enterprise*, a local newspaper of general circulation, regarding the Planning Commission meeting of March 16, 2016. In addition, on March 3, 2016, a public hearing notice was mailed to each property owner and commercial tenant within a 600-foot radius of the project site, indicating the date and time of the public hearing at the Planning Commission meeting for Project No. 15-1508; and

**WHEREAS**, on March 16, 2016, the City of Eastvale Planning Commission conducted a duly noticed public hearing concerning Project No. 15-1508, at which time the Commission considered the Addendum to the Mitigated Negative Declaration (MND) and considered the proposed Major Development Review application.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EASTVALE DOES HEREBY RESOLVE, DECLARE, DETERMINE, AND ORDER AS FOLLOWS:

## **SECTION 1. ENVIRONMENTAL FINDINGS**

### **California Environmental Quality Act**

The Planning Commission, in light of the whole record before it including but not limited to the City's local CEQA Guidelines and Thresholds of Significance, the proposed Addendum to Mitigated Negative Declaration (MND) for Environmental Assessment No. 39498 (EA39498), and documents incorporated therein by reference, any written comments received and responses provided, and other substantial evidence (within the meaning of Public Resources Code Sections 21080(e) and 21082.2) within the record and/or provided at the public hearing, hereby finds and determines as follows:

1. Adoption of Addendum: The proposed Major Development Review for the development of two warehouse/industrial buildings requires the adoption of an Addendum to the adopted Mitigated Negative Declaration (MND) for Environmental Assessment No. 39498 (EA39498). The MND was adopted by the Riverside County Board of Supervisors on March 28, 2006, pursuant to the California Environmental Quality Act (CEQA).
2. Review Period: In accordance with CEQA Section 15164(c), an Addendum to the adopted MND for EA39498 does not require circulation of the document for public review.
3. Compliance with Law: The Addendum to the adopted MND for EA39498 and updated Mitigation Monitoring Program were prepared, processed, and noticed in accordance with the California Environmental Quality Act (Public Resources Code Section 21000 et seq.), the CEQA Guidelines (14 California Code of Regulations Section 15000 et seq.) and the local CEQA Guidelines and Thresholds of Significance adopted by the City of Eastvale.
4. Independent Judgment: The Addendum to the adopted MND for EA39498 reflects the independent judgment and analysis of the City of Eastvale.
5. Mitigation Monitoring Program: The original Mitigation Monitoring Program adopted for Plot Plan 14886R2 and the proposed project are designed to ensure compliance during project implementation in that changes to the project and/or mitigation measures have been incorporated into the project and are fully enforceable through permit conditions, agreements, or other measures as required by Public Resources Code Section 21081.6. As part of the attached Addendum, all mitigation measures have be modified to reflect the City as the lead agency, responsible for the implementation of the mitigation measures, and have been incorporated in the conditions of approval for the project. Except as modified in the attached Addendum, all mitigation measures will apply to the proposed project.

6. No Significant Effect: Revisions made to the project plans agreed to by the applicant and mitigation measures imposed as conditions of approval on the project avoid or mitigate any potential significant effects on the environment identified in the Initial Study to a point below the threshold of significance. Furthermore, after taking into consideration the revisions to the project and the mitigation measures imposed, the Planning Commission finds that there is no substantial evidence, in light of the whole record, from which it could be fairly argued that the project may have a significant effect on the environment. Therefore, the Planning Commission determines that the project will not have a significant effect on the environment.

## **SECTION 2. MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP)**

The project site lies within a Criteria Cell (Cell 68, Cell Group A, Subunit 3) of the Western Riverside Multiple Species Habitat Conservation Plan (MSHCP) and as such, the project is required to comply with all provisions of the MSHCP. A habitat assessment performed on the project site concluded that the project site does not contain habitat suitable to support or sustain a viable Delhi sands flower-loving fly population, Brand's phacelia, and burrowing owls. However, per the requirements of the MSHCP, the project has been conditioned to require a burrowing owl survey 30 days prior to issuance of grading permits. City of Eastvale Municipal Code Section 4.62.090 requires payment of the MSHCP Mitigation Fee. Conducting the preconstruction survey and payment of the required fee, ensures that this project is fully consistent with the MSHCP.

## **SECTION 3. RECORD OF PROCEEDING**

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission decision is based, which include but are not limited to the staff reports as well as all materials that support the staff reports for the proposed project, are located in the City Clerk's office of the City of Eastvale at 12363 Limonite Avenue, Suite 910, Eastvale, CA 91752. The custodian of these documents is the City Clerk of the City of Eastvale.

## **SECTION 4. DETERMINATION**

Based on the findings outlined in Sections 1 through 3 above, the Planning Commission of the City of Eastvale hereby adopts an Addendum to MND for EA39498 for Project No. 15-1508, attached hereto as Exhibit A.

PASSED, APPROVED, AND ADOPTED this 16<sup>th</sup> day of March, 2016.

\_\_\_\_\_  
Larry Oblea, Chair

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
John E. Cavanaugh, City Attorney

\_\_\_\_\_  
Marc Donohue, Secretary

STATE OF CALIFORNIA    )  
COUNTY OF RIVERSIDE   ) §  
CITY OF EASTVALE        )

I, Marc Donohue, Secretary of the Planning Commission of the City of Eastvale, California, do hereby certify that the foregoing Planning Commission Resolution, No. 16-\_\_\_\_, was duly adopted by the Planning Commission of the City of Eastvale, California, at a regular meeting thereof held on the 16<sup>th</sup> day of March, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Marc Donohue, Secretary

# Exhibit A – Addendum

**ATTACHMENT 2**

**RESOLUTION AND CONDITIONS OF APPROVAL**

**FOR**

**MAJOR DEVELOPMENT REVIEW**

**RESOLUTION NO. 16-\_\_\_\_\_**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF EASTVALE, CALIFORNIA, APPROVING A MAJOR DEVELOPMENT REVIEW FOR THE DEVELOPMENT OF TWO INDUSTRIAL BUILDINGS TOTALING 156,478 SQUARE FEET LOCATED AT THE SOUTHEAST CORNER OF HAMNER AVENUE AND RIVERSIDE DRIVE; ASSESSOR'S PARCEL NUMBERS 156-040-087 AND -088.

**WHEREAS**, Project No. 15-1508 consisting of an application for a Major Development Review for the development of two industrial buildings totaling 156,478 square feet (Building A is 115,452 square feet and Building B is 41,026 square feet) has been filed by CIT Acquisition Corporation for real property generally located at the southeast corner of Hamner Avenue and Riverside Drive, Assessor's Parcel Numbers 156-040-087 and -088; and

**WHEREAS**, the proposed Major Development Review is considered a "project" as defined by the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq.; and

**WHEREAS**, after review of the Mitigated Negative Declaration (MND) for Plot Plan No. 14886R2 adopted on March 28, 2006, by the County of Riverside and the proposed Major Development Review, the Planning Director determined that the project required preparation of an Addendum to the MND, in compliance with the provisions of CEQA; and

**WHEREAS**, an Addendum to the Mitigated Negative Declaration has been prepared for the proposed project and all mitigation measures have been modified to reflect the City as the lead agency and responsible for the implementation of the mitigation measures. Except as modified in the Addendum, all previous mitigation measures will apply to the proposed project; and

**WHEREAS**, in accordance with state law, on March 6, 2016, the City of Eastvale Planning Department published a legal notice in compliance with state law concerning Project No. 15-1508 in the *Press Enterprise*, a local newspaper of general circulation, regarding the Planning Commission meeting of March 16, 2016. In addition, on March 3, 2016, a public hearing notice was mailed to each property owner and commercial tenant within a 600-foot radius of the project site, indicating the date and time of the public hearing at the Planning Commission meeting for Project No. 15-1508; and

**WHEREAS**, on March 16, 2016, the City of Eastvale Planning Commission conducted a duly noticed public hearing concerning Project No. 15-1508, at which time the Commission adopted an Addendum to the Mitigated Negative Declaration (MND) and considered the proposed Major Development Review application.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EASTVALE DOES HEREBY RESOLVE, DECLARE, DETERMINE, AND ORDER AS FOLLOWS:

## **SECTION 2. MAJOR DEVELOPMENT REVIEW**

Pursuant to Section 2.1 of the Zoning Code, the Planning Commission makes the following findings for the proposed project:

Finding 1: The proposed project is consistent with the objectives of the General Plan and complies with applicable zoning regulations, design guidelines, and improvement standards adopted by the City.

Evidence: The General Plan land use designation for the site is Business Park. The proposed project is for the development of two warehouse/industrial buildings that are consistent with the type of uses allowed by the Business Park land use designation. Therefore, the proposed project is consistent with the General Plan.

Finding 2: The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

Evidence: The proposed project has been designed to conform to the logical pattern of development as envisioned by the Eastvale General Plan. Landscaping around the industrial buildings and along Hamner Avenue and Riverside Drive frontage will meet Eastvale design standards, while the buildings' architectural design is consistent with nearby industrial/warehouse developments.

Finding 3: The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting, and similar elements, establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The architecture of the proposed warehouse/industrial buildings has been designed to satisfy the design goals and policies of the General Plan and the design standards in the Eastvale Design Standards and Guidelines. The elevations of the buildings that are visible to the public have been designed to create variation and interest.

Finding 4: The proposed project will not create conflicts with vehicular, bicycle, or pedestrian modes of circulation.

Evidence: The proposed project will provide an equestrian trail and a sidewalk along Riverside Drive. The proposed project, as conditioned, will not create any conflicts with the adjacent and surrounding businesses.

## **SECTION 2. MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP)**

The project site lies within a Criteria Cell (Cell 68, Cell Group A, Subunit 3) of the Western Riverside Multiple Species Habitat Conservation Plan (MSHCP) and as such, the project is required to comply with all provisions of the MSHCP. A habitat assessment performed on the project site concluded that the project site does not contain habitat suitable to support or sustain a viable Delhi sands flower-loving fly population, Brand's phacelia, and burrowing owls. However, per the requirements of the MSHCP, the project has been conditioned to require a burrowing owl survey 30 days prior to issuance of grading permits. City of Eastvale Municipal Code Section 4.62.090 requires payment of the MSHCP Mitigation Fee. Conducting the preconstruction survey and payment of the required fee, ensures that this project is fully consistent with the MSHCP.

## **SECTION 3. RECORD OF PROCEEDING**

The documents and other materials that constitute the record of the proceedings upon which the Planning Commission decision is based, which include but are not limited to the staff reports as well as all materials that support the staff reports for the proposed project, are located in the City Clerk's office of the City of Eastvale at 12363 Limonite Avenue, Suite 910, Eastvale, CA 91752. The custodian of these documents is the City Clerk of the City of Eastvale.

## **SECTION 4. DETERMINATION**

Based in the findings outlined in Sections 1 through 3 above, the Planning Commission of the City of Eastvale hereby approves the Major Development Review of Project No. 15-1508, subject to the conditions of approval attached hereto as Exhibit A.

PASSED, APPROVED, AND ADOPTED this 16<sup>th</sup> day of March, 2016.

\_\_\_\_\_  
Larry Oblea, Chair

APPROVED AS TO FORM:

ATTEST:

\_\_\_\_\_  
John E. Cavanaugh, City Attorney

\_\_\_\_\_  
Marc Donohue, Secretary

STATE OF CALIFORNIA    )  
COUNTY OF RIVERSIDE   ) §  
CITY OF EASTVALE        )

I, Marc Donohue, Secretary of the Planning Commission of the City of Eastvale, California, do hereby certify that the foregoing Planning Commission Resolution, No. 16-\_\_\_\_, was duly adopted by the Planning Commission of the City of Eastvale, California, at a regular meeting thereof held on the 16<sup>th</sup> day of March, 2016, by the following vote, to wit:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Marc Donohue, Secretary

## Exhibit A – Conditions of Approval

**CONDITIONS OF APPROVAL**

**Planning Application Number and Description: Project No. 15-1508** – Major Development Review for the development of two industrial buildings totaling 156,478 square-feet located at the southeast corner of Hamner Avenue and Riverside Drive.

**Assessor’s Parcel Numbers:** 156-040-087 and -088

**Planning Commission Approval Date:**

Conditions of Approval		Timing/ Implementation	Enforcement/ Monitoring	Verification (Date and Signature)
<b>General Conditions/Requirements</b>				
1.	<p>The applicant shall review and sign below verifying the “Acceptance of the Conditions of Approval” and return the signed page to the Eastvale Planning Department. Project approval is not final until a signed copy of these conditions is filed with the City.</p> <hr/> <p align="center">Applicant Signature <span style="float: right;">Date</span></p>	March 30, 2016	Planning Department	
2.	<p>The applicant shall indemnify, protect, defend, and hold harmless the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, from any and all claims, demands, law suits, writs of mandamus, and other actions and proceedings (whether legal, equitable, declaratory, administrative or adjudicatory in nature), and alternative dispute resolutions procedures (including but not limited to arbitrations, mediations, and other such procedures) (collectively “Actions”), brought against the City, and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof, that challenge, attack, or seek to modify, set aside, void, or annul, any action of, or any permit or approval issued by, the City and/or any of its officials, officers, employees, agents, departments, agencies, and instrumentalities thereof (including actions</p>	Ongoing	Planning Department	

	approved by the voters of the City), for or concerning the project, whether such Actions are brought under the California Environmental Quality Act, the Planning and Zoning Law, the Subdivisions Map Act, Code of Civil Procedure Section 1085 or 1094.5, or any other state, federal, or local statute, law, ordinance, rule, regulation, or any decision of a court of competent jurisdiction. It is expressly agreed that the City shall have the right to approve, which approval will not be unreasonably withheld, the legal counsel providing the City's defense, and that applicant shall reimburse City for any costs and expenses directly and necessarily incurred by the City in the course of the defense. City shall promptly notify the applicant of any Action brought and City shall cooperate with applicant in the defense of the Action.			
3.	The project shall be developed in accordance with Major Development Review applications approved by the Planning Commission on March 16, 2016, including the approved site plan, architectural elevations, conceptual landscape plan, etc., unless otherwise stated in these conditions of approval.	Ongoing	Planning Department	
4.	Any approval shall not be final until and unless the applicant's deposit account is (1) paid in full to cover all expenditures up to and including the final public hearing and (2) an additional deposit of \$5,000 is made as an initial payment to cover staff time for follow-up, monitoring, and other post-approval work by staff. The City reserves the right to request additional deposits to cover post-approval staff work and to halt work if the deposit account is exhausted. Make check payable to the <b>City of Eastvale</b> and include <b>Project No. 15-1508</b> on the check.	Ongoing	Planning Department	
5.	All conditions of approval shall be printed on construction drawings, including but not limited to site improvement plans, landscaping and irrigation plans, and building construction drawings.	Ongoing	Planning Department	

Prior to Issuance of Grading Permit			
6.	<p>Prior to the issuance of a grading permit, a qualified biologist shall survey for burrowing owls per the requirement of the Multiple Species Habitat Conservation Plan (MSHCP). A written report, prepared by a qualified biologist, with the results of the survey shall be submitted to the Planning Department for review and implementation. If construction is delayed or suspended for more than 30 days after the survey, the work area shall be resurveyed. If the report concludes that there are no burrowing owls present on the subject property, this condition will be cleared. If the report concludes that there are owls present on the subject property, a plan for the active relocation to a site under conservation shall be prepared and submitted for review and approval by the County's Ecological Resources Specialist. Passive relocation is not acceptable. Once a qualified biologist has certified the owl(s) have been relocated, this condition shall be cleared. (<i>Mitigation Measure <b>BIO-1</b></i>)</p>	Prior to Issuance of Grading Permit	Planning Department
7.	<p>Prior to issuance of grading permits, a qualified paleontologist shall be retained by the developer for consultation and comment on the proposed grading with respect to potential paleontological impacts. Should the paleontologist find the potential is high for impact to significant resources, a pre-grade meeting between the paleontologist and the excavation and grading contractor shall be arranged. When necessary, the paleontologist or representative shall have the authority to temporarily divert, redirect, or halt grading activity to allow recovery of fossils. The developer shall submit the name, telephone number and address of the retained paleontologist to the Planning Department.</p> <p>The paleontologist shall submit in writing to the Planning Department the results of the initial consultation and the details of the fossil recovery plan if recovery was deemed necessary. The written results shall be submitted prior to issuance of grading permit. (<i>Mitigation Measure <b>GEO-1</b></i>)</p>	Prior to Issuance of Grading Permit	Planning Department

8.	Erosion control - landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded. ( <i>Mitigation Measure GEO-2</i> )	Prior to the issuance of Grading Permits	Planning and Public Works Departments	
9.	Prior to the issuance of a grading permit, a note shall be placed on the grading plan that states:  "Should cultural resources be encountered during grading operations, grading shall be halted or diverted until a qualified archaeologist can evaluate the resources and make a determination of significance."	Prior to Issuance of Grading Permit	Planning Department	
10.	Prior to issuance of a grading permit, the applicant shall show that all necessary measures to control dust shall be implemented during grading. A PM10 plan may be required. ( <i>Mitigation Measure GEO-3</i> )	Prior to Issuance of Grading Permit	Public Works Department	
11.	Prior to issuance of a grading permit, the applicant shall provide a Site Improvement Plan showing construction of a multipurpose Community Trail within the dedicated right of way along Riverside Drive for review and approval.	Prior to Issuance of Grading Permit	Planning and Public Works Departments	
12.	A Construction Traffic Control Plan shall be prepared by the implementing developer and submitted to the City of Eastvale Public Works Department for approval.  a. The Construction Traffic Control Plan shall include the estimated day(s), time(s), and duration of any lane closures that are anticipated to be required on Riverside Drive frontage due to project construction.  b. The Construction Traffic Control Plan shall include measures such as signage, flagmen, cones, advance community notice, or other acceptable measures to the satisfaction of the City of Eastvale Public Works Department.  c. The purpose of the measures shall be to safely guide motorists, cyclists, and pedestrians; minimize traffic impacts; and ensure the	Prior to Issuance of Grading Permit	Public Works Department	

	<p>safe and even flow of traffic consistent with City level of service standards and safety requirements.</p> <p>The plan must stipulate that during construction, the implementing developer or its general contractor are required to notify the City of Eastvale Public Works Department and motorists via “Changeable Message Signs” at least five (5) business days in advance of any planned lane closures/reductions that will be caused by project construction. The City shall evaluate any other known lane closures, construction activities, or special events which may conflict with the project’s scheduled lane closure or create additional impacts to traffic flow on Riverside Drive and/or Hamner Avenue; and, if deemed necessary by the City of Eastvale Public Works Department, the project’s lane closure may be postponed or rescheduled.</p>			
13.	<p>Prior to the issuance of a grading permit, the applicant shall provide a signed contract with the Gabrieleno Indians that a Native American from the Gabrieleno Indians will be on site during all ground disturbance activities, including but not limited to pavement removal, grading, excavation, etc.</p>	Prior to Issuance of Grading Permit	Planning Department	
<b>Prior to Issuance of Building Permit</b>				
14.	<p>Prior to issuance of building permits, a Shading, Parking, Landscaping, and Irrigation Plan shall be submitted to and approved by the Planning Department.</p> <p>a. The location, number, genus, species, and container size of plants shall be shown. Plans shall meet all requirements of the City of Eastvale Zoning Code and as specified herein.</p> <p>b. The irrigation plan shall include a rain shut-off device which is capable of shutting down the entire system. In addition, the plan will incorporate the use of in-line check valves, or sprinkler heads containing check valves to prohibit low head drainage. (<i>Mitigation Measure GEO-4</i>)</p>	Prior to Issuance of Building Permit	Planning Department	

15.	All required landscape planting and irrigation shall be installed in accordance with approved Landscaping, Irrigation, and Shading Plans and be in a condition acceptable to the Eastvale Planning Department. The plants shall be healthy and free of weeds, disease or pests. The irrigation system shall be properly constructed and determined to be in good working order. ( <i>Mitigation Measure GEO-5</i> )	Prior to Issuance of Building Permit	Planning Department	
16.	Construction and landscape plans shall show the location and site design for bicycle parking installations using Class I lockers or Class II racks in an enclosed lockable area for employees in each building. Each building shall have the minimum bicycle parking spaces for employees: <ul style="list-style-type: none"> <li>a. Building A – Three (3) spaces</li> <li>b. Building B – Two (2) spaces</li> </ul> The location of bicycle parking is subject to approval by the Planning Department.	Prior to Issuance of Building Permit	Planning Department	
17.	Prior to the issuance of a building permit, the applicant shall submit a signage plan and security plan to the Eastvale Police Department for review and approval to ensure compliance with the following: <ul style="list-style-type: none"> <li>a. <b>PROPERTY SIGN</b>  Proper display of “No Trespassing or Loitering” signs prominently around business and any exterior perimeter fencing and adhering to City of Eastvale Municipal Code.</li> <li>b. <b>ADDRESS NUMBERING</b>  Prominently displayed address numbering in appropriate size and in contrasting color from the building façade or on a fixed sign near the street/main entrances. The numbers need to be visible from the street and interior property sides for any approaching emergency vehicles. No obstructions should limit their visibility (e.g., landscaping).</li> <li>c. <b>SECURITY PLAN</b></li> </ul>	Prior to issuance of Building Permit	Planning, Police, and Building Departments	

	<p>i. To facilitate the installation of security cameras for tenants, conduits and other electrical wiring to support the cameras shall be installed in all buildings. The intent of this condition is to reduce the cost of installation for future tenants, and thereby encourage the use of security cameras as crime reduction measure.</p> <p>ii. Due to the high possibility of theft/vandalism attempts during construction, security measures should be added during the time frame of the proposed construction. All exterior access points should be properly secured and illuminated to make clearly visible any person on or about the premises during the hours of darkness.</p>			
18.	<p>Prior to the issuance of a building permit, the applicant shall submit a photometric lighting plan showing compliance with Section 5.5(D)(3) in the Eastvale Zoning Code and the following:</p> <p>a. Provide illustration for all exterior light fixtures and poles.</p> <p>b. Illustrate the overall height of the all light poles.</p> <p>c. Show that all outside lighting shall be hooded and directed downward so as to not shine directly upon adjoining property or public rights-of-way.</p>	Prior to Issuance of Building Permit	Planning, Police, and Building Departments	
19.	<p>Prior to issuance of a building permit for either building, the applicant shall provide documentation from Southern California Edison (SCE) showing that the proposed improvements within the SCE easement have been approved.</p>	Prior to Issuance of Building Permit	Planning, Public Works, and Building Departments	
20.	<p>Signing/stripping shall be implemented in conjunction with detailed construction plans for the project site as reviewed and accepted by Public Works Department.</p>	Prior to Issuance of Building Permit	Public Works Department	
21.	<p>A Landscape and Irrigation Plan shall be submitted to the Planning Department for review and approval. The Landscape Plan shall include but not limited to the following:</p>	Prior to Issuance of Building Permit	Planning Department	

	<p>a. Show screening of the parking lot along Riverside Drive in compliance with Section 5.4(F)(2)(j).</p> <p>b. Screening trees on the east and south sides of Building-A shall be min. of 24” box size.</p> <p>c. Meet new City of Eastvale, Water Efficiency Landscape Ordinance (pending adoption).</p> <p>d. All plants shall be rated for anticipated water use (using WUCOLS guide ratings).</p> <p>e. Applicant shall design irrigation system for use of reclaimed water when reclaimed water mains are adjacent to project site, or when the water district plans to extend reclaimed water mains to site in the near future.</p>			
<b>Prior to Certificate of Occupancy</b>				
22.	Prior to building final inspection or certificate of occupancy, the applicant shall construct a multipurpose Community Trail within the dedicated right of way along Riverside Drive ( <i>Mitigation Measure REC-1</i> ).	Prior to Issuance of Certificates of Occupancy	Planning and Public Works Departments	
23.	Prior to building final inspection, the applicant shall make provisions for the ongoing maintenance in perpetuity of the multipurpose Community Trail along Riverside Drive through the formation or annexation into a community facility district or other mechanism acceptable to the City and the Jurupa Area Recreation and District. ( <i>Mitigation Measure REC-2</i> )	Prior to Issuance of Certificates of Occupancy	Planning and Public Works Departments	
24.	All required landscape planting and irrigation shall have been installed in accordance with approved Landscaping, Irrigation, and Shading Plans and be in a condition acceptable to the Planning Department. The plants shall be healthy and free of weeds, disease or pests. The irrigation system shall be properly constructed and determined to be in good working order. The applicant shall contact the Planning Department to schedule the final inspection(s).	Prior to Issuance of Certificates of Occupancy	Planning Department	

25.	Prior to the issuance of a certificate of occupancy, the applicant shall provide a copy of a reciprocal access and parking agreement for review and approval by the City Engineer.	Prior to Issuance of Certificates of Occupancy	Public Works Department	
26.	Prior to issuance of certificates of occupancy, the applicant shall provide documentation showing the responsible entity for on-going maintenance of each building, landscaping, parking, and all other on-site facilities to the satisfaction of the City Engineering and Planning Director.	Prior to Issuance of Certificates of Occupancy	Public Works and Planning Departments	
27.	<p>Construction of public improvements on the south side of Riverside Drive shall extend beyond the project limits as required by the City Engineer to provide an acceptable design that conforms to the latest roadway design guidelines and City Standards. Roadway improvements beyond project limits to the east and west of the property shall only include street pavement to the centerline plus a transition and curb and gutter.</p> <p>The City Engineer reserves the right to require reasonable and warranted alternative configurations of the geometrics and stripping for traffic safety and providing for the movement of traffic.</p>	Prior to Issuance of Certificates of Occupancy	Public Works Department	
28.	<p>Prior to issuance of the first certificate of occupancy, the developer, as applicable, shall construct full eastbound improvements (two lanes) and match the westbound improvements on Riverside Drive along the project's frontage including the frontage of the not a part (NAP) parcel (approximately a 0.22-acre lot located east of project site) to connect to the existing improvements to the east, provided the necessary rights-of-way are available or can be obtained from the NAP owner. Otherwise, the frontage of the NAP parcel shall include a minimum of reduced width painted median, two eastbound lanes, and curb &amp; gutter per design as approved by the City Engineer. The developer will make every effort to work with the NAP parcel to dedicate the full rights-of-way.</p> <p>In no case shall the developer improve Riverside Drive to fewer than one eastbound lane of travel adjacent to the NAP parcel east of the project site.</p>	Prior to Issuance of Certificates of Occupancy	Public Works Department	

29.	All existing and/or proposed aerial utility lines including electrical power lines of 34.5KV and under, located within the public right-of-way frontage of developer's property, shall be installed underground to the satisfaction of the City Engineer. An undergrounding in-lieu fee may be acceptable, subject to the City Engineer's approval.	Prior to Issuance of Certificates of Occupancy	Public Works Department	
30.	<p>Prior to issuance of a certificate of occupancy, the applicant shall show compliance with the conditions from the Jurupa Area Recreation and Park District:</p> <ul style="list-style-type: none"> <li>a. Pay the development fees per the requirement of the Jurupa Area Recreation and Park District; and</li> <li>b. Annexed into an existing CFD (a District-Wide Community Facilities District) or form a CFD based on project development to pay for park maintenance.</li> </ul>	Prior to Issuance of Certificates of Occupancy	Building and Public Works Departments	

### **Fire Department Conditions of Approvals**

The fire department requires the listed fire protection measures be provided in accordance with the 2013 California Fire and Building Codes and/or the Riverside County Fire Department Fire Protection Standards. Final conditions will be addressed when complete building plans are reviewed.

1. Based on the square footage of the largest building (115,000 square feet) and a construction type of III, the fire flow requirement is 3,625 gpm at 20 psi residual operating pressure for 4 hours. Provide or show that a water system exists that is capable of delivering the required fire flow. Water supply must be available before any combustible material is placed on the construction site.
2. Approved accessible on-site fire hydrants shall be located not to exceed 350 feet between hydrants. Any portion of the facility or of an exterior wall of the first story of the building shall not be located more than 150 feet from fire apparatus access as measured by an approved route around the complex, exterior of the facility, or building.
3. Prior to building plan approval and construction, applicant/developer shall furnish two copies of the water system fire hydrant plans to Fire Department for review and approval. Plans shall be signed by a registered civil engineer, and shall confirm hydrant type, location, spacing, and minimum fire flow. Once plans are signed and approved by the local water authority, the originals shall be presented to the Fire Department for review and approval.
4. Fire Apparatus access roads shall be in compliance with the Riverside County Fire Department Standard number 06-05. Access roads shall have an unobstructed vertical clearance not less than 13 feet and 6 inches. Access lanes will be designed to withstand the weight of 60,000 thousand pounds over 2 axles. Access will have a turning radius capable of accommodating fire apparatus. Access lane shall be constructed with a surface so as to provide all weather driving capabilities.
5. Driveway loops, fire apparatus access lanes and entrance curb radius should be designed to adequately allow access of emergency fire vehicles. The applicant or developer shall include in the building plans the required fire lanes and include the appropriate lane printing and/or signs.
6. Install a complete commercial fire sprinkler system (per NFPA 13 2013 Edition). Fire sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project Structural Engineer to certify with a "wet signature" that the structural system is designed to support the seismic and gravity loads to support the additional weight of the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The PIV and FDC shall be located to the front, within 50 feet of an approved roadway or driveway, and arranged so that hose lines can be readily attached to the inlets without interference from any nearby objects including buildings, fences, posts or plantings. FDCs shall be within 200 feet of an approved hydrant and shall not be allowed in the rear of any building. Sprinkler riser room must have indicating exterior and/or interior door signs.

### **Fire Department Conditions of Approvals**

7. Install a fire sprinkler alarm monitoring system. A C-10 licensed contractor must submit plans along with the current permit fees to the City of Eastvale for review and approval prior to installation.
8. Air handling systems supplying air in excess of 2,000 cubic feet per minute to enclosed spaces within buildings shall be equipped with an automatic shutoff in accordance with the California Mechanical Code.
9. Radio frequency coverage shall be tested prior to building final to ensure adequate voice and/or data transmission. Radio communications equipment may be required to be installed per Section 510 of the California Fire Code.
10. A Knox rapid entry key box must be installed at the front entrance of each building which contains keys to provide necessary access for emergency response. Knox padlocks must be installed on all gates that cross fire department access roads.
11. Exit signs, door hardware, markers and exit path marking shall be per the 2013 California Building Code.
12. Electrical room doors, fire alarm control panel, fire riser, and roof access shall be labeled as to use.
13. This building has not been reviewed or approved for high pile/rack storage. Prior to such use, a licensed Fire Protection Engineer or a Fire Department approved consultant must prepare plans for high-piled storage or aerosol storage in accordance with the California Fire Code and NFPA 13.

The Proposed project may have a cumulative adverse impact on the Fire Department's ability to provide an acceptable level of service. These impacts include an increase in the number of emergency and public service calls due to the increased presence of structures, traffic and population. The project proponents/developers will be expected to provide for a proportional mitigation to these impacts via capital improvements and/or impact fees.

## General Information

The following items are noted for the applicant's information. These items are generally required for all projects by City ordinances, other local agencies, and state or federal agencies. PLEASE NOTE: This list is not comprehensive. The project is subject to all applicable standards, fees, policies, rules, and regulations for Eastvale and many other agencies, including but not limited to the Jurupa Community Services District, Jurupa Area Recreation and Parks District, Riverside County Flood Control District, and state and federal agencies.

Developer and applicant are used interchangeably below.

- The applicant may request modifications or revisions to the approved project as provided in the Eastvale Zoning Code.
- In compliance with Section 15075 of the CEQA Guidelines, a Notice of Determination (NOD) must be filed with the Riverside County Clerk within five (5) County working days of project approval in order for the NOD to commence the 30-day statute of limitations on the Addendum to the MND. The City must include the required California Department of Fish and Wildlife (Code Section 711.4.d.3) fee and the Riverside County Clerk administrative fee. The applicant shall submit to the Planning Department a check or money order made payable to "Riverside County Clerk" in the amount of \$50.00 within one (1) City working day after project approval. Failure to pay the required fees will result in the project being deemed null and void (California Fish and Game Code Section 711.4(c)). The fee is broken down as follows:
  - a. Riverside County Clerk administrative fee of \$50.00.
- Prior to the issuance of a grading permit, the developer shall pay all necessary fees as determined by the City Engineer to include but not limited to Multiple Species Habitat Conservation Plan (MSHCP) fees and grading permit fees.
- The applicant shall design and construct all improvements in accordance with City of Eastvale Road Improvement Standards & Specifications, Improvement Plan Check Policies and Guidelines, as further conditioned herein and to the satisfaction of the City Engineer.
- Prior to the issuance of a certificate of occupancy, the development shall be annexed into all applicable Community Service Areas and Landscaping Maintenance Districts for lighting, drainage, and maintenance to the satisfaction of the City Engineer or otherwise form a district where one is not currently in place.
- The applicant shall comply with all provisions and procedures of the Eastvale Building Department related to the plan check review process. (Please contact the Building Department at (951) 703-4450.
- Transportation Uniform Mitigation Fees (TUMF) and any development impact fees that are in effect at that time shall be paid prior to the issuance of certificate of occupancy, or as otherwise allowed per ordinance.

## General Information

- No obstruction shall be placed on any existing easement. An approval document from easement holders shall be required for any easement encroachment.
- Written permission shall be obtained from the affected property owners allowing the proposed grading and/or facilities to be installed outside of the project boundaries.
- Project runoff shall be directed to a safe point of discharge. Any additional easement that may be necessary to accomplish such shall be obtained prior to issuance of grading permit. The applicant shall submit a Final Water Quality Management Plan (WQMP) in conformance with the requirements of the Santa Ana Regional Water Quality Control Board. All stormwater quality treatment devices shall be located outside of the ultimate public right-of-way. The applicant shall design the stormwater quality treatment devices to accommodate all project runoff, ensuring post-construction flow rate, volumes, velocity, and duration do not exceed pre-construction levels, in accordance with City of Eastvale's Hydrology Manual, Stormwater Quality Best Management Practice Design Handbook, Improvement Standards, and to the satisfaction of the City Engineer. These best management practices shall be consistent with the Final WQMP and installed to the satisfaction of the City Engineer.
- All connection to flood control facilities shall be reviewed by the Riverside County Flood Control District and shall be submitted through the City of Eastvale, unless otherwise directed by the City Engineer.
- Prior to the issuance of a certificate of occupancy, the applicant shall pay the appropriate storm drain impact mitigation fee to the Riverside County Flood Control and Water Conservation District.
- The applicant shall prepare and submit to the City for review and approval all required development plans including but not limited to Grading (Rough and/or Precise), Street Improvement, Street Light, Storm Drain, and Traffic Signal. All applicable processing and review fees and/or deposits shall be submitted with the first plan submittal.
- No grading shall be performed without prior issuance of a grading permit by the City.
- All grading shall conform to the California Building Code and to all other relevant laws, rules, and regulations governing grading in the City of Eastvale. Prior to commencing any grading which includes 50 or more cubic yards, the developer shall obtain a grading permit from the Public Works/Engineering Department.
- All necessary measures to control dust shall be implemented by the applicant during grading to the satisfaction of the City Engineer.
- Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved by the City Engineer.
- Grading in excess of 199 cubic yards will require performance security to be posted with the City.

### **General Information**

- Erosion control-landscape plans, required for manufactured slopes greater than 3 feet in vertical height, are to be signed by a registered landscape architect and bonded. Planting shall occur within 30 days of meeting final grades to minimize erosion and to ensure slope coverage prior to the rainy season. The developer shall plant and irrigate all manufactured slopes steeper than a 4:1 (horizontal to vertical) ratio and 3 feet or greater in vertical height with grass or ground cover; slopes 15 feet or greater in vertical height shall be planted with additional shrubs or trees or as approved by the City Engineer.
- The applicant's contractor is required to submit for a haul route permit for the hauling of material to and from the project site. Said permit will include limitations of haul hours, number of loads per day, and the posting of traffic control personnel at all approved entrances/exits onto public roads. This permit shall be in place prior to the issuance of the grading permit and the mobilization of equipment on the project site.
- Prior to the issuance of a grading permit, it shall be the sole responsibility of the applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

**ATTACHMENT 3**

**LETTER FROM NEIGHBOR**

**Date:** November 2, 2015

**To:** Eastvale Planning Department – Attention Kanika Kith

**From:** Michael Flynn

**Subject: Riverside Drive/Hamner Avenue Proposed Development (Project #15-1508)**

I am the real estate representative for World Kitchen/Snapware located at 3900 Hamner Avenue, Eastvale, CA. We have identified a number of comments related to the proposed plans identified above and wish to direct them to the appropriate party. Among these thoughts are the following:

1. The Riverside Drive ingress/egress driveway appears to be quite narrow based upon the anticipated volume of increased traffic. It does not appear capable of accommodating two lanes of outbound traffic to allow for both right and left turns.
2. It appears that inbound car traffic to the Building B car parking lot along Riverside Drive may be blocked by outbound truck traffic queuing.
3. We are most concerned for the safety of employees using the eastern-most parking stalls near the Riverside Drive entrance. Backing out into an active inbound traffic lane is a dangerous design especially in the event that outbound trucks are queued up in the adjacent outbound traffic lane.
4. Could the increased traffic flow into and out of the parcel result in a requirement for traffic control elements being incorporated into the access points?

Does the City of Eastvale use a traffic and/or transportation engineer to study these types of issues? If so, how can we best share these comments in order to elicit a professional's opinion on these matters?

Thank you in advance for your consideration of these concerns. Please feel free to reach me or the designated World Kitchen/Snapware representative at the following:

Abraham Hernandez, Plant Director  
World Kitchen  
951-361-6420  
herenandezab@worldkitchen.com

Michael J Flynn, Managing Director  
NAI Hiffman  
+1 630 691 0600  
mflynn@hiffman.com

**ATTACHMENT 4**

**LETTER FROM SOUTHERN CALIFORNIA EDISON**



CIT Acquisition Corp.  
3819 Maple Avenue,  
Dallas, TX 75219

January 20, 2016

Attention: C/O Will Munding

Subject: Mira Loma-Rancho Vista #2 220kV, SCE Easement  
Request for "Landscaping & Grading"  
Location: South of Riversdie Ave, East of Hamner Ave, Ontario  
R.P. File Number: CON203272709

Dear: Will Munding,

Southern California Edison (SCE), has reviewed and approved your request for "Landscaping & Grading" as shown on the attached plan entitled "Preliminary Landscape Plan", sheet 1 of 1, dated November 18, 2015, date stamped approved by Real Properties on January 20, 2016.

As a utility operating high voltage electric lines which serve a major portion of Southern California, SCE's approval is granted subject to the conditions listed below to provide for the safety of others, to protect the electric system from damage and to prevent service interruptions.

This agreement is personal to CIT Acquisition Corp., (Consentee) and is not transferable without SCE's prior written consent. Please be advised, you have one year (12 months) from the date of this Consent Letter in order to commence with construction of this project. If construction has not begun by that time, all plans must be re-evaluated to ensure compliance with the then current SCE Policies and Guidelines. This is necessary to verify no changes to the plans or scope of work were made that affect the consent conditions agreed upon. If during the time of the delay in commencement of work there were no changes made to SCE's "Policies and Guidelines", and no changes were made to the final plans, a simple refresh of the start date listed in the existing consent agreement may be negotiated.

1. Adequate access to all structures must be provided and at no time is there to be any interference with the free movement of SCE's equipment and materials. (See Addendum 1 Table 1 - Standard Clearances)
2. At no time shall access to any SCE's facility be cut off or impeded in any way during any temporary grading operation.

Real Properties  
2885 Foothill Blvd  
Rialto, CA 92376

3. All equipment working on the right of way must maintain a minimum clearance of 25-feet from all SCE structures in conjunction with the minimum clearances set forth in the California Code of Regulations, Title 8 Section 2946, Article 37 "Provisions for Preventing Accidents Due to Proximity to Overhead Lines" The minimum required equipment clearances also include SCE's Operating Conditions in which a minimum distance shall be maintained from all overhead conductors. (See Addendum 2 Table 2) If this minimum clearance cannot be maintained for any reason, CIT Acquisition Corp. will notify SCE and SCE may (at their own discretion), order an outage at the sole expense of the CIT Acquisition Corp.
4. Existing SCE facilities shall be protected in place. Prior to starting work, the SCE Real Properties Agent assigned to this project, shall be notified of the intended method of protection.
5. Any modifications of or changes in approved plans must be approved, in writing, by SCE Real Properties Agent, prior to commencement of development.
6. The SCE right of way shall be left in a condition satisfactory to SCE. The cost to repair any damage caused by CIT Acquisition Corp. to the access roads, slopes, turnaround area, underground or overhead facilities, or any SCE facilities shall be paid for by CIT Acquisition Corp.
7. CIT Acquisition Corp. agrees that all construction equipment, when not in use, shall be parked clear of SCE's right of way and rendered immobile.
8. CIT Acquisition Corp. understands that SCE will be maintaining its facilities, which includes washing of insulators.
9. Flammable or toxic materials must not be stored on the right of way.
10. Servicing, refueling, maintenance and/or repair of equipment on SCE's right of way are strictly prohibited.
11. Horizontal underground clearances from SCE structures or facilities must be a minimum of Ten feet. Vertical underground facilities clearances from SCE structures or facilities must be a minimum of Three feet, and possibly up to seven feet (depending on type of crossing and voltage). If underground crossings to SCE facilities are made by water lines, CIT Acquisition Corp. shall be responsible for potential underground installations that result in induced voltages (i.e. Cathodic Protection)
12. No additional structures or other development shall be permitted within the SCE right of way, other than those approved herein.
13. This Agreement must be in the possession of CIT Acquisition Corp. employees or its contractors, while on SCE's right of way, as a condition for issuance of the Agreement.

14. SCE shall be held harmless from any damage on or off the right of way resulting from the work being performed as described herein. In addition, approval of these drawings by SCE does not relieve the CIT Acquisition Corp., or its engineers from any liability arising out of their design or construction of the project. SCE reviews of project plans shall not replace permitting agency plan check.
15. Staging of equipment or materials shall not be permitted within the SCE right of way.
16. CIT Acquisition Corp. shall adequately account for existing hydrological patterns in proposed design such that storm water runoff and potential debris flows are adequately incorporated into the design. CIT Acquisition Corp. shall assume all liability for any damage on or off the right of way resulting from any grading on the right of way and/or change in water flow.
17. The straight portions of transmission (Through and Stub) SCE access roads over level terrain should be designed to provide a minimum drivable width of 14 feet, with an additional width of 2 feet on each side for a swale or berm. Additionally, these roads should not have a longitudinal gradient exceeding 5%, should have a minimum longitudinal grade of 0.5% (unless specific drainage provisions are provided or the roadway is paved), and should have a transverse (cross-slope) grade of 2% and be capable of supporting 40-tons on a three-axle truck. Access roads meeting these specifications must be provided at locations as indicated on the attached print, exhibit or plan. If access roads are to be joint use with a third party, other specifications or requirements may apply.
18. The following specifications shall apply to access roads installed, reconstructed, relocated, or modified:
  - A. The roads gradients shall be leveled by cut and fill operations such that any sustained grade does not exceed 12%. If it exceeds 12% the road shall be paved and capable of supporting 40-tons on a three axle truck.
  - B. All curves shall have a radius of not less than 50-feet measured at the inside edge of the usable road surface.
  - C. The minimum usable road width for SCE use shall be 14-feet with an additional width of 2 feet on each side for a swale or berm and shall be capable of supporting 40-tons on a three-axle truck. The minimum width of all roads shall be increased on curves by a distance equal to 400/inside radius of curvature.
  - D. The cross-slope for all access roads shall not exceed 2% and shall slope to the inside.
  - E. Water bars shall be constructed to divert the water across the road to drain away on the down-slope side. The water bars and drains shall be spaced as follows:
  - F.
 

Average Grade	Maximum Spacing
1) 0-5%	600 feet
2) 5-10%	400 feet

- G. All paved roads shall be constructed to Bridge Standard HS-20.
- H. Over-side drains shall be supplied to channel the water from the water bars to other drainage off the right of way. Energy dissipation shall be provided when out letting to natural terrain
19. All public or private streets, drives or driveways that SCE will be using for access must be capable of supporting a gross load of 40-tons on a three-axle truck.
  20. The road area shall be surfaced and shall be capable of supporting forty (40) tons on a three axle truck.
  21. The maintenance of all landscaping, drainage structures, and slopes within the subject SCE right of way and reconstructed access road slopes shall be maintained by the CIT Acquisition Corp.
  22. Any irrigation or landscaping damaged by, or requiring relocation for SCE in the future, shall be repaired or relocated by CIT Acquisition Corp. at no cost to SCE.
  23. Any landscaping and irrigation within the easement area must be approved by SCE Real Properties Department in writing, prior to being installed.
  24. Any trees or plants within the right of way area shall be maintained by CIT Acquisition Corp. and shall not exceed a mature height of 15-feet. In the opinion of SCE if said tree becomes an interference they will have the right to trim and or remove at the sole cost of the CIT Acquisition Corp.
  25. All trees within the right of way area shall be planted with root barriers and must maintain a minimum clearance of Ten feet (10') to all SCE substructures. Note: Plants with mature root systems that do not exceed 24- inches in depth are exempt from this requirement.
  26. All slopes within or adjacent to the subject right of way shall be a maximum slope of 2:1 (2 horizontal to 1 vertical).
  27. No parking is allowed within SCE's right of way.
  28. SCE reserves the right to terminate this agreement for the purpose of construction, alteration, addition to, and replacement of communication, distribution, and transmission facilities or any other use deemed necessary by SCE (based on easement rights), after written notice to CIT Acquisition Corp. In the event of such termination, SCE reserves the right to claim that the current use of the right of way (including parking) unreasonably interferes with or burdens SCE's use of the right of way based on rights granted to SCE. All costs incurred for restoring the right of way to its previous condition (including substitute parking) shall be borne by CIT Acquisition Corp.
  29. Kite flying, metallic balloons, and model airplane activities are prohibited on the SCE right of way.
  30. Adequate grounding must be provided on all fencing and metallic structures. All grounding shall be engineered by a licensed Electrical Engineer in the state in

which the work will be performed. A copy of grounding plans developed by the engineer, and used for the project, shall be provided to SCE for record.

31. Under no circumstances shall SCE’s right of way be used or dedicated by CIT Acquisition Corp. for any environmental mitigation efforts. Any water quality measures, such as bio-retention, bio-swales, or other water quality features requiring maintenance shall not be allowed on the right of way.

32. Motorized vehicles are prohibited on the SCE right of way.

**Addendum 1 Table 1 Standard Horizontal Clearances from SCE Facilities**

<u>Towers, Engineered Steel Poles &amp; H-Frame</u>	<u>Voltages 161kv to 500kv</u>
Lattice-Aesthetic & H-Frame (Dead-end)	100 ft.
Engineered Steel Poles (Dead-end)	100 ft.
Suspension Towers & H-Frames	50 ft.
Engineered Steel Poles (Suspension)	50 ft.
<u>Towers, Wood and Lt-Weight Steel Poles &amp; H frames Voltages 66kv to 115kv</u>	
Lattice Anchor Towers (dead-end)	100 ft.
Lattice Suspension Towers	50 ft.
Engineered Steel Poles with Foundation (TSP) (dead-end)	25 ft.
H-Frame	25 ft.
Wood poles	25 ft.
Light weight steel poles	25 ft.
Anchors Rods	10 ft.
Guy Wires	10 ft.
Guy Poles	10 ft.

**Addendum 2 - Table 2 Minimum Working Clearance-Distances**

<u>Voltage</u> <u>(Nominal, kV, alternating current)</u>	<u>Minimum clearance distance</u> <u>(Feet)</u>
Up to 50	10
Over 50 to 175	15
Over 175 to 350	21
Over 350 to 550	27
Over 550 to 1,000	45
Over 1,000 As established by the utility owner/operator or registered professional engineer who is a qualified person with respect to electrical power transmission and distribution. Note: The value that follows “to” is up to and includes that value. For example, over 50 to 200 means up to and including 200kV.	

- A. All costs incurred for the proposed project shall be borne by CIT Acquisition Corp.
- B. This Consent is executed subject to General Order No. 69-C, of the Public Utilities Commission of the State of California dated and effective July 10, 1985, incorporated

herein by this reference. As set forth in General Order No. 69-C, this grant is made conditional upon the right of SCE either on order of the Public Utilities Commission or on SCE's own motion to resume the use of the property in question (including, but not limited to the removal of any obstructions) whenever, in the interest of SCE's service to its patrons or consumers, it shall appear necessary or desirable to do so. Consentee agrees to comply with all applicable federal, state and local laws and regulations. This Consent should not be construed as a subordination of SCE's rights, title and interest in and to its easements, nor should this Consent be construed as a waiver of any of the provisions contained in said easements or a waiver of any costs of relocation of affected SCE facilities.

C. All notice required to be given to SCE herein, shall be made in writing and shall be deposited in the United States mail, first class, postage prepaid, addressed as follows:

Southern California Edison Company  
Real Properties Department  
2885 Foothill Blvd..  
Rialto, CA 92376

CIT Acquisition Corp. agrees, for itself, and for its and their agents and employees and any person or persons claiming under CIT Acquisition Corp. to save harmless and indemnify SCE, its successors and assigns and its and their officers, agents, and employees, from and against all claims, demands, loss, damage, actions, causes of action, expense and/or liability arising or growing out of loss of or damage to property, including the property of SCE, its successors and assigns, and its and their officers, agents, and employees, or injury to or death of persons resulting in any manner, directly or indirectly, from the maintenance, use, operation, repair or presence of the use approved herein.

There are numerous sources of power frequency electric and magnetic field ("EMF"), including household or building wiring, electrical appliances and electric power transmission and distribution facilities. There have been numerous scientific studies about the potential health effects of EMF. Interest in a potential link between long-term exposures to EMF and certain diseases is based on the combination of this scientific research and public concerns.

While some 30 years of research have not established EMF as a health hazard, some health authorities have identified magnetic field exposures as a possible human carcinogen. Many of the questions about specific diseases have been successfully resolved due to an aggressive international research program. However, potentially important public health questions remain about whether there is a link between EMF exposures in homes or work and some diseases including childhood leukemia and a variety of other adult diseases (e.g. adult cancers and miscarriages). While scientific research is continuing on a wide range of questions relating to exposures at both work and in our communities, a quick resolution of the remaining scientific uncertainties is not expected.

Since you plan to enter SCE's right of way that is in close proximity to SCE's electric facilities, SCE wants to share with you and those who may enter the property under this agreement, the information available about EMF. Accordingly, SCE has attached to this

document a brochure that explains some basic facts about EMF and that describes SCE's policy on EMF. SCE also encourages you to obtain other information as needed to assist you in understanding the EMF issues with respect to your planned use of this right of way.

It is the Consentee's responsibility to determine if the consent of any other party owning an interest in the property is required and to obtain such consent prior to engaging in any activity permitted hereby on the property.

We would appreciate the project completion date inserted in the space provided below.

Please have CIT Acquisition Corp. sign and date the enclosed copy of this letter, thereby indicating acceptance of the above conditions, and return the signed copy to this office using the enclosed envelope.

As previously indicated, it is necessary that the use of the land within an operating high voltage transmission line right of way be closely coordinated. For this reason, it will be necessary for SCE to assume your project has been either delayed or cancelled in the event the copy of this letter has not been signed and returned within sixty (60) days from the date of this letter. Should this occur, any consent granted or implied is voided without further notice in order to protect our rights and facilities. If the project is subsequently reactivated, please contact SCE again prior to the start of any construction, referencing our Real Properties file number. We will then work together with you to ensure the project is coordinated so as to avoid interference with SCE installations and operations.

SCE appreciates the opportunity to review your plans and thanks you for your cooperation in coordinating your project with our company. If you have any questions please contact me at (909) 786-7825.

**DEVELOPER/PROPERTY OWNER**

Accepted and Approved - Dated: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Title: \_\_\_\_\_

**Estimated Completion Date:** \_\_\_\_\_

**SOUTHERN CALIFORNIA EDISON COMPANY**

Accepted and Approved - Dated: January 20, 2016  
Signature: Joseph C. Schaefer  
Print Name: Joseph C. Schaefer  
Title: Land Services Agent

**ATTACHMENT 5**

**LETTER FROM GABRIELENO TRIBE**

# Hammer and Riverside development project , city of Eastvale California (project No. 15-1508)

Andy <gabrielenoindians@yahoo.com>

Sun 10/25/2015 6:50 PM

To: Kanika Kith <kkith@eastvaleca.gov>;

Cc: Christina Swindall Martinez. Kizh Gabrieleno <christinaswindall@yahoo.com>;

Dear Kanika Kith  
Senior planner

Do to the location area and sensitivity of the area , we would like to request one of our experienced tribal Monitors to be on site at this particular project location during any and all ground disturbances to protect any cultural resources which may be effected during construction or development . We are there to work along side the developer and not against them . Also please Acknowledge The fact that a property has been disturbed is not evidence of a lack of significant cultural resources. Many highly significant sites have been found in such "disturbed contexts" such asw one of the oldest dated human remains in the nation, "Los Angeles Man" found many feet below the surface in a water channel.

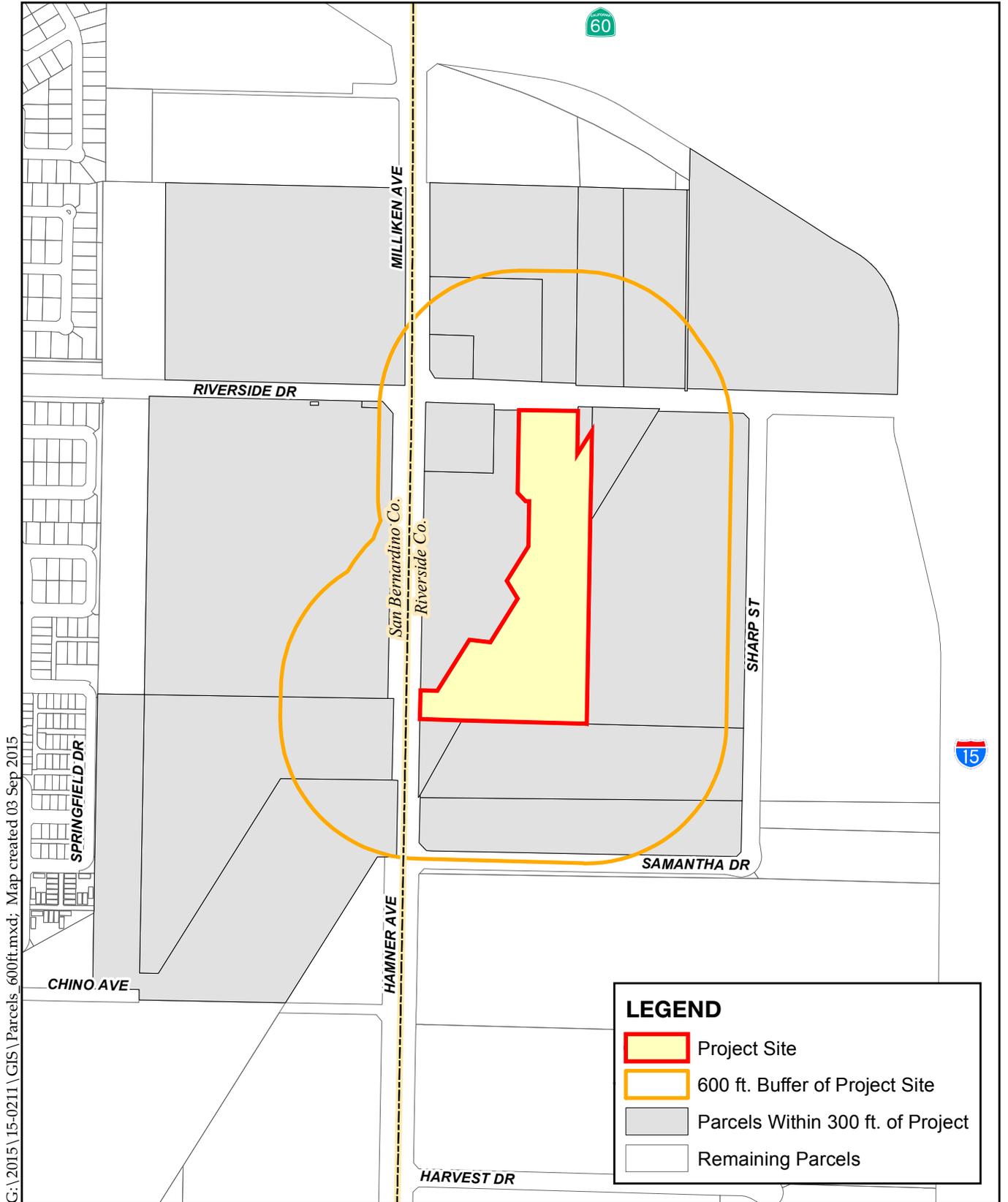
: Field Methods

At least One Native American Monitor will be present during ground disturbing activities ( including but not limited to pavement removal , pot- holing or auguring ,boring , grading , excavation and trenching) within the project area. The Native American Monitor will complete monitoring Logs on a daily basis . The logs will provide descriptions of the daily activities, including construction activities, locations , Soil and any cultural materials identified . The monitor will photo-document the ground disturbing activities.Thank you  
Andy Salas ( Chairman) Gabrieleño

Sent from my iPhone

**ATTACHMENT 6**  
**ADDENDUM TO MND**

**ATTACHMENT 7**  
**NOTIFICATION MAP**



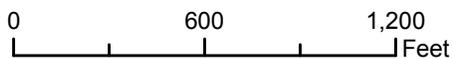
C:\2015\15-0211\GIS\Parcels\_600ft.mxd; Map created 03 Sep 2015

Source: Riverside Co. GIS, July 2015;  
San Bernardino Co. GIMS, 2015.

LEGEND	
	Project Site
	600 ft. Buffer of Project Site
	Parcels Within 300 ft. of Project
	Remaining Parcels

### Parcels Within 600 ft. of Project

PM 32313



**ATTACHMENT 8**  
**DEVELOPMENT PLANS**

# CITY OF EASTVALE

## CIT- RIVERSIDE DRIVE/HAMNER AVENUE DEVELOPMENT

### MAJOR DEVELOPMENT PLAN NO. 15-1508

**APPLICANT:**  
 COMPANY: CIT ACQUISITION CORP.  
 CONTACT: HILLARY G. MANDINGER  
 ADDRESS: 3014 MAPLE AVENUE  
 DALLAS, TX 75214  
 PHONE: (214) 661-8370

**ENGINEER:**  
 COMPANY: ALBERT A. WEBB ASSOCIATES  
 CONTACT: ROBERT BERNDT  
 ADDRESS: 3700 MCCRAY ST  
 RIVERSIDE, CA 92506  
 PHONE: (951) 686-1070  
 FAX: (951) 788-1256

**PROPERTY OWNER:**  
 COMPANY: FLEMING LIVING TRUST  
 CONTACT: EDWARD FLEMING  
 ADDRESS: 425 ENIGSBROOK  
 MONTECITO, CA 91752  
 PHONE: (909) 361-3100  
 FAX: (909) 361-3200

**ARCHITECT:**  
 COMPANY: RSA OFFICE OF ARCHITECTURAL DESIGN  
 CONTACT: MIKE GILL  
 ADDRESS: 15281 ALTON PARKWAY, SUITE 100  
 IRVINE, CA 92618  
 PHONE: (949) 341-0120  
 FAX: (949) 341-0122

**TOPOGRAPHY:**  
 INLAND AERIAL SURVEYS, INC.  
 7111 ARLINGTON AVE, SUITE A  
 RIVERSIDE, CA 92503  
 TEL: 951-687-4252  
 DATED: MAY 28, 2015

**AP.N.:**  
 156-040-087, 156-040-088

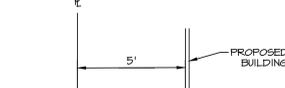
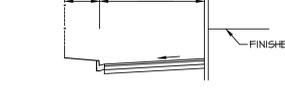
**ACREAGE:**  
 GROSS 4 NET SITE AREA: 11.94 AC.

**EARTHWORK ESTIMATE:**  
 CUT: 16,500 CY  
 FILL: 19,000 CY  
 SHRINKAGE: 3,500 CY  
 NET: BALANCE

**UTILITY COMPANIES:**  
 WATER: JURUPA COMMUNITY SERVICES DISTRICT  
 SEWER: JURUPA COMMUNITY SERVICES DISTRICT  
 ELECTRIC: SOUTHERN CALIFORNIA EDISON  
 TELEPHONE: SBC TELEPHONE  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY

**PROJECT DESCRIPTION:**  
 PROPOSED DEVELOPMENT OF TWO INDUSTRIAL BUILDINGS 115,452 S.F. (APN #156-040-087) AND 41,026 S.F. (APN #156-040-088) ON SEPARATE PARCELS OF 9.31 AC. AND 2.63 AC. INCLUDING PARKING, TRUCK COURT, LANDSCAPING, WATER QUALITY BASIN, AND FENCING. CLIENT CURRENTLY PROCESSING SCE CONTRACT AGREEMENT BASED ON THE PLOT PLAN.

**LEGAL DESCRIPTION:**  
 PARCELS 2 AND 3 OF PARCEL MAP NO. 32313, AS PER MAP FILE IN BOOK 236 PAGES 45 AND 46 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.



- NOTES**
- THOMAS GUIDE RIVERSIDE COUNTY (36TH ED.) PAGE 683, PORTION OF GRID E2.
  - THIS PROJECT SITE IS LOCATED WITHIN SECTION 6 & 7, TOWNSHIP 2 SOUTH, AND RANGE 6 WEST.
  - FEMA COMMUNITY PANEL NO. 0606500106 ZONE X.
  - THIS PROJECT IS NOT LOCATED IN AN AIRPORT COMPATIBILITY ZONE.
  - NO RECREATIONAL AND/OR OPEN SPACE AREA IS PROPOSED.
  - THERE ARE NO FLAMMABLE LIQUIDS PROPOSED FOR THIS SITE.
  - THIS PROJECT SITE IS LOCATED WITHIN THE JURUPA UNIFIED SCHOOL DISTRICT.
  - THIS AREA IS SUBJECT TO MODERATE LIQUEFACTION.
  - WATER QUALITY BASINS WILL HAVE A MAXIMUM OF 3:1 SIDE SLOPES.
  - ALL SLOPES ARE 2:1 RATIO, UNLESS OTHERWISE NOTED.
  - THIS PROJECT SITE IS NOT LOCATED WITHIN A FLOOD ZONE.
  - THERE ARE NO WELLS ON THE PROPERTY.
  - ANY DISCHARGE ACROSS PROPERTY LINES WILL BE IN ACCORDANCE WITH APPENDIX J SECTION J 104.4 DRAINAGE ACROSS PROPERTY LINES.
  - THERE ARE NO MOBILE-HOMES OR RECREATIONAL VEHICLES ON THIS SITE.
  - SUBSURFACE SEPTIC SEWAGE IS NOT INTENDED FOR THIS SITE.
  - EXISTING AND PROPOSED EASEMENTS ARE SHOWN ON THIS SITE.
  - ALL EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE IN LOCATION AND SIZE.
  - PARKING STALLS ARE: STANDARD: 9'x18' COMPACT: 8.5'x16' (20% MAX)
  - END AISLE PARKING STALLS ARE 11' WIDE PER COUNTY ORD. 340, SECTION 10.12.
  - THIS PROJECT DOES NOT COVER THE ENTIRE OWNERSHIP OF THE LAND DIVIDER.
  - PARKING LOT SHALL BE AC PAVED WITH CONCRETE CURB AND GUTTERS. MINIMUM GRADE FOR CONCRETE IS 0.35% AND FOR ALL OTHER SURFACES 1.0%.
  - REFER TO ARCHITECTURAL ELEVATIONS FOR WALL AND FENCE DETAILS.
  - ALL DRIVEWAYS ARE PER COUNTY STANDARD NO. 207A

**LAND USE/ ZONING**  
 EXISTING LAND USE: VACANT & SCE EASEMENT  
 EXISTING 4 PROPOSED GENERAL PLAN LAND USE: BUSINESS PARK  
 EXISTING 4 PROPOSED ZONING: INDUSTRIAL PARK

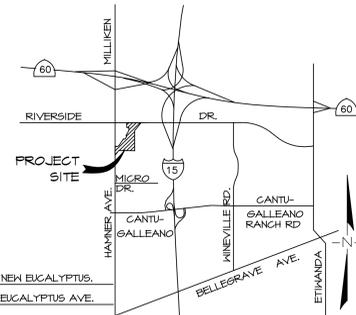
**EASEMENT NOTES:**

(A) 75' PUBLIC UTILITIES EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON RECORDED 6/19/1953 AS INST. NO. 30424, IN BOOK 1483, PAGE 544, O.R.

(B) 120' PUBLIC UTILITY EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON RECORDED 6/12/1952 IN BOOK 1375 OF OFFICIAL RECORDS, PAGE 950.

(C) PUBLIC UTILITIES, ROAD AND DRAINAGE EASEMENT RECORDED 5/8/1910 AS INST. NO. 182030.

(D) INGRESS/ EGRESS EASEMENTS 1, 2, 4, 5, 7 AND SANITARY SEWER EASEMENTS 3 AND 6, RECORDED 6/19/2015 AS INST. NO. 2015-0261144, O.R.



**LEGEND**

- PROPOSED CONCRETE PAVEMENT
- PROPOSED AG PAVEMENT
- PROPOSED LANDSCAPE AREA
- PROPOSED UNDERGROUND DETENTION SYSTEM
- PROPOSED FIRE ACCESS
- PROPOSED ADA ACCESS
- PROPOSED CHAINLINK FENCE
- PROPOSED STORM DRAIN GRADEBREAK/RIDGELINE FLOWLINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING STORM DRAIN
- EXISTING GAS LINE
- EXISTING ELECTRICAL LINE
- FLOW LINE
- GRADE BREAK
- GROUND INVERT
- LANDSCAPE AREA
- LOW POINT
- MAXIMUM PROPERTY LINE
- ROUGH GRADE
- RIGHT OF WAY
- TYPICAL

**SITE TABULATION:**

	PARCEL 2	PARCEL 3
PROPOSED PARCEL GROSS AREA	405,265 SF (9.31 AC)	114,490 SF (2.63 AC)
BUILDING AREA		
OFFICE	5,000 SF	3,500 SF
MEZZANINE	0 SF	0 SF
WAREHOUSE	110,452 SF	37,526 SF
TOTAL BUILDING AREA	115,452 SF	41,026 SF
LOT COVERAGE	44.40%	47.85%
LANDSCAPING REQUIRED (15%)	35,253 SF	12,854 SF
LANDSCAPING PROVIDED	35,153 SF	24,440 SF
LANDSCAPE COVERAGE	15.04%	25.50%
PARKING REQUIRED		
OFFICE (1/250 (6,000 SF))	20 STALLS	14 STALLS
WAREHOUSE (1/2000 (110,452 SF))	56 STALLS	18 STALLS
TOTAL REQUIRED PARKING	76 STALLS	33 STALLS
PARKING PROVIDED:		
STANDARD PARKING (9'x18')	121 STALLS	33 STALLS
HANDICAPPED PARKING (9'x18')	6 STALLS	4 STALLS
TOTAL PARKING PROVIDED:	127 STALLS	38 STALLS

**REVISIONS**

NO.	DESCRIPTION	DATE	BY

CITY OF EASTVALE

MDR NO. 15-1508  
EASTVALE INDUSTRIAL DEVELOPMENT

SCALE: 1"=50'  
 DATE: 4/20/15  
 DESIGNED: CV  
 CHECKED: RB  
 PLN CK REF: REF  
 FB

ALBERT A. WEBB ASSOCIATES  
 ENGINEERING CONSULTANTS  
 3700 MCCRAY STREET  
 RIVERSIDE, CA 92506  
 PH: (951) 686-1070  
 FAX: (951) 788-1256

H.O. 15-0211  
 SHEET 1  
 OF 1 SHEETS  
 DWG. NO.

S:\0305\15-0211\Drawings\Entirement\15-201-C-49.dwg 2/17/2016 11:36:06 PM





# HAMNER AVE.

EXISTING BUILDING

**EXISTING BUILDING B  
NOT APART**

**NOT APART A**

NOTE: ANY TREES WITHIN THE SCE EASEMENT AREA ARE LIMITED TO 15' MAXIMUM HEIGHT AT MATURITY

RIVERSIDE DRIVE

**NEW BUILDING A**

**NEW BUILDING B**

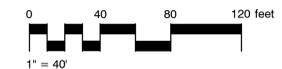
EXISTING TRUCK YARD

**PARKING SHADE LEGEND**

SYMBOL	DESCRIPTION	QTY
	PARKING LOT SHADE	25,440 sf
	TREE SHADE	14,082 sf

**SHADE TABULATION**

TOTAL PARKING LOT AREA:	25,440 SF
SHADE PROVIDED BY TREES IN PARKING AREAS:	14,082 SF
SHADE PROVIDED BY TREES:	55%



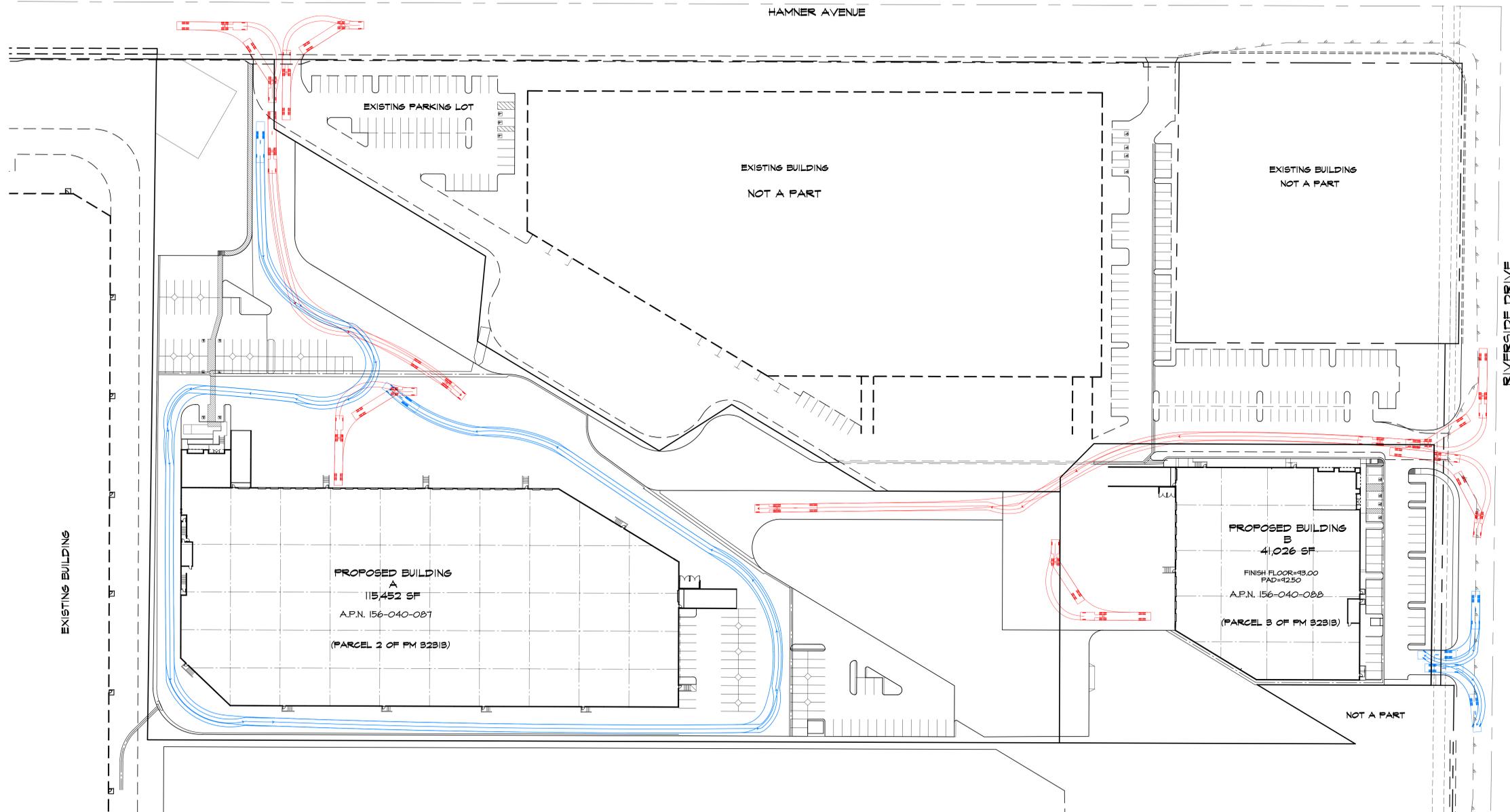
SHEET TITLE: TREE SHADE PLAN  
 PROPOSED DEVELOPMENT:  
 RIVERSIDE DRIVE / HAMNER AVE. DEVELOPMENT  
 BLDG A - 3950 HAMNER AVE. & BLDG B - 12460 RIVERSIDE DR.  
 CITY OF EASTVALE, CA

DRAWN BY: BFK DATE: 11/18/15  
 JOB NO.: RGA0066  
 SHEET NO.: L-2  
 1 OF 2 SHTS.

DEVELOPED BY:



REVISIONS



**LEGEND**  
 EMERGENCY VEHICLE  
 TRACTOR TRAILER



1" = 50'  
 50 25 0 50 100 150

CITY OF EASTVALE			
MDR NO. 15-1508 EASTVALE INDUSTRIAL DEVELOPMENT			
SCALE: 1"=50'	ALBERT A. WEBB ASSOCIATES	ENGINEERING CONSULTANTS	H.O. 15-0211
DATE: 9/20/15	3100 MCGRAY STREET	RIVERSIDE, CA 92506	SHEET 1
DESIGNED: CV	PH. (951) 686-0710	FAX (951) 780-1256	OF 1 SHEETS
CHECKED: RB			DWG. NO.
PLN. CK. REF: REF			
F.B.			

**CIT EASTVALE DEVELOPMENT-CIRCULATION EXHIBIT**

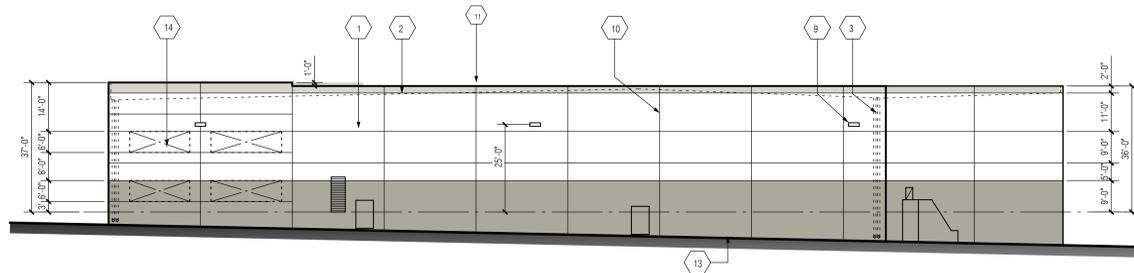
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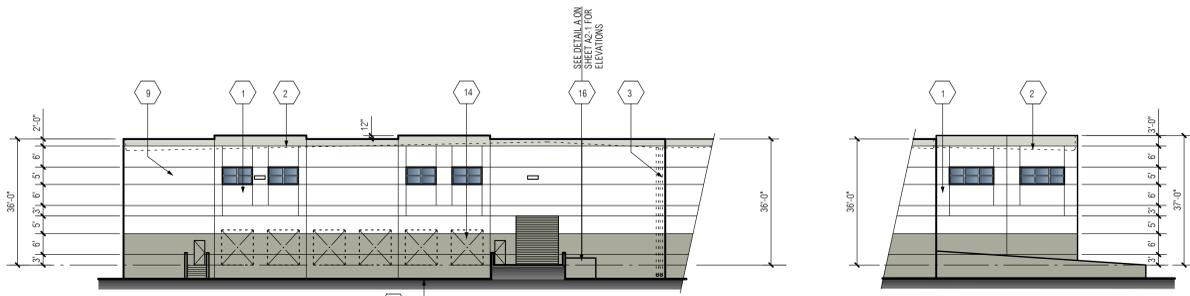
**SIMILAR SITE LIGHTING STYLE**  
SCALE: N.T.S.



**SIMILAR ENTRY LIGHTING STYLE**  
SCALE: N.T.S.

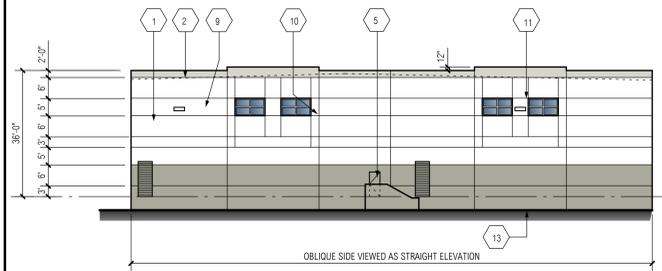


**SOUTH ELEVATION**  
SCALE: 1" = 20'-0"

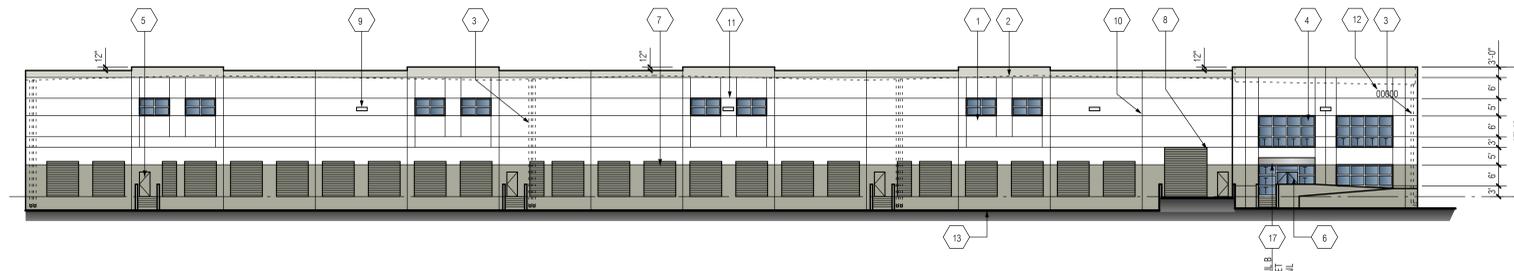


**NORTH ELEVATION**  
SCALE: 1" = 20'-0"

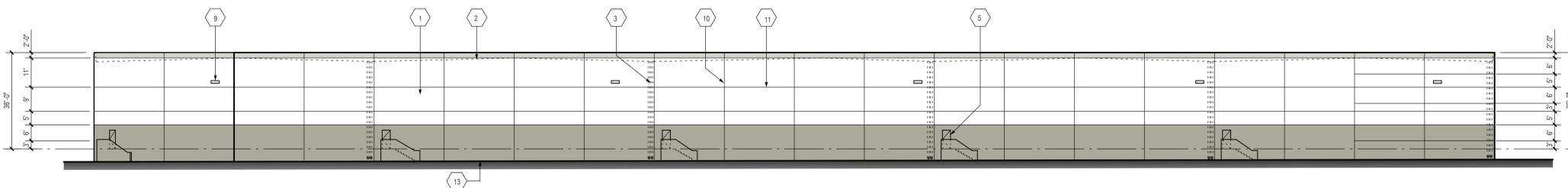
**NORTH ELEVATION AT BUILDING OFFICE POD**



**PARTIAL WEST ELEVATION**  
SCALE: 1" = 20'-0"



**PARTIAL WEST ELEVATION**  
SCALE: 1" = 20'-0"

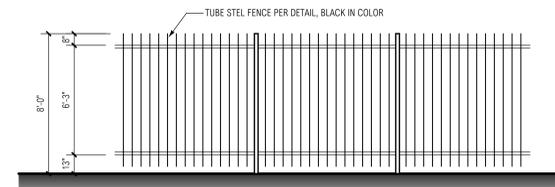


**EAST ELEVATION**  
SCALE: 1" = 20'-0"

**FINISH SCHEDULE**

P-1	FIELD COLOR	COLOR: GLODEN - KITTEN WHITE #307Y 78/035 - ORDER #A1772
P-2	ACCENT COLOR	COLOR: GLODEN - DREEFE GREY #307Y 57/060 - ORDER #A1789
P-3	FIELD COLOR	COLOR: GLODEN - ARROW WOOD SPECIFIC #10Y277000 - ORDER #A1784
GL-1	GLAZING	BLUE GLAZING
M-1	MULLIONS	CLEAR ANODIZED ALUM.

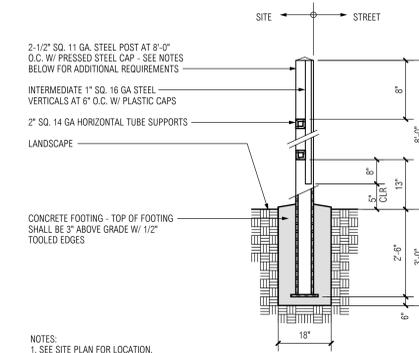
CODE	MATERIAL	DESCRIPTION
P-1	FIELD COLOR	COLOR: GLODEN - KITTEN WHITE #307Y 78/035 - ORDER #A1772
P-2	ACCENT COLOR	COLOR: GLODEN - DREEFE GREY #307Y 57/060 - ORDER #A1789
P-3	FIELD COLOR	COLOR: GLODEN - ARROW WOOD SPECIFIC #10Y277000 - ORDER #A1784
GL-1	GLAZING	BLUE GLAZING
M-1	MULLIONS	CLEAR ANODIZED ALUM.



**TYPICAL TUBE STEEL FENCE ELEVATION**  
SCALE: 1/4" = 1'-0"

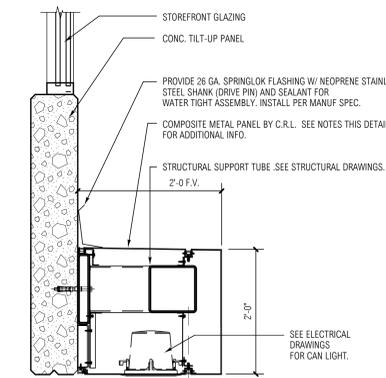
**KEYNOTES**

1. CONCRETE TILT-UP PANEL - SEE STRUCTURAL DRAWINGS. PAINT PER SCHEDULE BELOW.
2. ROOF LINE BEYOND - SEE ROOF PLAN AND STRUCTURAL DRAWINGS FOR ROOF ELEVATIONS.
3. INTERIOR ROOF DRAIN AND INTERIOR OVERFLOW DRAIN.
4. STOREFRONT: CLEAR ANODIZED 2" X 4 1/2" MIN. OFF-SET GLAZING SYSTEM BY UNITED STATES ALUMINUM CORPORATION OR APPROVED EQUAL. USE MEDIUM PERFORMANCE BLUE PLUS REFLECTIVE W/ MIN. SHADING COEFFICIENT OF 0.36. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND GLASS SAMPLES TO ARCHITECT PRIOR TO ORDERING MATERIAL. "T" INDICATES TEMPERED GLAZING. CONTRACTOR TO COORDINATE LONG LEAD GLASS ORDERS WITH CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON OVERALL COMPLETION DATE.
5. 3' X 7' PAINTED HOLLOW METAL MAN DOOR.
6. PAIR 3' X 7' MEDIUM STILE STOREFRONT ENTRY DOORS W/ GLAZING TO MATCH.
7. 9"W X 10"H DOCK VERTICAL LIFT DOOR WITH FUTURE DOCK BUMPERS. PROVIDE SCORE LINES IN WALL PANEL TO LOCATE DOCK PIT KNOCK-OUT.
8. 12"W X 14"H VERTICAL LIFT GRADE LEVEL DOOR.
9. WALL-PACK LIGHT FIXTURE TO PROVIDE MIN 1 FOOTCANDLE SITE LIGHTING. CENTER FIXTURE IN PANEL WHERE POSSIBLE.
10. PANEL JOINT - SEE STRUCTURAL DRAWINGS FOR FINAL LOCATIONS.
11. RECESSED ACCENT REVEAL IN CONCRETE PANEL.
12. 12" HIGH BY MIN 1-1/2" DEEP UP TO 25'-0" ABOVE FINISH FLOOR AND 24" HIGH ABOVE 25'-0" ANODIZED ALUMINUM BUILDING ADDRESS LETTERS. CONTRACTOR TO CONFIRM BUILDING ADDRESS AND SIZE PRIOR TO INSTALLATION. COORDINATE FINAL LOCATIONS WITH ARCHITECT, FIRE AND POLICE DEPT.
13. APPROXIMATE FINISH GRADE - REFER TO CIVIL DRAWINGS.
14. KNOCK OUT PANEL FOR FUTURE OFFICE AND DOCK DOORS. PROVIDE SCORE LINE FOR KNOCK OUT PANEL.
15. PAINTED 8" X 8" G.I. DOWNSPOUT AND G.I. SCUPPER.
16. CONCRETE PAINTED TRASH ENCLOSURE.
17. 24" TALL X 24" DEEP ALUM CANOPY WITH DOWNLIGHTING



- NOTES:
1. SEE SITE PLAN FOR LOCATION.
  2. GRIND ALL WELDS SMOOTH.
  3. ALL STEEL WORK TO BE A-434 & SHOP PRIMED. PAINT FLAT BLACK TWO COATS.
  4. CONTRACTOR TO SUBMIT DETAILED SHOP DWGS. FOR APPROVAL PRIOR TO FABRICATION.
  5. PROVIDE CONT. 6" X 6" CONC. MON. STRIP UNDER FENCE ONLY WHEN FENCE IS ADJACENT TO TURF AREAS.
  6. USE 4" SQ. 11 GA. STEEL POST W/ PRESSED STEEL CAP AT ALL END AND CORNER CONDITIONS OF THE FENCE PATH.

**STEEL PICKET FENCE**  
SCALE: 1/2" = 1'-0"



**ENTRY CANOPY DETAIL**  
SCALE: (N.T.S.)

CONSULTANT

PROFESSIONAL SEALS

**RIVERSIDE DRIVE /  
HAMNER AVENUE  
DEVELOPMENT**

**BUILDING A  
3950 HAMNER AVENUE  
CITY OF EASTVALE, CA**

**BUILDING B  
12460 RIVERSIDE DRIVE  
CITY OF EASTVALE, CA**

**CIT ACQUISITION CORP.**  
3819 MAPLE AVENUE  
DALLAS, TEXAS 75219  
PH: 214-661-8370  
FAX: 214-446-0829

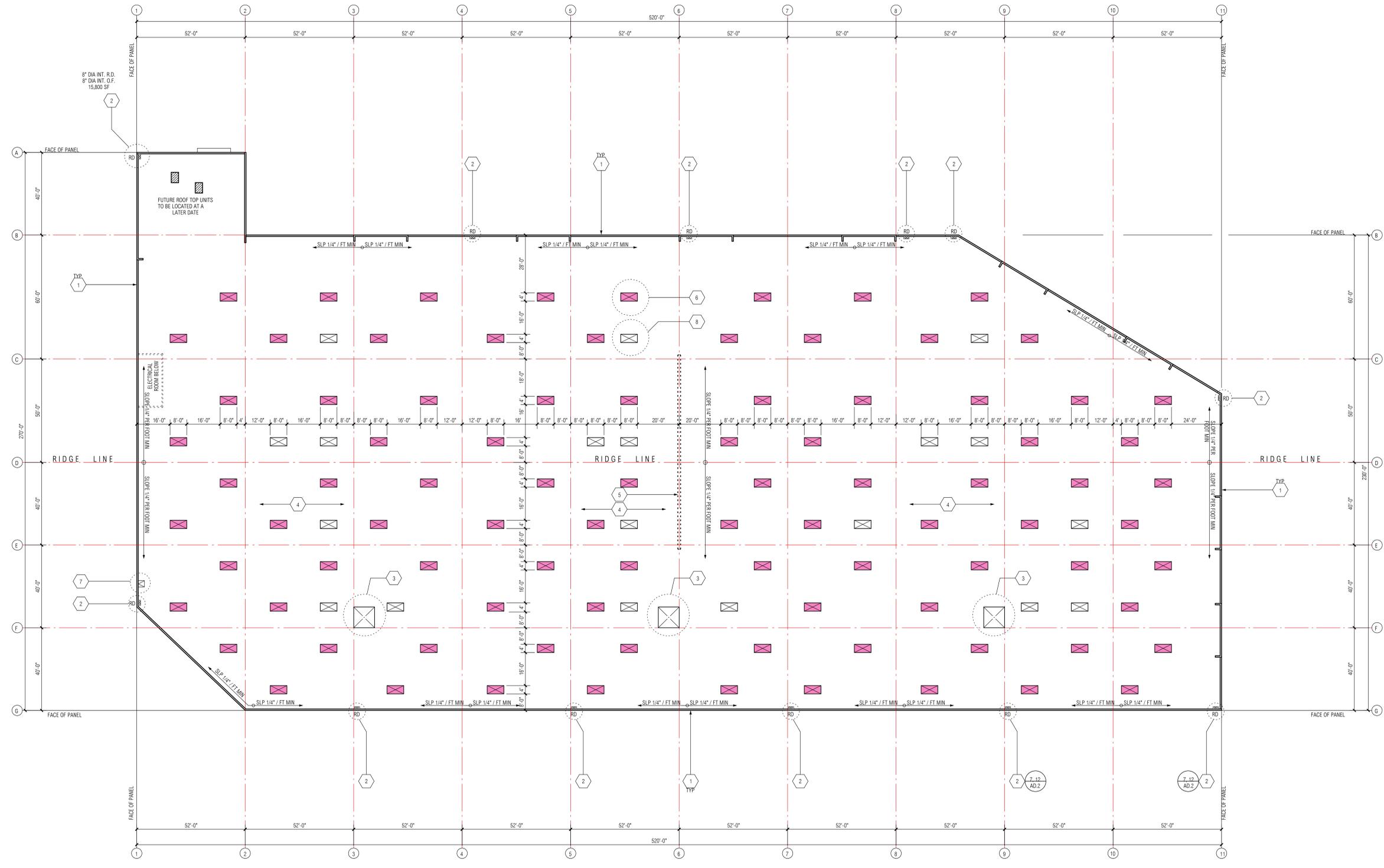
CD	CONSTRUCTION SET
BID	BIDSET
PC	PLAN CHECK SUBMITTAL
DD	DESIGN DEVELOPMENT
SD	SCHEMATIC DESIGN
MARK	DATE DESCRIPTION

RG A PROJECT NO:	15059-00
OWNER PROJECT NO:	00000.00
CAD FILE NAME:	15059-00-A3-1P
DRAWN BY:	MG
CHK'D BY:	MG
COPYRIGHT	RG A, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE	EXTERIOR ELEVATIONS - BUILDING A





- KEYNOTES**
1. CONCRETE PARAPET WALL - SEE STRUCTURAL DRAWINGS.
  2. INTERIOR ROOF AND INTERIOR OVERFLOW DRAIN - MIN. 8" INTERIOR DIA. EA. FOR VERTICAL DROPS, USE 8" DIA. ALONG INTERIOR WALL HORIZONTAL RUNS - SLOPE @ MIN. 1/4" PER FOOT. SEE GENERAL NOTES BELOW.
  3. ROOF TOP, FACTORY CURB MOUNTED EXHAUST FANS PER MECHANICAL DRAWINGS, (3 PLACES).
  4. PROVIDE FOUR PLY BUILT-UP ROOFING 0' MIN. 19/32" THK. O.S.B. 0' ROOF FRAMING (SEE STRUCTURAL DRAWINGS); ROOFING TO BE CLASS "K" AND TO BE INSTALLED PER MANUF.'S SPECIFICATIONS. USE GAF OR EQUAL. PROVIDE ONE YEAR INSTALLER'S MAINTENANCE GUARANTEE AND 10 YEAR MANUFACTURER'S NO DOLLAR LIMIT GUARANTEE - TO INCLUDE ALL FLASHING.
  5. K-BRACE LINE BELOW
  6. 48" X 96" NON-VENTILATING SELF FLASHING SKYLIGHT / SMOKE HATCH. CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH FIRE SPRINKLER CONTRACTOR, ARCHITECT, AND STRUCTURAL ENGINEER. HATCHES SHALL BE UL LISTED. PROVIDE EXTERIOR MANUAL PULLS, REQUIRED BY FIRE DEPARTMENT. CONTRACTOR TO COORDINATE THE FUSIBLE LINK TEMPERATURE WITH THE FIRE SPRINKLER CONTRACTOR AND FIRE DEPARTMENT. FUSIBLE LINK TEMPERATURE 360 DEGREES.
  7. INSULATED GALVANIZED BILCO 30" X 36" ROOF HATCH - PROVIDE CRICKET AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE AROUND HATCH.
  8. 48" X 96" NON-VENTILATING SELF FLASHING FIXED SKYLIGHT. COORDINATE FINAL LOCATION WITH FIRE SPRINKLER CONTRACTOR, ARCHITECT AND STRUCTURAL ENGINEER.
  9. PAINTED G.I. DOWNSPOUT AND PAINTED G.I. OVERFLOW SCUPPER.



ROOF PLAN - BUILDING A  
 SCALE: 1" = 20'-0"

CONSULTANT

PROFESSIONAL SEALS

**RIVERSIDE DRIVE / HAMNER AVENUE DEVELOPMENT**

BUILDING A  
 3950 HAMNER AVENUE  
 CITY OF EASTVALE, CA

BUILDING B  
 12460 RIVERSIDE DRIVE  
 CITY OF EASTVALE, CA

CIT ACQUISITION CORP.  
 3819 MAPLE AVENUE  
 DALLAS, TEXAS 75219  
 PH: 214-661-8370  
 FAX: 214-446-0829

CD	CONSTRUCTION SET	
BID	BIDSET	
PC	PLAN CHECK SUBMITTAL	
DD	DESIGN DEVELOPMENT	
SD	9/1/15 SCHEMATIC DESIGN	
MARK	DATE	DESCRIPTION
2	7.12 AD.2	
2	7.12 AD.2	

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OWNER PROJECT NO:	00000.00
CAD FILE NAME:	15059-00-A2-2P
DRAWN BY:	MG
CHK'D BY:	MG
COPYRIGHT:	RG&A, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE:	ROOF PLAN BUILDING A

CD	CONSTRUCTION SET	
BID	BIDSET	
PC	PLAN CHECK SUBMITTAL	
DD	DESIGN DEVELOPMENT	
SD	SCHEMATIC DESIGN	
MARK	DATE	DESCRIPTION

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OWNER PROJECT NO:	00000.00
CAD FILE NAME:	15059-00-BA3-1P
DRAWN BY:	MG
CHK'D BY:	MG
COPYRIGHT	RG&A, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE	EXTERIOR ELEVATIONS - BUILDING B

### KEYNOTES

1. CONCRETE TILT-UP PANEL - SEE STRUCTURAL DRAWINGS. PAINT PER SCHEDULE BELOW.
2. ROOF LINE BEYOND - SEE ROOF PLAN AND STRUCTURAL DRAWINGS FOR ROOF ELEVATIONS.
3. INTERIOR ROOF DRAIN AND INTERIOR OVERFLOW DRAIN.
4. STOREFRONT: CLEAR ANODIZED 2" X 4 1/2" MIN. OFF-SET GLAZING SYSTEM BY UNITED STATES ALUMINUM CORPORATION OR APPROVED EQUAL. USE MEDIUM PERFORMANCE BLUE PLUS REFLECTIVE W/ MIN. SHADING COEFFICIENT OF 0.38. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND GLASS SAMPLES TO ARCHITECT PRIOR TO ORDERING MATERIAL. "T" INDICATES TEMPERED GLAZING. CONTRACTOR TO COORDINATE LONG LEAD GLASS ORDERS WITH CONSTRUCTION SCHEDULE TO MINIMIZE IMPACT ON OVERALL COMPLETION DATE.
5. 3' X 7' PAINTED HOLLOW METAL MAN DOOR.
6. PAIR 3' X 7' MEDIUM STYLE STOREFRONT ENTRY DOORS W/ GLAZING TO MATCH.
7. 8"W X 10"H DOCK VERTICAL LIFT DOOR WITH FUTURE DOCK BUMPERS. PROVIDE SCORE LINES IN WALL PANEL TO LOCATE DOCK PIT KNOCK-OUT.
8. 12"W X 14"H VERTICAL LIFT GRADE LEVEL DOOR.
9. WALL-PACK LIGHT FIXTURE TO PROVIDE MIN 1 FOOTCANDLE SITE LIGHTING. CENTER FIXTURE IN PANEL WHERE POSSIBLE.
10. PANEL JOINT - SEE STRUCTURAL DRAWINGS FOR FINAL LOCATIONS.
11. RECESSED ACCENT REVEAL IN CONCRETE PANEL.
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13. APPROXIMATE FINISH GRADE - REFER TO CIVIL DRAWINGS.
14. PAINTED TRASH ENCLOSURE.
15. PAINTED 8" X 8" G.I. DOWNSPOUT AND G.I. SCUPPER.
16. 24" TALL X 24" DEEP ALUM CANOPY WITH DOWNLIGHTING.



SIMILAR SITE LIGHTING STYLE (D)  
SCALE: N.T.S.

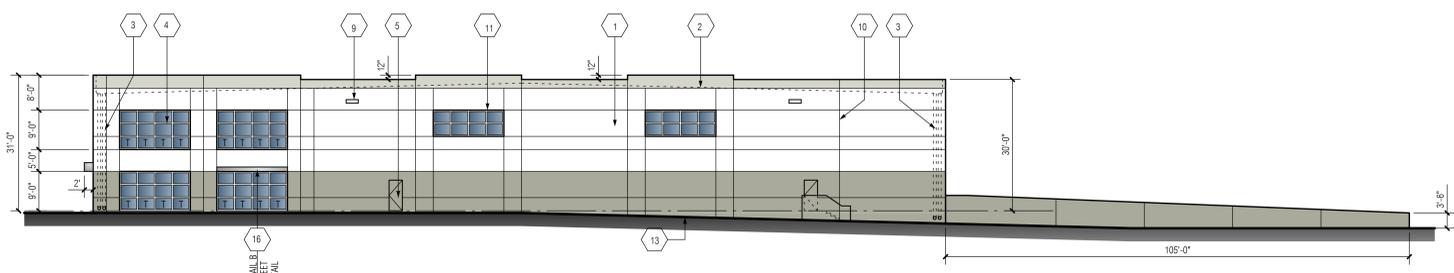


SIMILAR ENTRY LIGHTING STYLE (C)  
SCALE: N.T.S.

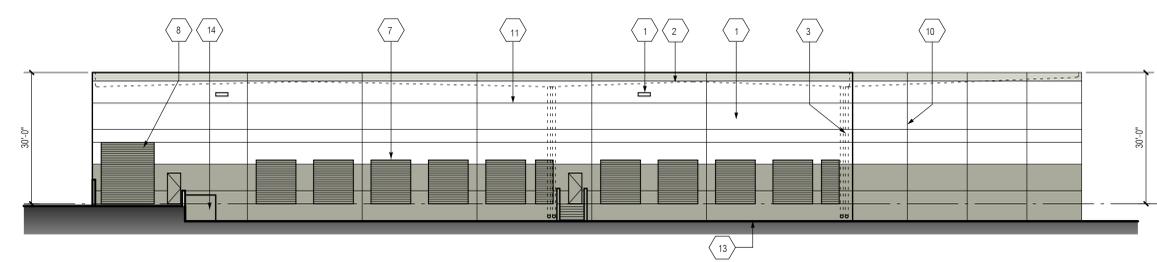
### FINISH SCHEDULE

P-1	FIELD COLOR	COLOR: GLIDDEN - KITTEN WHITE #309Y 7805S - ORDER #A1772
P-2	ACCENT COLOR	COLOR: GLIDDEN - KEFE GREY #209Y 5706D - ORDER #A1789
P-3	FIELD COLOR	COLOR: GLIDDEN - ARROW WOOD SPECIFIC #109Y2706S - ORDER #A1784
GL-1	GLAZING	BLUE GLAZING
M-1	MULLIONS	CLEAR ANODIZED ALUM.

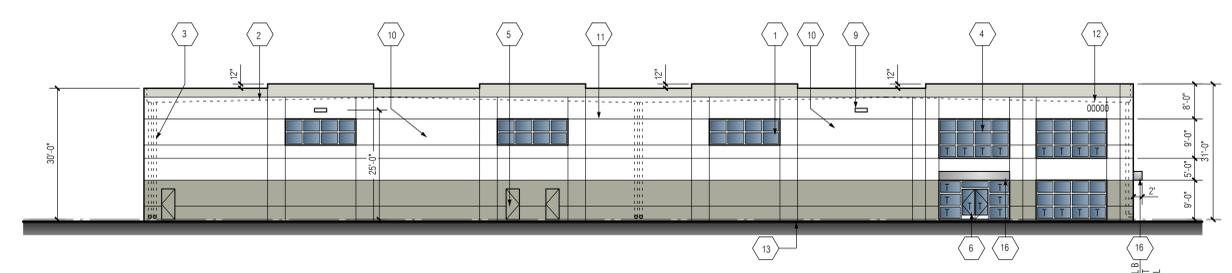
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P-1	FIELD COLOR	COLOR: GLIDDEN - KITTEN WHITE #309Y 7805S - ORDER #A1772
P-2	ACCENT COLOR	COLOR: GLIDDEN - KEFE GREY #209Y 5706D - ORDER #A1789
P-3	FIELD COLOR	COLOR: GLIDDEN - ARROW WOOD SPECIFIC #109Y2706S - ORDER #A1784
GL-1	GLAZING	BLUE GLAZING
M-1	MULLIONS	CLEAR ANODIZED ALUM.



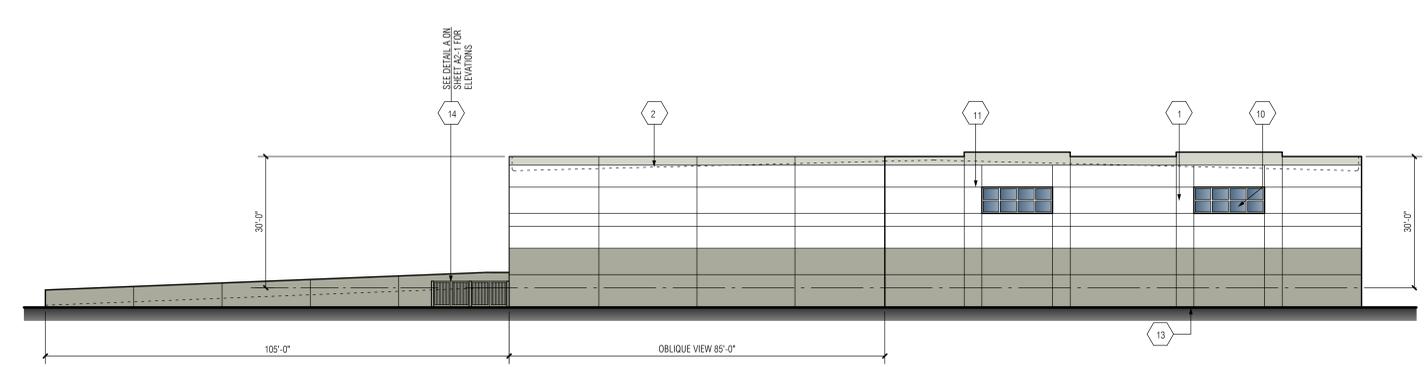
WEST ELEVATION  
SCALE: 1/16" = 1'-0"



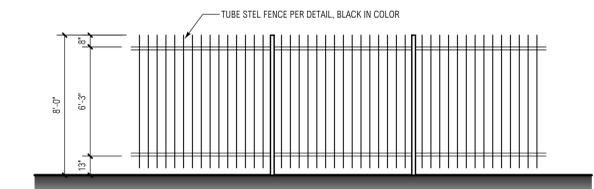
SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"



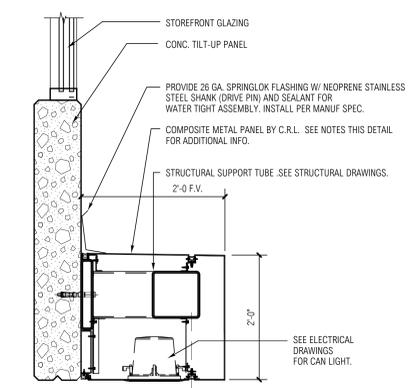
NORTH ELEVATION  
SCALE: 1/16" = 1'-0"



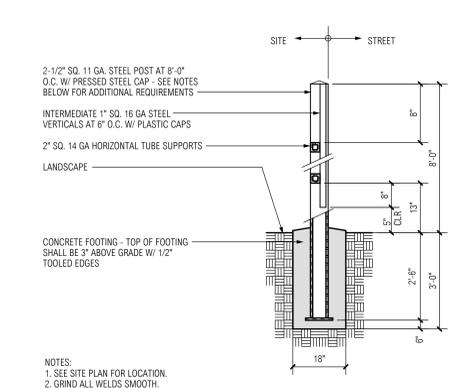
EAST ELEVATION  
SCALE: 1/16" = 1'-0"



TYPICAL TUBE STEEL FENCE ELEVATION  
SCALE: 1/4" = 1'-0"



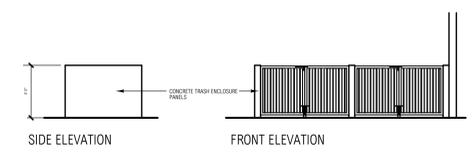
ENTRY CANOPY DETAIL  
SCALE: (N.T.S.)



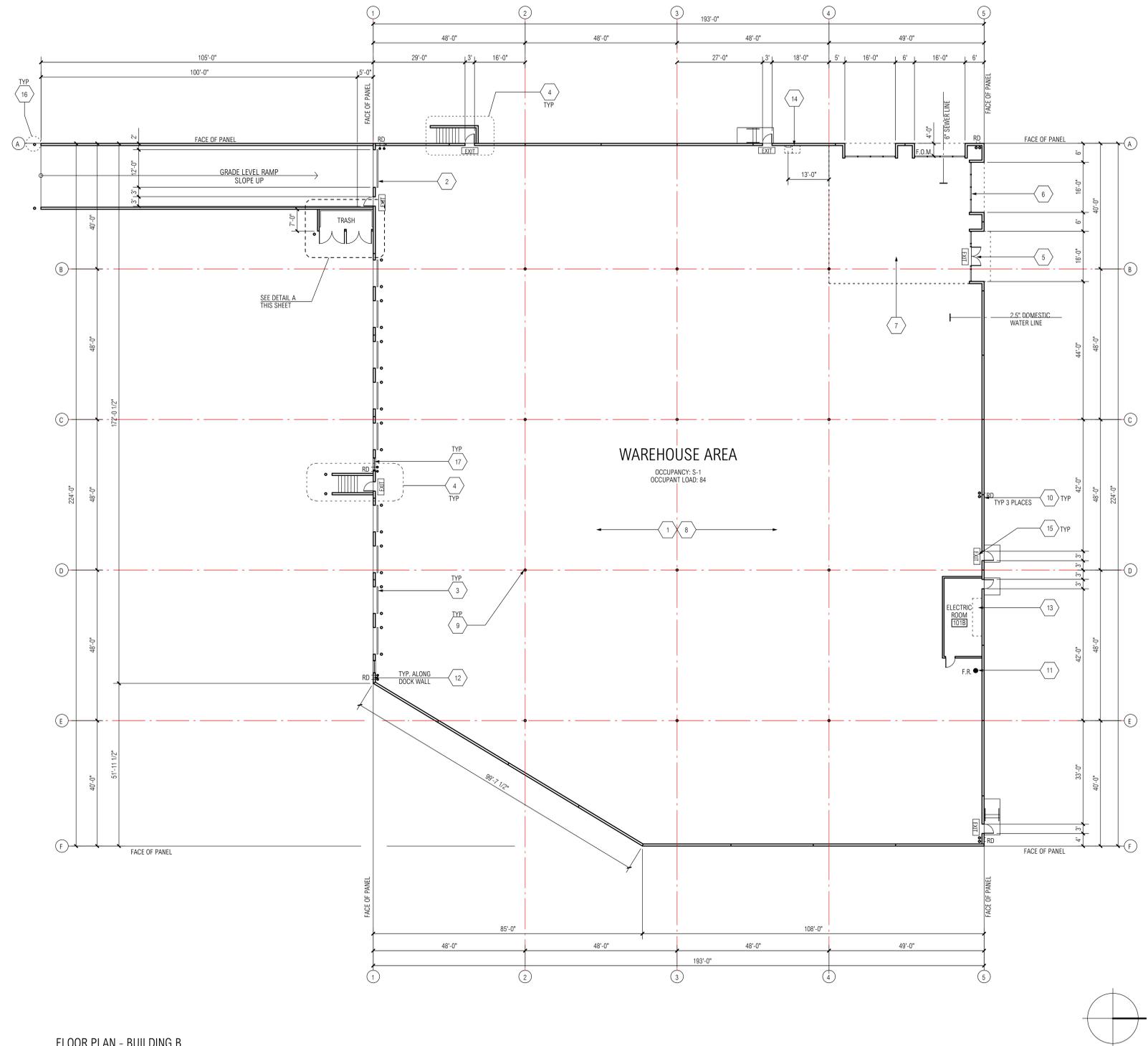
STEEL PICKET FENCE  
SCALE: 1/2" = 1'-0"

- NOTES:
1. SEE SITE PLAN FOR LOCATION.
  2. GRIND ALL WELDS SMOOTH.
  3. ALL STEEL WORK TO BE A-36 & SHOP PRIMED. PAINT FLAT BLACK TWO COATS.
  4. CONTRACTOR TO SUBMIT DETAILED SHOP DIMS. FOR APPROVAL PRIOR TO FABRICATION.
  5. PROVIDE CONT. 6" X 6" CONC. MOW STRIP UNDER FENCE ONLY WHEN FENCE IS ADJACENT TO TURF AREAS.
  6. USE 4" SQ. 11 GA. STEEL POST W/ PRESSED STEEL CAP AT ALL END AND CORNER CONDITIONS OF THE FENCE PATH.

- ### KEYNOTES
1. PAINTED CONCRETE TILT-UP WAREHOUSE / OFFICE FACILITY.
  2. 12" W X 14" H GRADE LEVEL VERTICAL LIFT DOOR. DOORS TO BE 24 GA W/ WIND LOCKS & SEALS.
  3. 9" W X 10" H DOCK HIGH VERTICAL LIFT DOOR W/ 6" DEEP DOCK BUMPERS. DOORS TO BE 24 GA W/ WIND LOCKS & SEALS.
  4. 3" W X 7" H PAINTED HOLLOW METAL MAN DOOR. ALL EXIT DOORS SHALL HAVE A MINIMUM 5'-0" SQ. CLEAR AND LEVEL CONCRETE LANDING W/ MAX. CROSS SLOPES NOT EXCEEDING 1/4" PER FOOT. TYPICAL U.N.O.
  5. PRIMARY ENTRANCE - ACCESSIBLE - SEE DETAIL T/AD.1. PROVIDE LEVEL CONCRETE LANDING W/ MAX. CROSS SLOPES NOT EXCEEDING 1/4" PER FOOT.
  6. GLAZING SET IN ALUMINUM STOREFRONT SYSTEM - SEE ELEVATIONS.
  7. PROVIDE 2" LAYER OF CLEAN SAND O' SIX MIL OR THICKER PLASTIC VAPOR BARRIER O' NATIVE SUBGRADE - REFER TO SOILS REPORT.
  8. FLOOR SLAB: 6" THK. 4,000 PSI W/ WALL PANEL REINFORCING AT THE PERIMETER O' 85% COMPACTED TOP 12" PAD. PROVIDE #3 BARS @ 18"-0" O.C. PROVIDE CONTROL JOINTS AT MAX 18'-0" O.C. EA. WAY. FLOOR SLAB SHALL HAVE THE FOLLOWING MINIMUM FLATNESS VALUES: FF-40 SOV, FF-30 MLV. FLOOR SLAB SHALL HAVE THE FOLLOWING MINIMUM LEVELNESS VALUES: FL-15 SOV, FL-10. CONTRACTOR SHALL SUBMIT A JOINT LAYOUT TO ARCHITECT FOR REVIEW.
  9. BUILDING STRUCTURAL STEEL COLUMN - T
  10. INTERIOR ROOF DRAIN AND INTERIOR OVERFLOW PIPES. ROOF DRAIN TO EXIT THE BUILDING BELOW THE FLOOR SLAB THROUGH THE FACE OF WALL. OVERFLOW DRAIN TO EXIT THE BUILDING ABOVE THE FLOOR SLAB THROUGH THE FACE OF WALL. SEAL AROUND THE PIPE OPENING AND PAINT THE VISIBLE INTERIOR OF THE PIPE TO MATCH THE BUILDING.
  11. PROPOSED FIRE RISER LOCATION. DESIGN BUILD FIRE PROTECTION ENGINEER SHALL CONFIRM FINAL LOCATION AND NOTIFY ARCHITECT OF ANY CHANGES. MAINTAIN 5' CLEAR BETWEEN WALL AND RISER.
  12. INTERIOR ROOF DRAIN AND INTERIOR OVERFLOW DRAIN. SEE DETAILS ON AD SHEETS.
  13. ELECTRICAL SWITCHGEAR & TELEPHONE BACKBOARD. SEE ELECTRICAL DRAWINGS FOR POWER REQUIREMENTS. PROVIDE BOLLARDS MAX. DIMENSION APART OF 4'-0" IN FRONT PAINTED OSHA YELLOW. CONTRACTOR TO VERIFY DIMENSION FROM FACE OF PANEL.
  14. STEEL ROOF LADDER W/ INTERMEDIATE LANDING. PAINT TO MATCH INTERIOR WALLS. SUBMIT COMPLETE SHOP DRAWINGS OF ASSEMBLY FOR ARCHITECT'S REVIEW & APPROVAL. ASSEMBLY TO CONFORM TO ALL APPLICABLE OSHA REGULATIONS. CONTRACTOR TO COORDINATE FINAL LOCATION W/ ROOF STRUCTURE.
  15. ILLUMINATING EXIT SIGN - PER GENERAL NOTES AND 1997 UBC 1013.
  16. STEEL PAINTED CONCRETE FILLED BOLLARD, PAINT OSHA YELLOW.
  17. PROVIDE 4'-0" X 10'-0" LOUVERS W/ WASHABLE FILTERS. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.



TRASH ENCLOSURE TRELLIS  
 SCALE: 1/8" = 1'-0" (A)



FLOOR PLAN - BUILDING B  
 SCALE: 1/16" = 1'-0"

CONSULTANT

PROFESSIONAL SEALS

### RIVERSIDE DRIVE / HAMNER AVENUE DEVELOPMENT

BUILDING A  
 3950 HAMNER AVENUE  
 CITY OF EASTVALE, CA

BUILDING B  
 12460 RIVERSIDE DRIVE  
 CITY OF EASTVALE, CA

CIT ACQUISITION CORP.  
 3819 MAPLE AVENUE  
 DALLAS, TEXAS 75219  
 PH: 214-661-8370  
 FAX: 214-446-0829

CD	CONSTRUCTION SET
BID	BIDSET
PC	PLAN CHECK SUBMITTAL
DD	DESIGN DEVELOPMENT
SD	9/1/15 SCHEMATIC DESIGN
MARK	DATE DESCRIPTION

RG&A PROJECT NO:	15059-00
OWNER PROJECT NO:	00000.00
CAD FILE NAME:	15059-00-A2-1P
DRAWN BY:	MG
CHK'D BY:	MG
COPYRIGHT:	RG&A, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE:	FLOOR PLAN BUILDING B

## RIVERSIDE DRIVE / HAMNER AVENUE DEVELOPMENT

BUILDING A  
3950 HAMNER AVENUE  
CITY OF EASTVALE, CA

BUILDING B  
12460 RIVERSIDE DRIVE  
CITY OF EASTVALE, CA

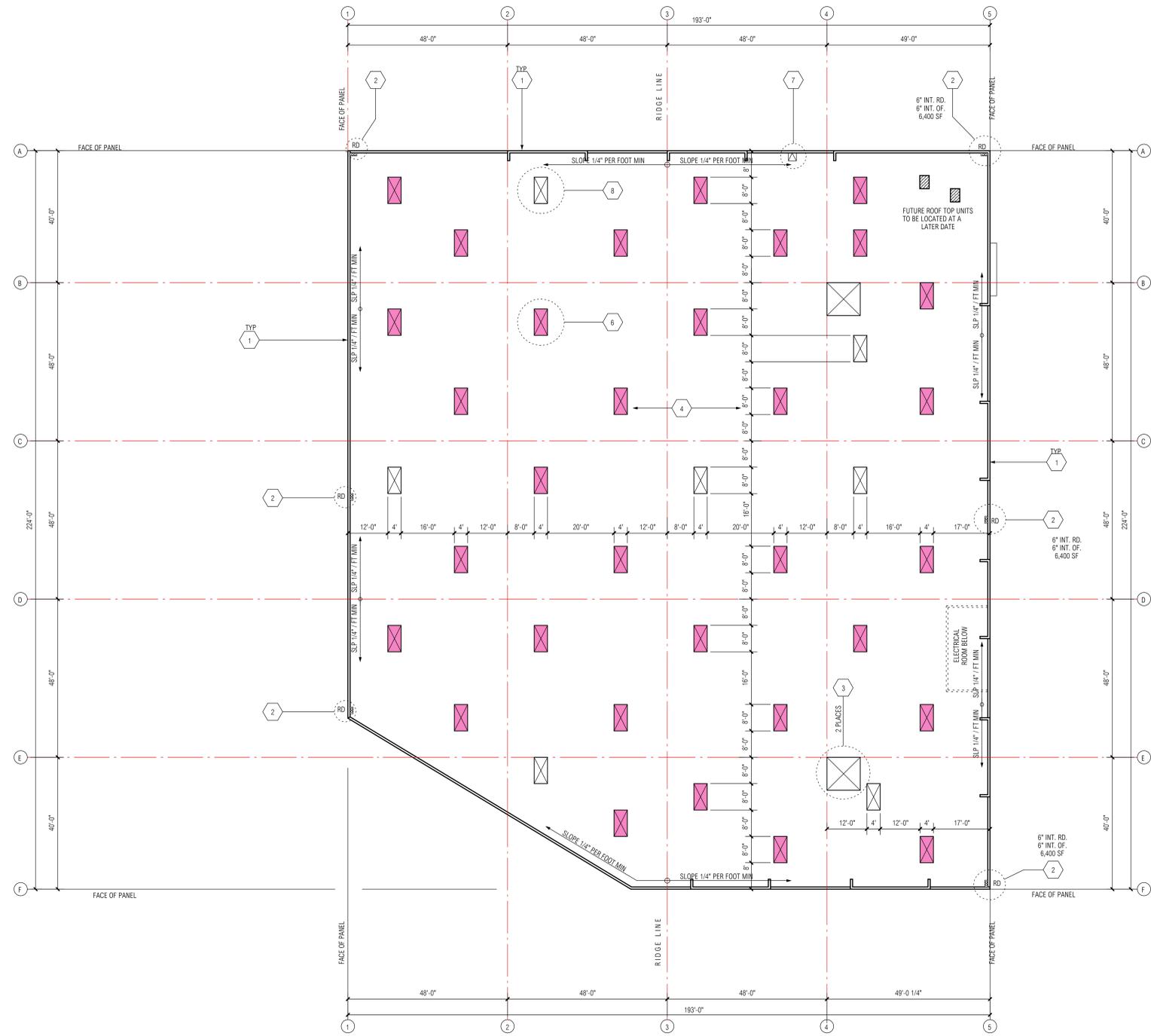
CIT ACQUISITION CORP.  
3819 MAPLE AVENUE  
DALLAS, TEXAS 75219  
PH: 214-661-8370  
FAX: 214-446-0829

CD	CONSTRUCTION SET	
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COPYRIGHT:	RG&A, OFFICE OF ARCHITECTURAL DESIGN
SHEET TITLE:	ROOF PLAN BUILDING B

### KEYNOTES

1. CONCRETE PARAPET WALL - SEE STRUCTURAL DRAWINGS.
2. INTERIOR ROOF AND INTERIOR OVERFLOW DRAIN - MIN. 6" INTERIOR DIA. EA. FOR VERTICAL DROPS. USE 6" DIA. ALONG INTERIOR WALL HORIZONTAL RUNS - SLOPE @ MIN. 1/4" PER FOOT. SEE GENERAL NOTES BELOW.
3. ROOF TOP, FACTORY CURB MOUNTED EXHAUST FANS PER MECHANICAL DRAWINGS, (2 PLACES).
4. PROVIDE FOUR PLY BUILT-UP ROOFING 0' MIN 19/32" THK. O.S.B. 0' ROOF FRAMING (SEE STRUCTURAL DRAWINGS); ROOFING TO BE CLASS "K" AND TO BE INSTALLED PER MANUF.'S SPECIFICATIONS. USE GAF OR EQUAL. PROVIDE ONE YEAR INSTALLER'S MAINTENANCE GUARANTEE AND 10 YEAR MANUFACTURER'S "NO DOLLAR LIMIT" GUARANTEE - TO INCLUDE ALL FLASHING.
5. NOT USED.
6. 48" X 96" NON-VENTILATING SELF FLASHING SKYLIGHT / SMOKE HATCH. CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH FIRE SPRINKLER CONTRACTOR, ARCHITECT, AND STRUCTURAL ENGINEER. HATCHES SHALL BE UL LISTED. PROVIDE EXTERIOR MANUAL PULLS. REQUIRED BY FIRE DEPARTMENT. CONTRACTOR TO COORDINATE THE FUSIBLE LINK TEMPERATURE WITH THE FIRE SPRINKLER CONTRACTOR AND FIRE DEPARTMENT. FUSIBLE LINK TEMPERATURE 360 DEGREES.
7. INSULATED GALVANIZED BIL CO 30" X 36" ROOF HATCH - PROVIDE CRICKET AS REQUIRED TO MAINTAIN POSITIVE DRAINAGE AROUND HATCH.
8. 48" X 96" NON-VENTILATING SELF FLASHING FIXED SKYLIGHT. COORDINATE FINAL LOCATION WITH FIRE SPRINKLER CONTRACTOR, ARCHITECT AND STRUCTURAL ENGINEER.
9. PAINTED G.I. DOWNSPOUT AND PAINTED G.I. OVERFLOW SCUPPER.



ROOF PLAN - BUILDING B  
SCALE: 1/16" = 1'-0"